

<p>VILLAGE OF HOBART GREATNESS IS GROWING Village of Hobart Village Office 2990 S. Pine Tree Rd, Hobart, WI www.hobart-wi.org - www.buildinhobart.com</p> 	<p>Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday February 23rd 2022 at 5:30 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 18th day of February, 2022 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.</p>
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MEETING NOTICE – SITE REVIEW COMMITTEE

Date/Time: Wednesday February 23rd 2022 (5:30 P.M.)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the December 21st 2021 meeting (Page 2)
4. Public Comment on Non-Agenda Items

ACTION ITEMS

5. DISCUSSION AND ACTION – Request for New Wall Signage - 550 Centennial Centre Blvd., HB-3208; Wall Signage, Scott's Subs (Page 3)

Scott's Subs, located at 550 Centennial Centre Blvd., is currently under construction and is submitting for review and approval of the proposed wall signs. During the original site review back in October 2021, the wall signage locations were identified, however, the sign details were not known at that time. The developer has since finalized the signage and is requesting review of the proposed wall signage.

6. DISCUSSION AND ACTION - New 3,697 square foot commercial building and associated site improvements - 565 Larsen Orchard Parkway, HB-3206 (Page 9)

This property located along Larsen Orchard Parkway is currently undeveloped, and the proposed project will consist of a new 3,697 square foot, single story, business/dental clinic.

7. ADJOURN

Aaron Kramer – Village Administrator

Members: Dave Dillenburg (Chairperson), Debbie Schumacher, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

NOTE: Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: www.hobart-wi.org. Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



**Village of Hobart Site Review Committee Minutes
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
Tuesday, December 21, 2021 – 5:30 pm**

1. Call to Order, Roll Call:

The meeting was called to order by Dave Dillenburg at 5:31pm. Roll call: Dave Dillenburg, aye; Debbie Schumacher, aye; Steve Riley, aye; Dave Baranczyk, aye; Peter Zobro, excused; Rick Nuetzel, aye; Tom Tengowski, excused.

2. Verify/Modify/Approve Agenda:

Motion by Rick Nuetzel, second by Debbie Schumacher, to approve the agenda as presented with the amendment of item 3 to exchange 'November' with 'October'. The motion passed unanimously.

3. Approval of Site Review Minutes:

Motion by Dave Dillenburg, second by Dave Baranczyk, to approve the October 20, 2021 minutes as presented. The motion passed unanimously.

4. Public Comment on Non-Agenda Items:

None.

5. Proposed Freestanding Development Signs at 720 Centerline Drive (HB-523-6):

Motion by Debbie Schumacher, second by Rick Nuetzel, to approve the temporary freestanding development signs as submitted subject to the following conditions:

1. Signs shall maintain a minimum of 10 feet from property lines;
2. Overall sign height shall not exceed 12 feet from grade.

The motion passed unanimously.

6. Update – Modifications to Article XIII PDD #1: Centennial Centre at Hobart District of the Zoning Code:

Director of Planning & Code Compliance updated the committee on the height requirement changes to the PDD #1: Centennial Centre section of the zoning code that were passed by the Planning and Zoning Commission and the Village Board.

7. Adjourn:

Motion by Dave Dillenburg, second by Rick Nuetzel, to adjourn. The motion passed unanimously. Meeting adjourned at 5:49pm.



TO: Site Review Committee

RE: 550 Centennial Centre Blvd., HB-3208; Wall Signage, Scott's Subs

FROM: Todd Gerbers, Director of Planning and Code Compliance

DATE: February 23, 2022

ISSUE: Discussion and action on a request for new wall signage

RECOMMENDATION: Staff recommends approval subject to any conditions the Committee may identify.

GENERAL INFORMATION

1. Developer: Scott's Subs
2. Applicant: Heather Leonard and Creative Sign Co.
3. Address/Parcel: 550 Centennial Centre Blvd. / HB-3208
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: Business / Restaurant

BACKGROUND

Scott's Subs, located at 550 Centennial Centre Blvd., is currently under construction and is submitting for review and approval of the proposed wall signs. During the original site review back in October 2021, the wall signage locations were identified, however, the sign details were not known at that time. The developer has since finalized the signage and is requesting review of the proposed wall signage.

The approved plans back in October 2021 had signs proposed on three sides of the building and although this request is only for two of those same building elevations (south and west), Staff recommends including either of these two sign layouts to be possibly mounted on the east elevation as well. The request before the Committee at this time would be for a sign logo and channel letters of a total of 28.87 square feet on the south elevation (facing Centennial Centre Blvd.) and a logo only of 14.44 square feet on the west elevation (facing round-a-bout). All proposed signs are code compliant and will be internally illuminated with LED lighting. Per ordinance, 10% of the wall surface of each building elevation can be covered by signage so both wall signs would be in compliance with the Village Sign Code.

RECOMMENDATION/CONDITIONS

Staff recommends approval of the proposed 28.87 square foot wall sign to be mounted on the south elevation of the building, a 14.44 square foot wall sign to be mounted on the west elevation of the building as submitted and up to a maximum of 28.87 square foot wall sign on the east elevation of the building.



Building Permit Application

Permit Number [REDACTED]
 (Assigned by Village Personnel)

Village of Hobart
 Dept of Neighborhood Services
 2990 S Pine Tree Rd
 Hobart WI 54155
 Phone: (920) 869-3809
 Fax (920) 869-2048

Project Address 550 Centennial Centre Parcel Number H83208
 Applicant is the: Owner OR Contractor
 Use Category: Single Family Duplex Multi-Family Commercial Industrial Agricultural

Owner's Name: <u>Heather Leonard</u> <u>565 Sunlite Dr</u> <u>Hobart, WI 54155</u> e-mail: <u>Heather Leonard325@gmail.com</u>		Mailing Address:	Tel: <u>920-660-7822</u> Fax: Mobile: <u>Same</u>
<i>Sign</i> Building Contractor Name: <u>Creative Sign Co.</u> <u>JANICE WERDEO</u> e-mail: <u>janice@creative-sign-company.com</u>	Lic# Qualifier#	Mailing Address: <u>505 Lawrence Pl</u> <u>De Pere, WI 54115</u>	Tel: <u>920-336-8900</u> Fax: Mobile: <u>920-660-0054</u>
Electrical Contractor Name: e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:
HVAC Contractor Name: e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:
Plumbing Contractor Name: e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:

Work being done:

- | | | | |
|--|--|--|---|
| <input type="checkbox"/> New Structure | <input type="checkbox"/> Addition | <input type="checkbox"/> Deck/Porch/Patio | <input type="checkbox"/> Driveway/Parking |
| <input type="checkbox"/> External Remodeling | <input type="checkbox"/> Internal Remodeling | <input type="checkbox"/> Garage/Utility Structure | <input type="checkbox"/> Handicap Ramp |
| <input type="checkbox"/> Hot Tub/Spa | <input type="checkbox"/> Fence/Kennel | <input checked="" type="checkbox"/> Sign/Canopy/Awning | <input type="checkbox"/> Stove/Fireplace |
| <input type="checkbox"/> Swimming Pool | <input type="checkbox"/> Wrecking Permit | <input type="checkbox"/> Other _____ | |

Additional information, such as plan submittal and approval, may be required before issuance.

Scope of work: FABRICATE & INSTALL LED INTERIOR LIGHT BUILDING
sign. One channel letters set on South Elevation
One Logo sign on West Elevation.

Any work not included in this application is not permitted.

Total Value of Project \$ 6760.00 (Value of materials & labor is required to ensure consistency in assessing permit fees.)

Breakdown of values: Bldg _____ Elec _____ Plumb _____ HVAC _____

I certify the above information is complete and accurate. I agree to perform the work in conformance to all approval conditions & applicable codes/ordinances.

Applicant Name: Heather Leonard / Scott's Subs
 (Please print)
 Signature: [Handwritten Signature]
 Date: 2-17-22

Issued By: _____
Date: _____

creative Sign
company inc

505 LAWRENCE DR. DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SCOTT SUBS
LOCATION: 550 CENTENNIAL BLVD. HOBART
DRAWN BY: ELIZABETH K
SALESPERSON: JAN W
DATE: 11/03/2021
DESIGN #: D19132
PAGE: 2

REVISION LOG:	INTL.	DATE	DESCRIPTION
EK		11/11/2021	NEW AND PIZZA
EK		11/23/2021	WITH DIMMER
EK		12/02/2021	NO AND PIZZA
BV		01/18/2022	FACELIT/BACKLIT

FACELIT & FACELIT/BACKLIT CHL LTRS

QUANTITY: 1
LETTERS: FACELIT CHANNEL LETTERS (TEXT)
FACELIT/BACKLIT CHL LTRS (ICON)

LIGHTING: LED (WHITE)
FACES: 3/16" WHT TRANS ACRYLIC
TRIM CAP: 3/4" JEWELITE (TEXT) - BLACK
1" JEWELITE (ICON) - BLACK
RETURNS: 5" STANDARD - BLACK
GRAPHICS: DIGITAL PRINT DUAL SURFACE
VINYL: PREMIUM CLEAR WITH GLOSS LAM
FONT: LOGO

MOUNTING: FLUSH TO WALL (TEXT)
OFFSET 1.5" FOR HALO LIGHTING (ICON)

PHOTO EYE/TIMER: BY ELECTRICIAN
DIMMER: YES
RACEWAY: NO

INSTRUCTION: PRODUCE AND INSTALL

COLORS:

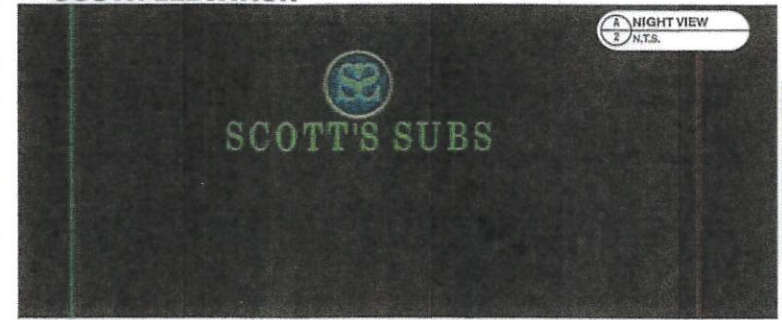
- C-1 PMS 2757 C
- C-2 PMS 368 C
- C-3 PMS 3105 C
- C-4 PMS 2718 C
- C-5 BLACK

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X SIGNATURE DATE



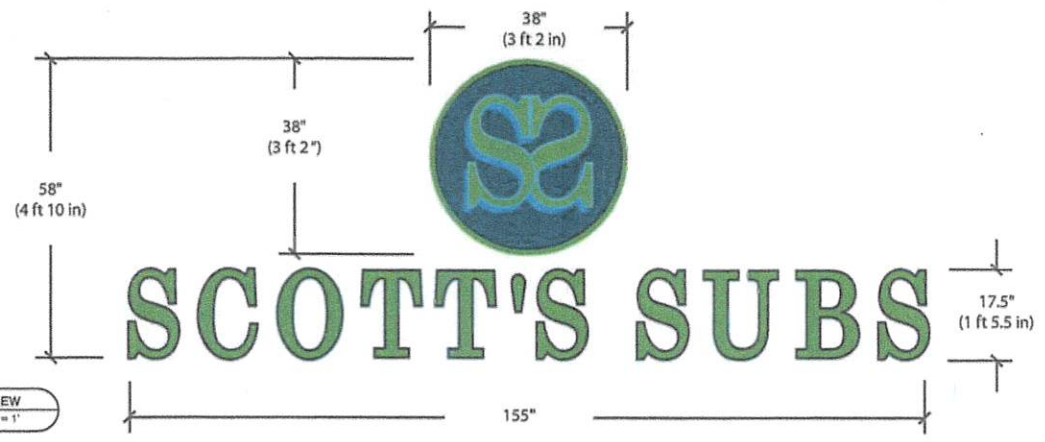
SOUTH ELEVATION



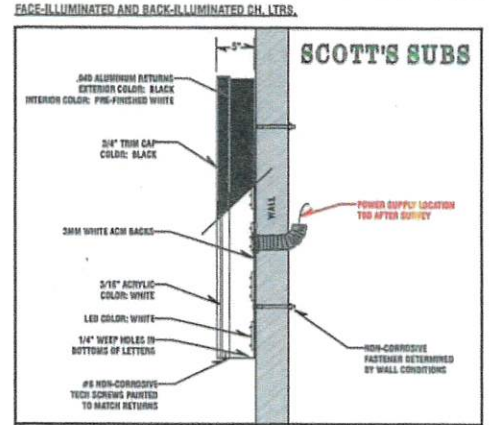
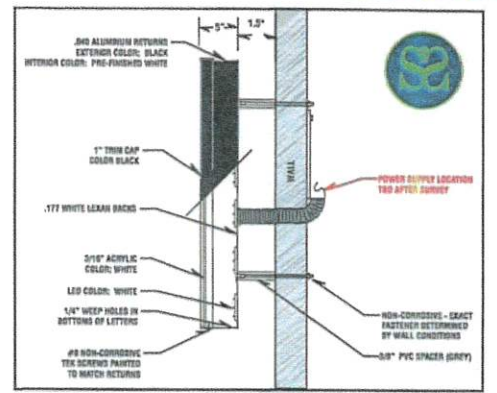
LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL WIRE & HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.



CHL-2: LOC-2
OPTION A



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All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size or exact scale. Renderings, including lighting effects, opacities, and coloration, are an approximation.

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LOCATION PHOTO

CAB-1: LOC-1



505 LAWRENCE DR. DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: SCOTT SUBS
LOCATION: 550 CENTENNIAL BLVD. HOBART
DRAWN BY: ELIZABETH K
SALESPERSON: JAN W
DATE: 11/03/2021
DESIGN #: D19132
PAGE: 1

REVISION LOG:	INTL	DATE	DESCRIPTION
EK		11/11/2021	VARIOUS
EK		11/17/2021	HDU
EK		11/23/2021	CHANGE TO CHNL LTR
EK		12/02/2021	PUSH THRU CAB
BV		01/18/2022	HOBART

FACELIT/BACKLIT CHANNEL LETTER

QUANTITY: 1
CABINET: FACELIT/BACKLIT CHANNEL LETTERS
LIGHTING: LED (WHITE)
FACES: 3/16" WHT TRANS ACRYLIC
TRIM CAP 1" JEWELLITE (BLACK)
RETURNS: 5" DEEP ALUM.
GRAPHICS: DIGITAL PRINT, DUAL SURFACE
VINYL: PREMIUM CLEAR WITH GLOSS LAM
FONT: LOGO
MOUNTING: OFFSET 1.5" FROM WALL FOR HALO

PHOTO EYE/TIMER: BY ELECTRICIAN
DIMMER SWITCH: YES
RACEWAY: NO

INSTRUCTION: PRODUCE AND INSTALL

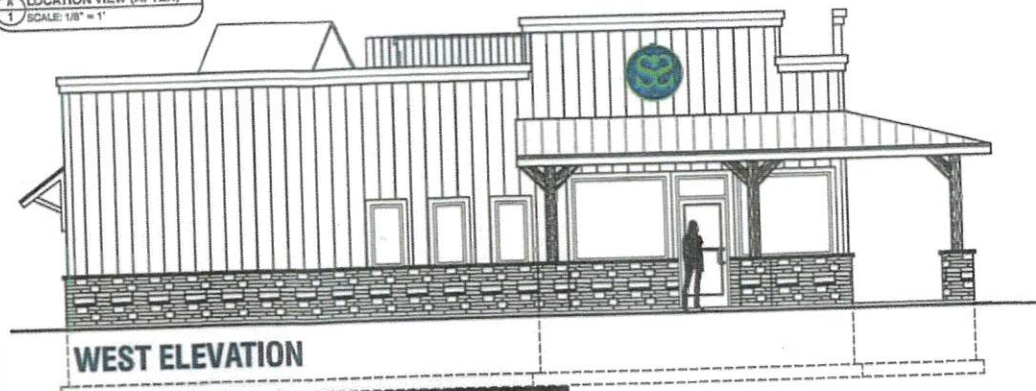
COLORS:

■	C-1 PMS 2757 C
■	C-2 PMS 368 C
■	C-3 PMS 3105 C
■	C-4 PMS 2718 C

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

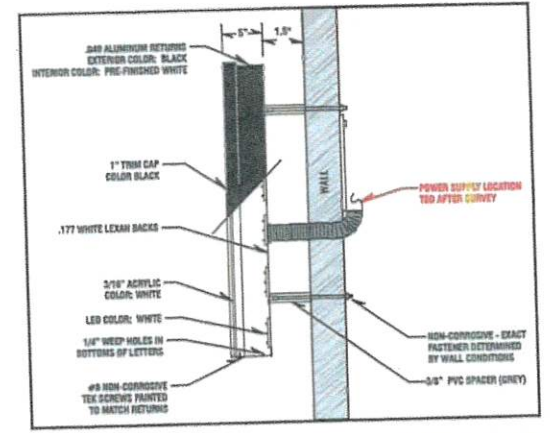
SIGNATURE _____ DATE _____

A LOCATION VIEW (AFTER)
1 SCALE: 1/8" = 1'



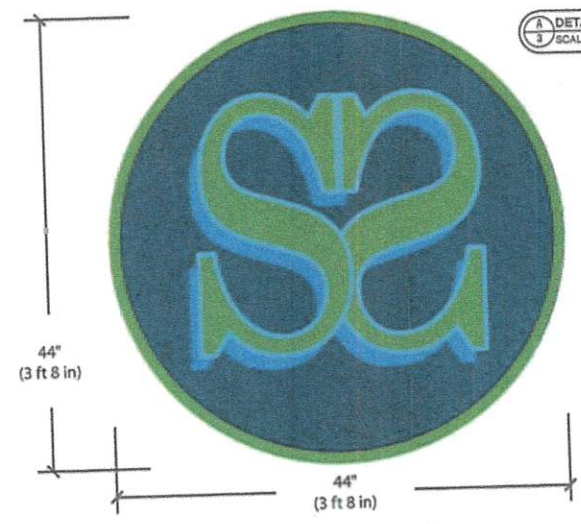
WEST ELEVATION

A NIGHT VIEW
2 N.T.S.



FACE-ILLUMINATED AND BACK-ILLUMINATED CH. LTRS.

A DETAIL VIEW
3 SCALE: 1" = 1'



LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

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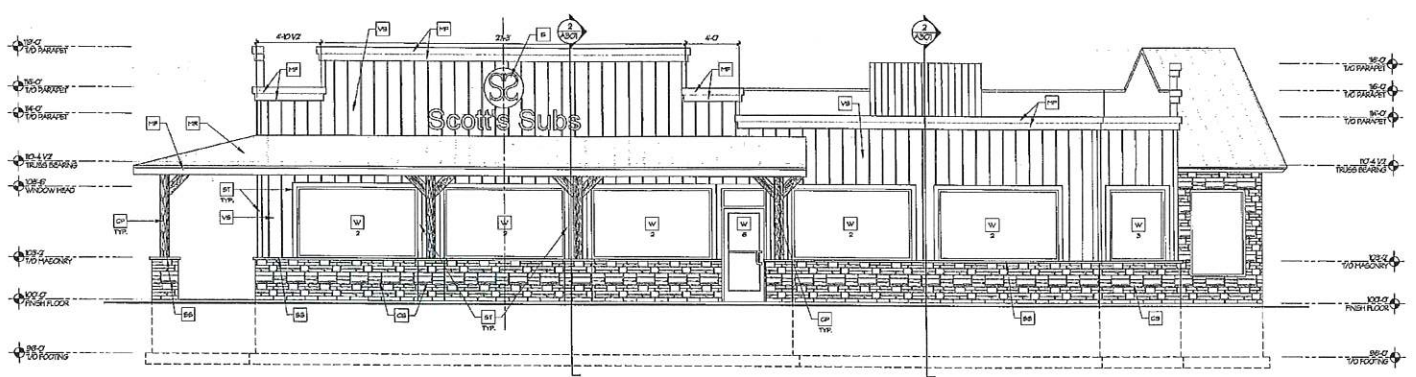
CONCEPTUAL DRAWING ONLY
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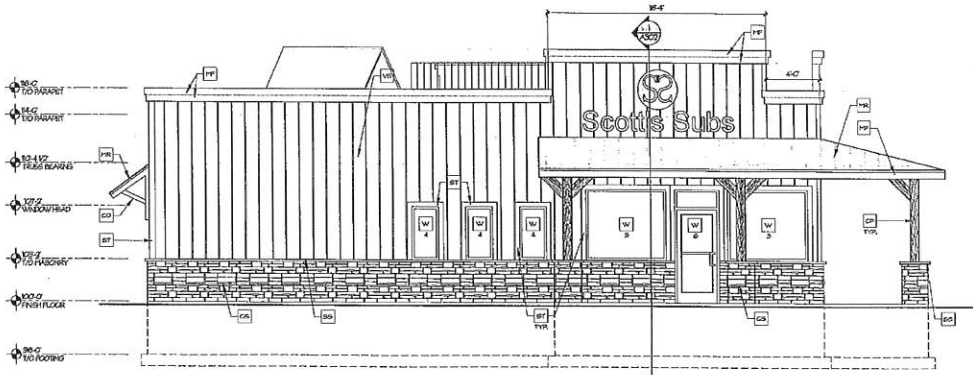


LOCATION PHOTO

2021 BUILDING APPROVAL



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

- KEY NOTES:**
- BM BREAK-METAL
COLOR: FINAL SELECTION BY OWNER
 - CB CULTURED STONE
COLOR: FINAL SELECTION BY OWNER
 - CD CEDAR BOARD/POST DETAILING
STAINED: COLOR BY OWNER
 - CP 6" x 6" CEDAR POST
STAINED: COLOR BY OWNER
 - D HOLLOW METAL DOOR - PAINT TO MATCH COLOR
OF SURROUNDING MATERIAL
 - MF METAL FLASH - 1 1/2" x 3/8" GA.
COLOR: FINAL SELECTION BY OWNER
 - MR STANDING SEAM METAL ROOFING
1" V-GUT BETWEEN KEELS - PINE/TONE OR EQUAL.
COLOR: FINAL SELECTION BY OWNER
 - Q SCOTT'S SUBS SIGNAGE BY OTHERS - UNDER
SEPARATE PERMIT.
 - SB CULTURED STONE SILL
 - SA BOARD 1 1/4" x 4" WIDE BOARD WINDOWS & DOORS
BEING 1 1/4" x 4" WIDE BOARD - BLDG CORNERS
(VERIFY ALL COLORS & WIDTHS WITH OWNER)
 - VB VERTICAL BOARD AND BATTEN BOARDS
COLOR: UP STAIN: SEE - OAKWOOD NOTE (FINAL
SELECTION BY OWNER)
 - W EXTERIOR WINDOW ASSEMBLY - INSULATED
BETWEEN GLASS - SEE ACOI
1 = FRAME TYPE SEE ACOI FOR SIZES

LLOYD CARPENTER ARCHITECT		
ARCHITECTURAL SERVICES 2643 Maple Hill Drive Green Bay, Wisconsin 54313 920.835.3826 ccp.arch@gmail.com		
REVISION/ISSUE		
NO.	DATE	DESCRIPTION

PROPOSED BUILDING FOR:
SCOTT'S SUBS HOBART
550 CENTENNIAL CENTRE BLVD., HOBART, WISCONSIN

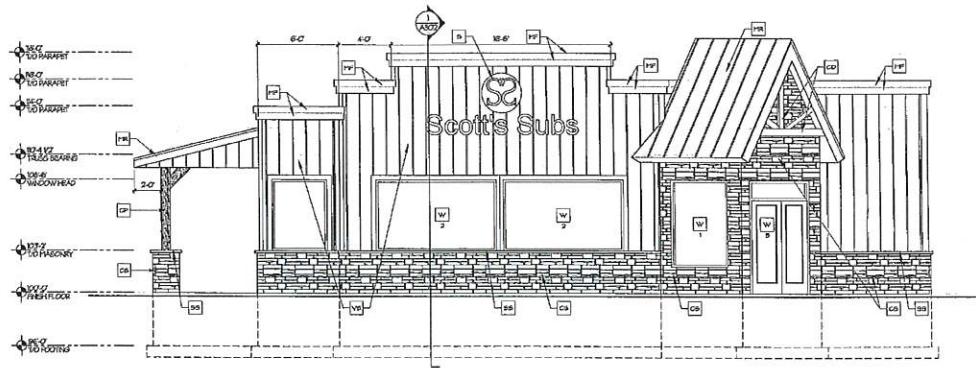
PROJECT:	
PROJECT #:	
DESIGNED BY:	LCA
APPROVED BY:	LCA
DATE:	10-13-21
SCALE:	AS SHOWN

TITLE
BUILDING ELEVATIONS

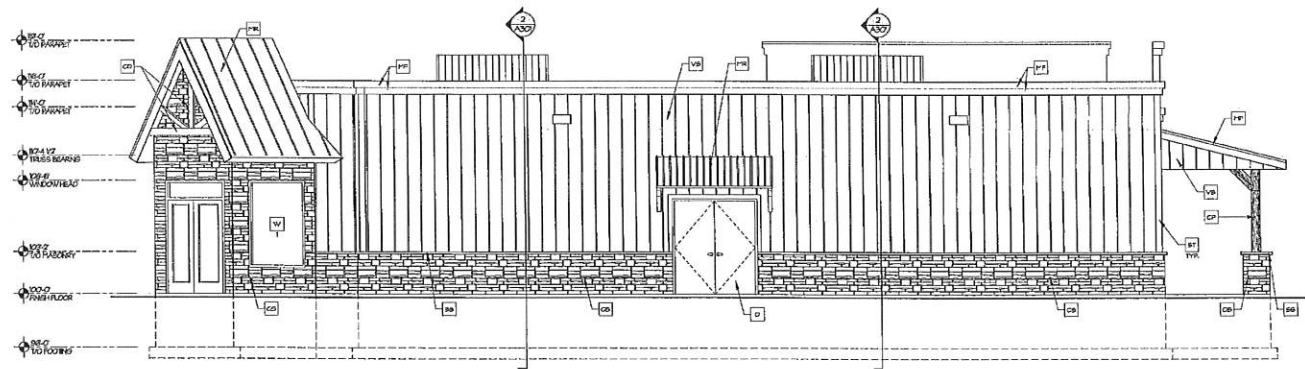
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A202

2021 BUILDING APPROVAL



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- HP BREAK METAL
COLOR FINAL SELECTION BY OWNER
 - CB CULTURED STONE
COLOR FINAL SELECTION BY OWNER
 - CD CLEAR BOARD/POST DETAILS
STAINED-COLOR BY OWNER
 - CP 2 X 6 CEDAR POST
STAINED-COLOR BY OWNER
 - D HOLLOW METAL DOOR - PAINT TO MATCH COLOR
OF SURROUNDING MATERIAL
 - HP METAL PANELS - FINISH AS
COLOR FINAL SELECTION BY OWNER
 - HP STANDING SEAM METAL ROOFING
12" VEE BETWEEN RIDGES - FINISH
COLOR FINAL SELECTION BY OWNER
 - B SCOTT'S SUBS SIGNAGE BY OTHERS - UNDER
SEPARATE PERMIT.
 - SG CULTURED STONE SILL
 - SR SIDING: 4" X 8" BOARD WINDOWS & DOORS
SIDING: 2" X 4" 1/2" VEE BOARD - RUDO CORNERS
(MATCH ALL COLORS & FINISH WITH OWNERS)
 - VE VERTICAL BOARD AND BATTEN SIDING
COLOR: L&P SHIRT SIDE; DAMAGED NOTE FINAL
SELECTION BY OWNER
 - W EXTERIOR WINDOW ASSEMBLY - UNGLAZED
STONE/POST GLASS - SEE NOTE
1 = FRAME TYPE SEE A&P FOR SIZES

**LLOYD CARPENTER
ARCHITECT**

ARCHITECTURAL SERVICES
2803 Maple Hill Drive
Green Bay, Wisconsin 54313
608.865.3828
carp.arch@gmail.com

REVISION/ISSUE

NO.	DATE	DESCRIPTION

PROPOSED BUILDING FOR:
SCOTT'S SUBS HOBART
550 CENTENNIAL CENTRE BLVD., HOBART, WISCONSIN

PROJECT # _____
DESIGNED BY: LCL
APPROVED BY: LCA
DATE: 10-10-21
SCALE: AS SHOWN

TITLE
BUILDING ELEVATIONS
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A201



TO: Site Review Committee

RE: 565 Larsen Orchard Parkway, HB-3206; New 3,697 Square Foot Commercial Building

FROM: Todd Gerbers, Director of Planning and Code Compliance

DATE: February 23, 2022

ISSUE: Discussion and action on a new 3,697 square foot commercial building and associated site improvements

RECOMMENDATION: Staff recommends conditional approval of this new development along with any conditions the Committee may identify.

GENERAL INFORMATION

1. Developer: Dr. Adam Pasono
2. Applicant: Robert E. Lee & Associates
3. Address/Parcel: 565 Larsen Orchard Parkway / HB-3206
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: Business/Office/Clinic

BACKGROUND

This property located along Larsen Orchard Parkway is currently undeveloped, and the proposed project will consist of a new 3,697 square foot, single story, business/dental clinic.

SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

Section 1, Site Plan Approval

- A. Zoning:** PDD #1: Centennial Centre at Hobart District
- B. Green Space:** 72.7% green space proposed.
- C. Setbacks:** Per the PDD #1 zoning district, “minimum setbacks will be established per the design of the structure”. Front setback along Larsen Orchard Parkway – 85.9’ (to corner of building), 253.4’ to east property line, and 63.2’ to south property line. All comply with zoning requirements.
- D. Parking:** 28 spaces proposed, 18 spaces are required per code of 3 stalls per staff member (6 staff members proposed).
- E. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- F. Storm Water:** Storm water running off of the proposed building and parking areas will be collected by the proposed storm sewer and will be discharged to a dry detention pond on the west side of the development. The southern portion of the pavement will drain to the storm sewer on parcel HB-3207 which discharges to a dry pond on parcels HB-536-1, HB-536-2, HB-3207, and HB-3206. These dry ponds discharge to the Village storm sewer which ultimately discharges to the Centennial Centre regional storm water system that will treat the storm water for TSS removal and peak discharge.

- G. Refuse Collection:** No additional refuse/recycling enclosure is noted on the site plans. Must be verified that the plan is to utilize the existing enclosure along the south property line and shared with the development to the south.

Section 2, Architectural Plan Approval

A. Exterior Construction Information:

- 1. Materials:** Wood framed building.
- 2. Exterior Materials:** All four building elevations will be similar with approximately 10' high stone veneer, smart siding (engineered wood-based lap siding) above, and ACM (Aluminum Composite Material) accents near the top.
- 3. Height:** 21' to top of parapet wall
- 4. Overhead doors:** None
- 5. Mechanical equipment:** None shown, however, if located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping.

Section 3, Landscaping Plan: Required tree planting along the public roadway is noted on plan, however, a greater detailed landscape plan is required to be submitted for review for landscaping adjacent to building.

Section 4, Lighting: Two parking lot light poles are noted in the peninsulas at the corner of the proposed building, however, no light details or building mounted lights is submitted at this time. Shall be submitted for approval prior to installation.

Section 5, Signage: Wall signage is noted on three sides of the proposed building (North, East, and West elevations). However, no sign details are attached so any proposed signage shall be submitted for approval prior to installation.

Section 6, Driveway-Curb Cut: A 26' wide driveway with a 32' curb cut is proposed along Larsen Orchard Parkway and a second ingress/egress will be through a shared location also along Larsen Orchard Parkway.

RECOMMENDATION/CONDITIONS

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any conditions the Site Review may identify:

1. Detailed landscape plan shall be submitted for approval which includes landscaping around building perimeter, and screening for parking areas located in front of the building (along Larsen Orchard Parkway).
2. Details and locations of building mounted lighting and parking lot pole lighting shall be submitted for approval prior to installation.
3. Signage details shall be submitted for approval prior to installation.
4. Any mechanical equipment if located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping.



Robert E. Lee & Associates, Inc.

Engineering, Surveying, Environmental Services

Green Bay Office
1250 Centennial Centre Blvd.
Hobart, WI 54155
920-662-9641
FAX 920-662-9141

February 4, 2022

Mr. Aaron Kramer, Village Administrator
VILLAGE OF HOBART
2990 S Pine Tree Road
Hobart, WI 54155

RE: Hobart Dental Development
Storm Water Management Summary

Dear Mr. Kramer:

Robert E. Lee & Associates, Inc., is submitting the following Storm Water Management summary for the proposed Hobart Dental development off of Larson Orchard Parkway in the Village of Hobart. Storm water running off of the proposed building and parking areas will be collected by the proposed storm sewer and will be discharged to a dry detention pond on the West side of the development. The southern portion of the pavement will drain to the storm sewer on parcel HB-3207 which discharges to a dry pond on parcels HB-536-1, HB-536-2, HB-3207, and HB-3206. These dry ponds discharge to the Village storm sewer which ultimately discharge to the Centennial Centre regional stormwater system that will treat the stormwater for TSS removal and peak discharge.

If you have any questions or need any additional information, please do not hesitate to call.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.

Brandon D. Robaidek, P.E.

VILLAGE OF HOBART

SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Hobart Dental, Larsen Orchard Parkway, Parcel HB-3206

2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 2.27 Acres

Size of facility(square footage): 3,679 S.F.

Type of facility: Dental Clinic

Developer: Dr. Adam Pasone

Address: 379 Clermont Ct. De Pere, WI, 54113 Phone: 920-639-1215

Engineer: Brandon Rabaidek - REL

Address: 1250 Centennial Centre Blvd, Hobart, WI Phone: 920-662-9641
54155

Contractor: Bayland Buildings

Construction Firm: _____

Address: P.O. Box 13571 Green Bay, WI 54307 Phone: 920-371-6200

3. SITE PLAN APPROVAL

A. Industrial ___ Business Park ___ Commercial X
Multi-Family ___

Current Zoning: PDD #1 - Centennial Centre at Hubert District

Other - Identify: _____

Erosion Control Plan on file: X YES _____ NO

% of Green Space: 72.7%

B. Orientation - Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: F - 86.9'
S - 63.2', 253.4' Complies with Ordinance: Y

D. # of parking stalls (Include Handicapped parking): 28 stalls

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines _____

7) Ingress - egress easements _____

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance X YES _____ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: X YES _____ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
 - 1) Fire Chief has reviewed and approved: ___ YES ___ NO
 - 2) Not applicable _____

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
 - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
 - 2) Name and address and phone# of engineer of project plan:

Brandon Robaidek, 1250 Centennial Centre Blvd, 920-662-9641

- J. Sidewalks, walkways, and driveways:

- K. Off street loading areas and docks:

- L. Fences and retaining walls or berms:

- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

N/A

- N. Location and dimensions of proposed outdoor display areas: _____

N/A

4. **ARCHITECTURAL PLAN APPROVAL**

- A. Exterior construction information:

1) Type of Construction Materials: Wood

2) Exterior Materials: Stone Veneer + Siding

3) Height of Facility: 21'

4) Compatibility with existing adjacent structure: N/A
(Attach Photos)

5) Other unique characteristics: _____

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

See Landscape Plan

Identify Shrubs & Location Specifics - Quantity: _____

See landscape Plan

Identify Buffering -Type – Quantity:

See landscaping Plan

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

see Site Plan, sheet 2

Identify Parking Lighting – Quantity – Wattage – Location :

Identify other Lighting – Quantity – Wattage – Location:

7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: _____

Complies with Ordinance: _____ YES _____ NO

Date: _____

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut: 32' _____

Radius / Flare: 3' Flare _____

Apron Dimensions: 26' @ sidewalk, 32' @ roadway _____

Culvert Size (End-walls Required) N/A _____



Storm Water Utility Service Application

Dept. of Neighborhood Services
2990 S. Pine Tree Rd.
Hobart WI 54155
920-869-3809

A. Applicant

Applicant Name: Brandon Robaidek Owner Name: Dr. Adam Pasono
 Address: 1250 Centennial Centre Blvd Address: 379 Clermont Ct
 City: Hobart State: WI Zip: 54155 City: De Pere State: WI Zip: 54115
 Phone: (920) 662-9641 Phone: (920) 639-215
 Email: brobaidk@rebeinc.com Email: adampasono@gmail.com

B. Parcel – Site Information

Site Address: 565 Larsen Orchard Pkwy Parcel ID: HB-3206
 Project Description: Dental Clinic

Residential ERU Calculations

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
Total ERU's			

Nonresidential Uses - Impervious Surface Calculation

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints			3,679		3,679	
Paved/Gravel Areas	1,463		21,879		23,342	
Totals	1,463		27,021		27,021	

ERU Calculation: 27,021 / 4000 sf / ERU = 6.76 ERU's
 New Total Area sq. ft.

Preparer's Signature: *BR Rob* Date: 1-26-22
 Preparer's Printed Name: Brandon Robaidek

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Hobart Dental

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(P)S or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
a. Name of project/development;	REL Sheet C	Y	
b. Location of project/development by street address, or CSM	REL Sheets 1-4	Y	
c. Name and mailing address of developer/owner;	REL Sheet 1	Y	
d. Name and mailing address of engineer/architect;	REL Sheets 1-4	Y	
e. A written statement describing how the development will be consistent with the land use and design guidelines as identified in the Centennial Centre Master Plan.			
f. A written statement from the Owner acknowledging the Village's Restrictive Covenants for the District set forth on Appendix A and agreeing:			
i. to subject the real estate that is subject to the Site to the Restrictive Covenants if said property has not been previously subjected to the Restricted Covenants; and			
ii. to be individually bound by the terms of the Restrictive Covenants, including the waiver of sovereign immunity set forth therein.		Y	
g. North point indicator;	REL Sheet 1-4	Y	
h. Scale;	REL Sheet 1-4	Y	

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Hobart Dental

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
i. Boundary lines of property, with dimensions;	REL Sheet 1	Y	
j. Location identification, and dimensions of existing and proposed:			
i. Topographic contours at a minimum interval of two feet, and key spot elevations;	REL Sheets 1,4	Y	
ii. Adjacent streets and street right of ways, respective to the elevation of building first floor;	REL Sheet 1-4	Y	
iii. On site streets and street right of ways, and fire lanes;	REL Sheet 1-4	Y	
iv. Utilities and any easements including but not limited to the following types;	REL Sheets 1,3	Y	
v. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	REL Sheet 1-4	Y	
k. A statement of the total acreage of the property to be developed;	REL Sheet 2	Y	0.9 ACRES PROJECT 2.27 ACRES LOT
l. Significant physical features within the tract, watercourses, ponds, lakes, rain gardens, and wetlands; and proposed major changes in those features;	REL Sheet 1-4	Y	
m. All contemplated land uses;	REL Sheets 1-4	Y	
n. An indicator of the contemplated intensity of use: i.e., gross density in residential development;	N/A	N/A	N/A

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Hobart Dental

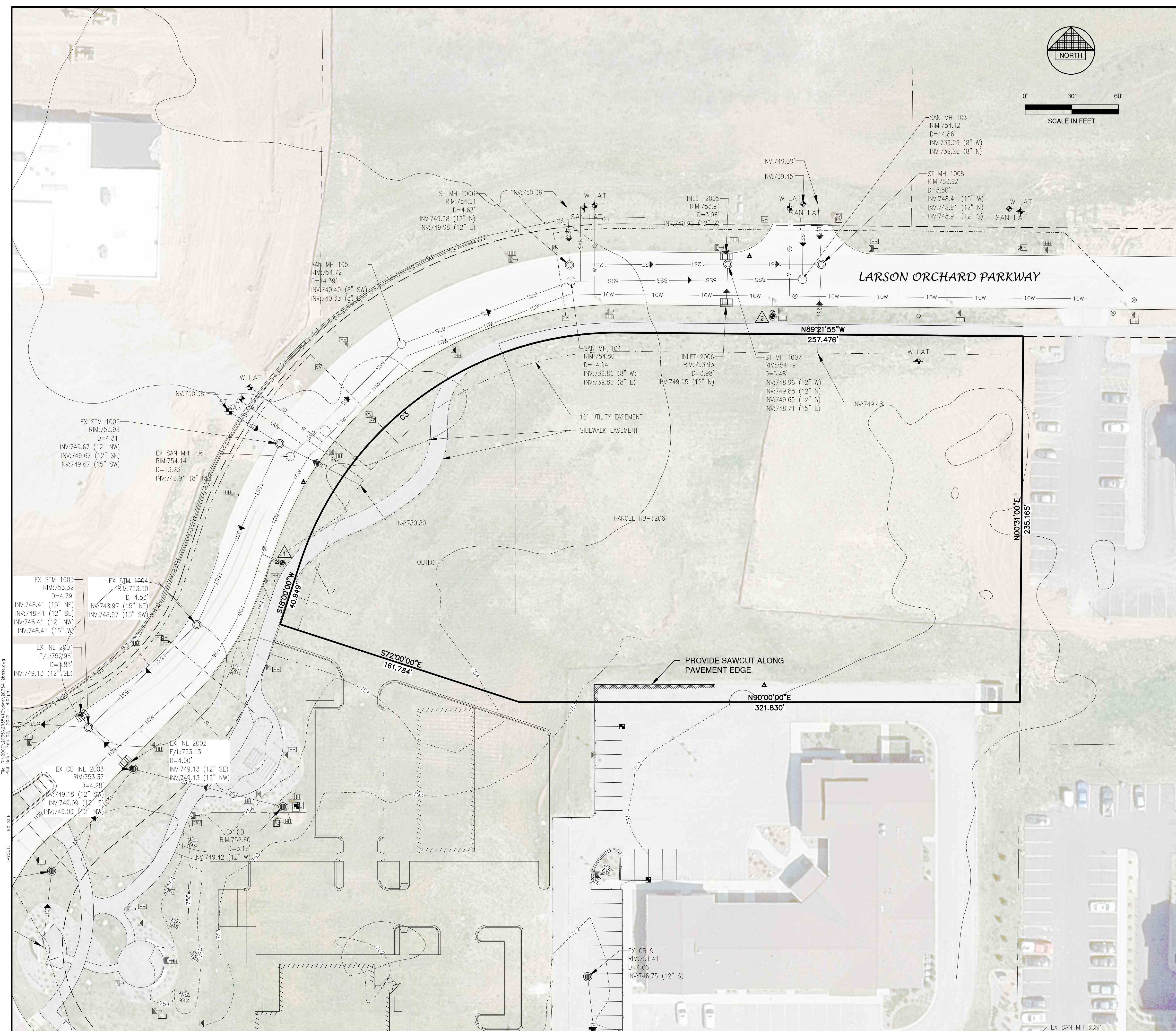
PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
o. Existing buildings that will be removed and the proposed location of all principal structures and associated parking areas;	REL Sheet 1	Y	
p. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network outside the site;	REL Sheet 1-4	Y	
q. Existing rights-of-way and easements that may affect the project;	REL Sheets 1,2	Y	
r. The location of sanitary and storm sewer lines and water mains;	REL Sheets 1,3	Y	
s. The location of recreational and open space areas;	REL Sheet 2-4	Y	
t. Description of proposed system for drainage and a storm water plan showing existing and final grades.			NARRATIVE
i. Parking facilities;	REL Sheet 2-4	Y	
ii. Water bodies and wetlands;	REL Sheet 1-4	Y	
iii. Surface water holding ponds , drainage ditches, and drainage patterns, location and size of culverts and any drainage sewers servicing the site	REL Sheets 2-4	Y	
u. Sidewalks, walkways, and driveways;	REL Sheet 2-4	Y	
v. Off street loading areas and docks;	N/A	Y	
w. Fences and retaining walls;	N/A	Y	
x. All signs;	REL Sheet 2	Y	

Centennial Centre at Hobart

Site Plan Review Checklist

Project: Hobart Dental

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
y. Exterior refuse collection areas and the required enclosure(s);	N/A	Y	
z. Exterior lighting;	REL Sheet 2	Y	
aa. Traffic flow on and off site.	REL Sheet 2	Y	
bb. Location of open space/green space;	REL Sheet 2	Y	
cc. Site statistics, including:			
i. Sq. Footage	REL Sheet 2	Y	98,829 SF
ii. Percent site coverage;	REL Sheet 2	Y	27.30%
iii. Percent open space; and green space	REL Sheet 2	Y	72.70%
iv. Floor area ratio (FAR)	REL Sheet 2	Y	0.037
dd. Location and dimensions of proposed outdoor display areas;	N/A	N/A	
ee. Architectural rendering of the proposed structures and buildings, including:	A10		
i. All dimensions;	A1.0,A2.0,A3.0		
ii. Gross square footage of existing and proposed buildings and structures; and	A1.0	Y	
iii. Description of all exterior finish materials.	A2.0,A3.0	Y	
ff. Erosion control plans;	REL Sheets 4, 7-10	Y	
gg. Landscaping plan	REL Sheets 2	Y	



OWNER INFORMATION:
 DR. ADAM PASONO
 379 CLERMONT COURT
 DE PERE, WI 54115
 (920) 639-1215

CONTRACTOR INFORMATION:
 BAYLAND BUILDINGS, INC.
 P.O. BOX 13571
 GREEN BAY, WI 54307
 (920) 371-6200
 CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:
 UTILITIES PRESENT:
 VILLAGE OF HOBART DEPARTMENT OF PUBLIC WORKS, WISCONSIN PUBLIC SERVICE CORP., TIME WARNER CABLE AND NSIGHT.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGERS HOTLINE TICKETS NUMBERED 20213602229 AND 2021360122, BOTH DATED 09/09/2021 VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS VILLAGE OF HOBART 2990 S. PINE TREE RD. HOBART, WI 54155 (920) 869-3807

GAS & ELECTRIC: WISCONSIN PUBLIC SERVICE CORP. 700 N. ADAMS ST. GREEN BAY, WI 54307 (800) 797-7434

TELECOMMUNICATIONS: TIME WARNER CABLE 2580 W. MASON ST. GREEN BAY, WI 54303 (920) 944-1581

TELECOMMUNICATIONS: NSIGHT C/O MI TECH SERVICES 1700 INDUSTRIAL DR. GREEN BAY, WI 54302 (920) 288-8908

DIGGERS HOTLINE

Dial 811 or (800) 242-8511

www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

- LEGEND**
- FIRE HYDRANT
 - WATER VALVE/CURB STOP
 - WATER MANHOLE
 - REDUCER/INCREASER
 - SANITARY MANHOLE
 - AIR RELIEF MANHOLE
 - STORM MANHOLE
 - OPEN STORM MANHOLE
 - STORM INLET
 - STORM INLET MANHOLE
 - TANK COVER
 - SOIL BORING
 - POST
 - IRON PIPE/ROD
 - PK NAIL
 - POWER POLE
 - POWER POLE W/GUY WIRE
 - LIGHT POLE
 - TRAFFIC SIGNAL POLE
 - ELECTRIC MANHOLE
 - ELECTRIC METER
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - CABLE TV MANHOLE
 - CABLE TV PEDESTAL
 - GAS VALVE
 - GAS METER
 - MAILBOX
 - SIGN
 - BOLLARD
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - RIP RAP
 - CULVERT
 - WETLANDS
 - HANDICAP PARKING

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- 8SS SANITARY SEWER (SIZE NOTED)
- 4FM FORCEMAIN (SIZE NOTED)
- 10ST STORM SEWER (SIZE NOTED)
- 6W WATERMAIN (SIZE NOTED)
- G GAS LINE
- OT OVERHEAD TELEPHONE LINE
- T UNDERGROUND TELEPHONE LINE
- OE OVERHEAD ELECTRIC LINE
- E UNDERGROUND ELECTRIC LINE
- OTV OVERHEAD CABLE TV LINE
- TV CABLE TV LINE
- FO FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.	
NO.	DESCRIPTION	EL.	
1	TAG BOLT ON HYDRANT	756.07	
2	TAG BOLT ON HYDRANT	756.24	

Curve Table							
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C3	72°31'00"	215.00'	272.11'	S54°15'30"W	254.31'	N89°29'00"W	S18° 00' 00"W

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN LPL
 CHECKED JGS
 DESIGNED BDR

**SITE DEVELOPMENT OF
 SCOTT'S SUBS
 VILLAGE OF HOBART
 BROWN COUNTY, WISCONSIN**

EXISTING SITE CONDITIONS

DATE 09/2021
 FILE 2035412BASE
 JOB NO. 6252001

Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
 920-662-9641 www.releinc.com

SHEET NO. 1

GENERAL NOTES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.
2. ALL PLANTINGS SHALL MEET THE VILLAGE OF HOBART'S STANDARDS
3. ALL AREAS SHOWN AS GREEN SPACE TO BE TOPSOILED TO A DEPTH OF 6 INCHES. RAKE FREE OF STONES AND CLUMPS. ALL AREAS NOT SHOWN WITH LANDSCAPE BEDS TO BE SEEDED AND MULCHED FOR LAWN. MULCH SHALL BE HELD IN PLACE BY CRIMPING OR BY USE OF A TACKIFIER.
4. ALL TREES TO BE STAKED WITH A MINIMUM OF 3 STAKES.
5. COORDINATE LANDSCAPE WORK WITH ALL TRADES (EXAMPLE: GAS, ELECTRIC, CABLE AND TELEPHONE.).

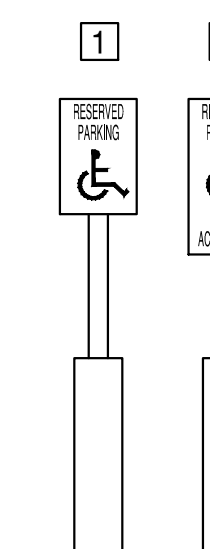
COUNT	MARK	LATIN NAME	COMMON NAME	SIZE
TREES				
11	ABM	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	1.5" CAL

LANDSCAPING REQUIREMENTS
1 TREE PER 50 LINEAL FEET OF FRONTAGE

LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (LIGHT) (16,247 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
-
-
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- LIGHT POLE (1 LAMP)

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



NOTE

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA

TOTAL PARKING STALLS PROVIDED = 28
HANDICAP ACCESSIBLE PARKING STALLS = 2
TOTAL PARKING STALLS REQUIRED = 18

3 STALLS PER STAFF MEMBER AND DOCTOR
X
6 STAFF MEMBERS = 18 STALLS

SITE DATA

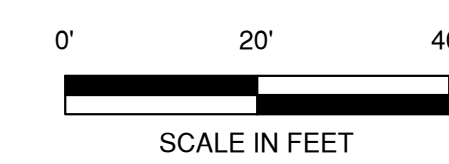
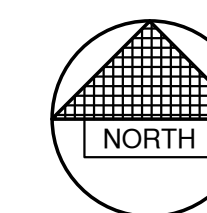
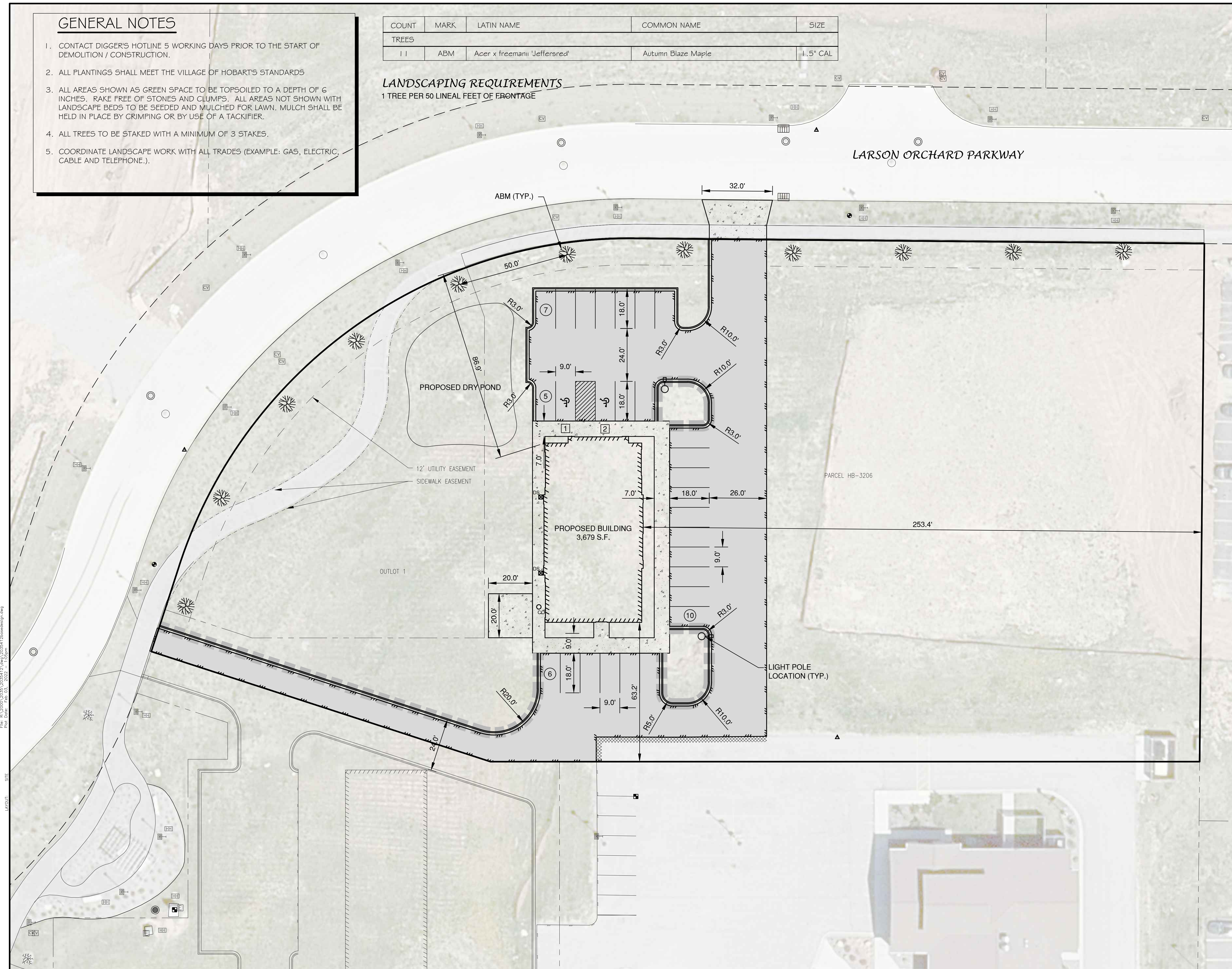
TOTAL AREA = 2.27 ACRES, 98,829 S.F.
BUILDING AREA = 0.08 ACRES, 3,679 S.F. (3.7%)
SIDEWALK/PARKING LOT AREA = 0.54 ACRES, 23,342 S.F. (23.6%)
GREEN SPACE = 1.65 ACRES, 71,808 S.F. (72.7%)

ZONING

PDD #1 - CENTENNIAL CENTRE AT HOBART DISTRICT

PARCEL NO.

HB-3206



PRELIMINARY
Not for Construction

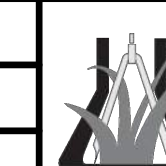
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN BDR
CHECKED RBB
DESIGNED BDR

HOBART DENTAL
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

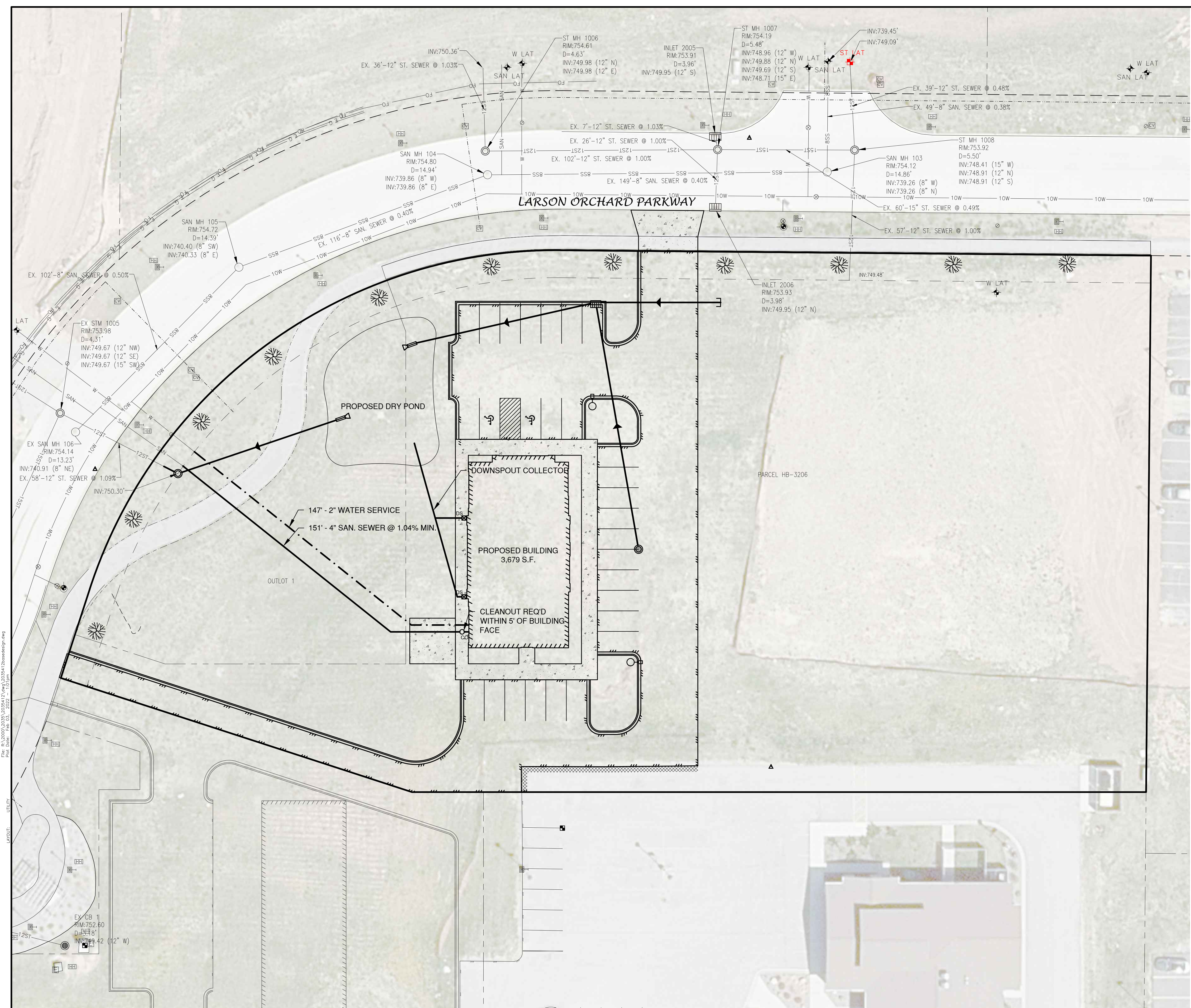
SITE PLAN

DATE 02/20/22
FILE 2035412BASEDESIGN
JOB NO. 2035412



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releeinc.com

SHEET NO.
2

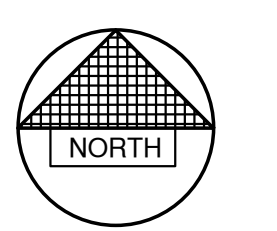


LEGEND

- 8SS — 8SS — PROPOSED SANITARY SEWER
- 10ST — 10ST — PROPOSED STORM SEWER
- 6W — 6W — PROPOSED WATERMAIN
- 8SS — 8SS — EXISTING SANITARY SEWER (SIZE NOTED)
- 10ST — 10ST — EXISTING STORM SEWER (SIZE NOTED)
- 6W — 6W — EXISTING WATERMAIN (SIZE NOTED)
- PROPOSED
- EXISTING
- ⊙ FIRE HYDRANT
- ⊗ WATER VALVE/CURB STOP
- ⊕ WATER MANHOLE
- ▽ REDUCER/INCREASER
- SANITARY MANHOLE
- ⊠ LIFT STATION
- ⊞ TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- ⊙ STORM MANHOLE
- ⊙ STORM CATCH BASIN
- ⊙ STORM INLET
- ⊙ STORM INLET MANHOLE
- ⊙ YARD DRAIN
- ⊙ STANDPIPE
- ⊙ ROOF DOWNSPOUT
- ⊙ DISCHARGE STRUCTURE

NOTE

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



PRELIMINARY
Not for Construction

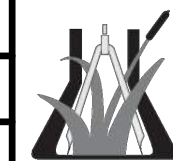
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN
BBB
CHECKED
BBB
DESIGNED
BBB

HOBART DENTAL
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

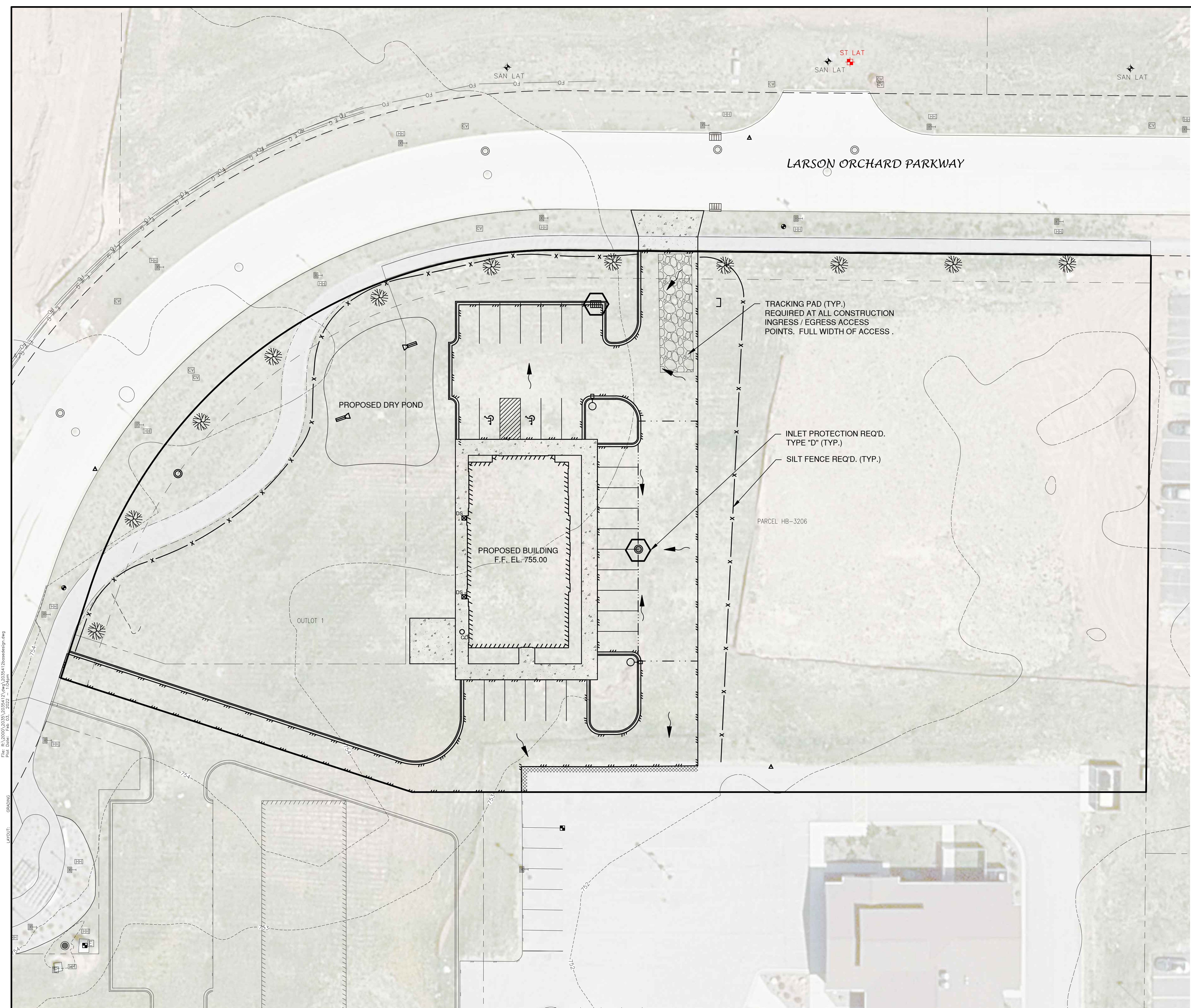
UTILITY PLAN

DATE
02/2022
FILE
2035412BASEDESIGN
JOB NO.
2035412



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
920-662-9641 www.releinc.com

SHEET NO.
3



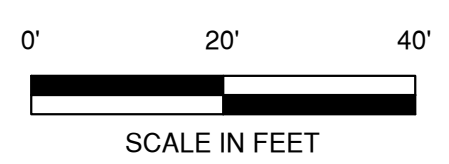
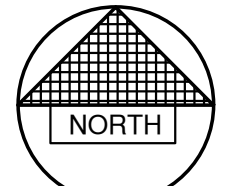
LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



PRELIMINARY
Not for Construction

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

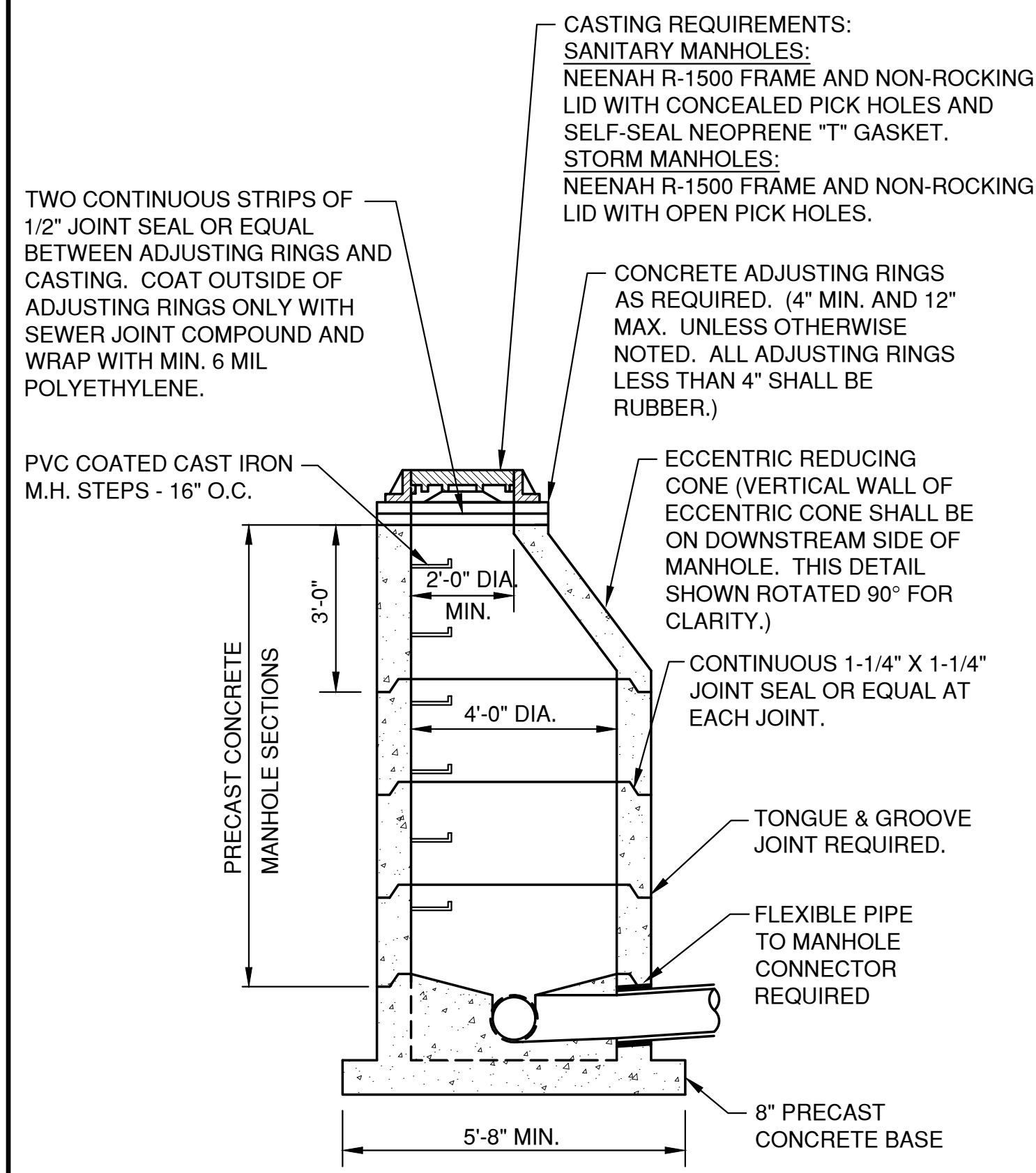
HOBART DENTAL
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

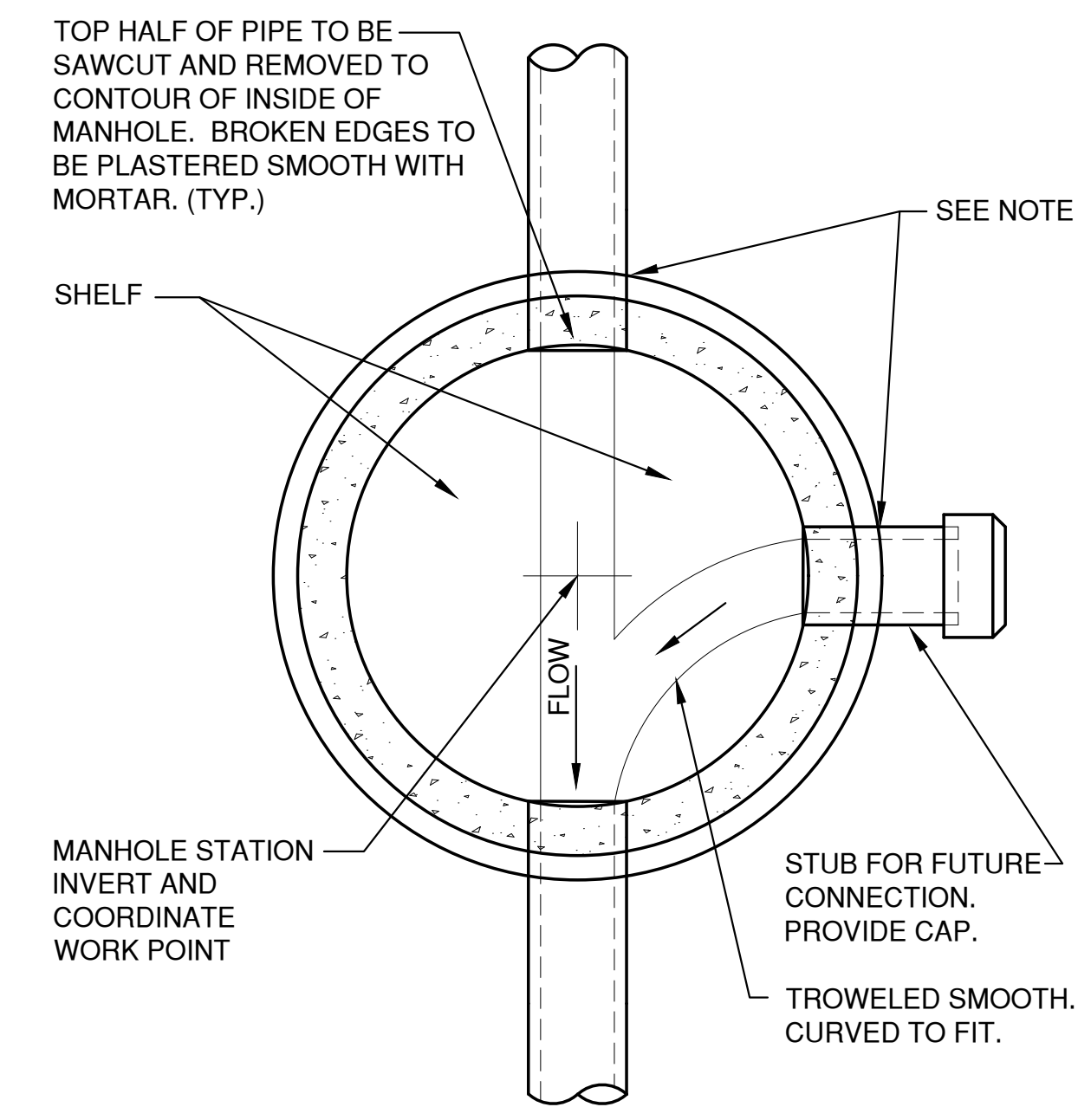
DATE
02/2022
FILE
2035412BASEDESIGN
JOB NO.
2035412

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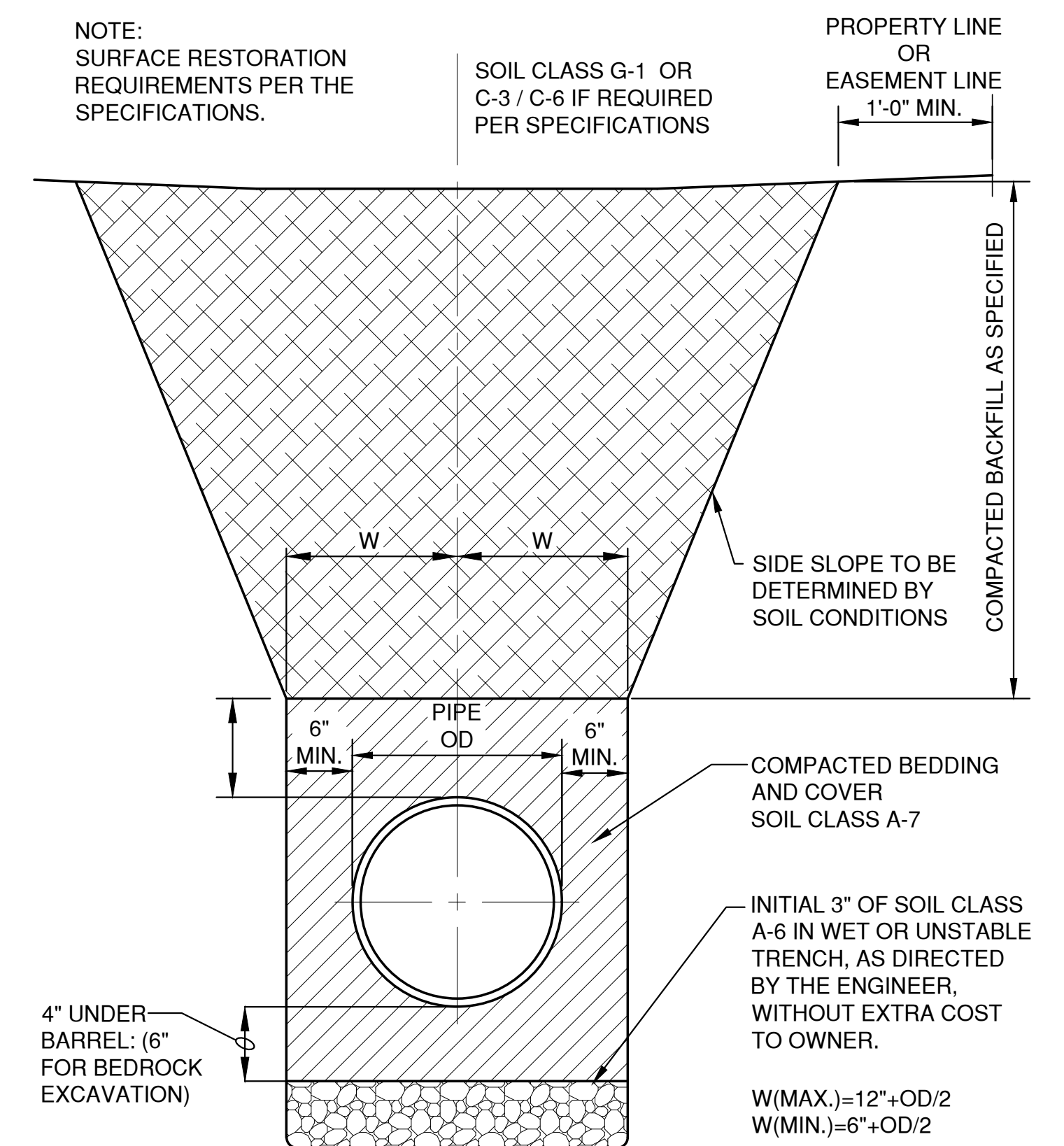
SHEET NO.
4



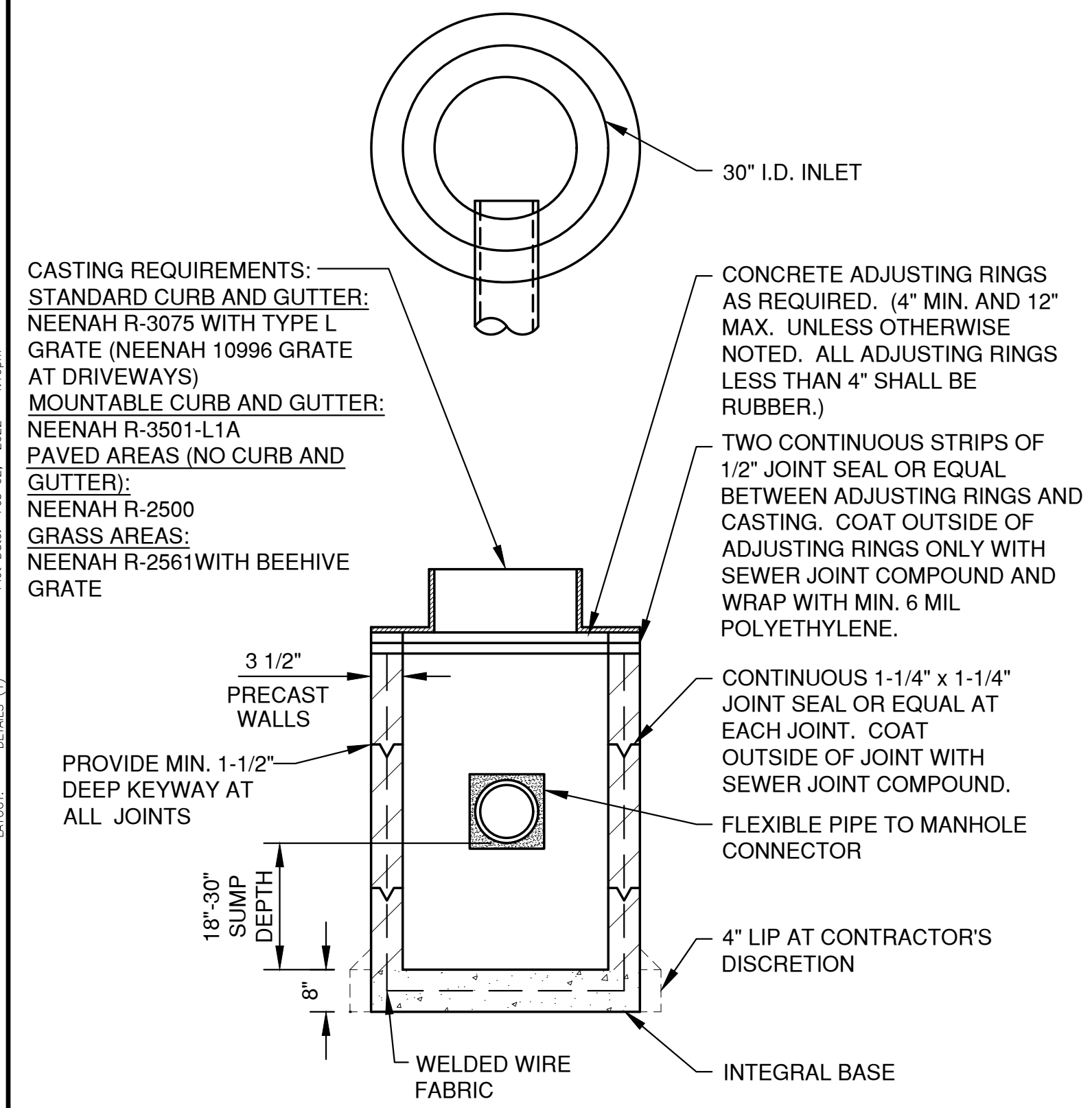
**SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)**



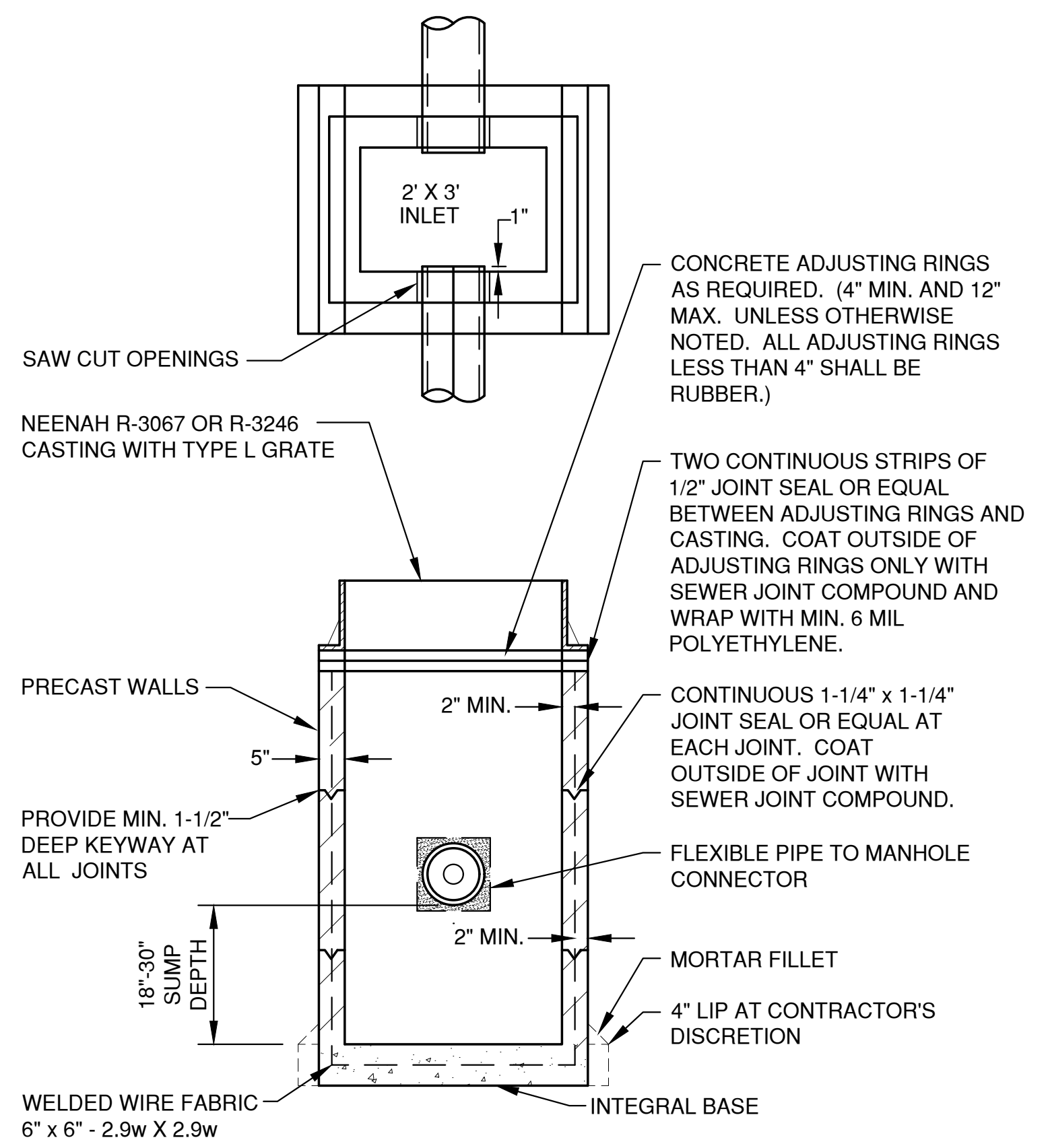
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



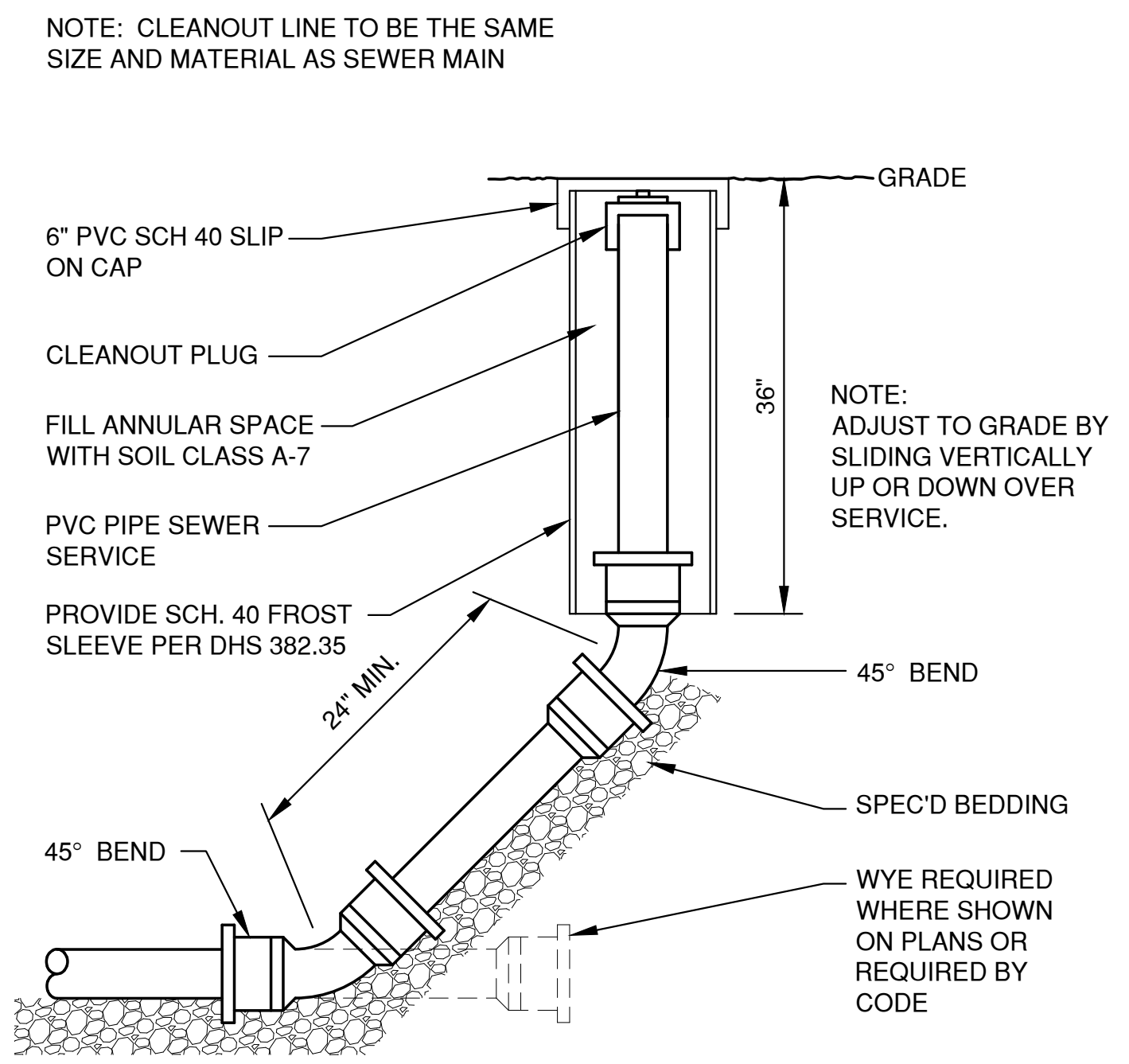
**HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN
BEDDING AND TRENCH DETAIL**



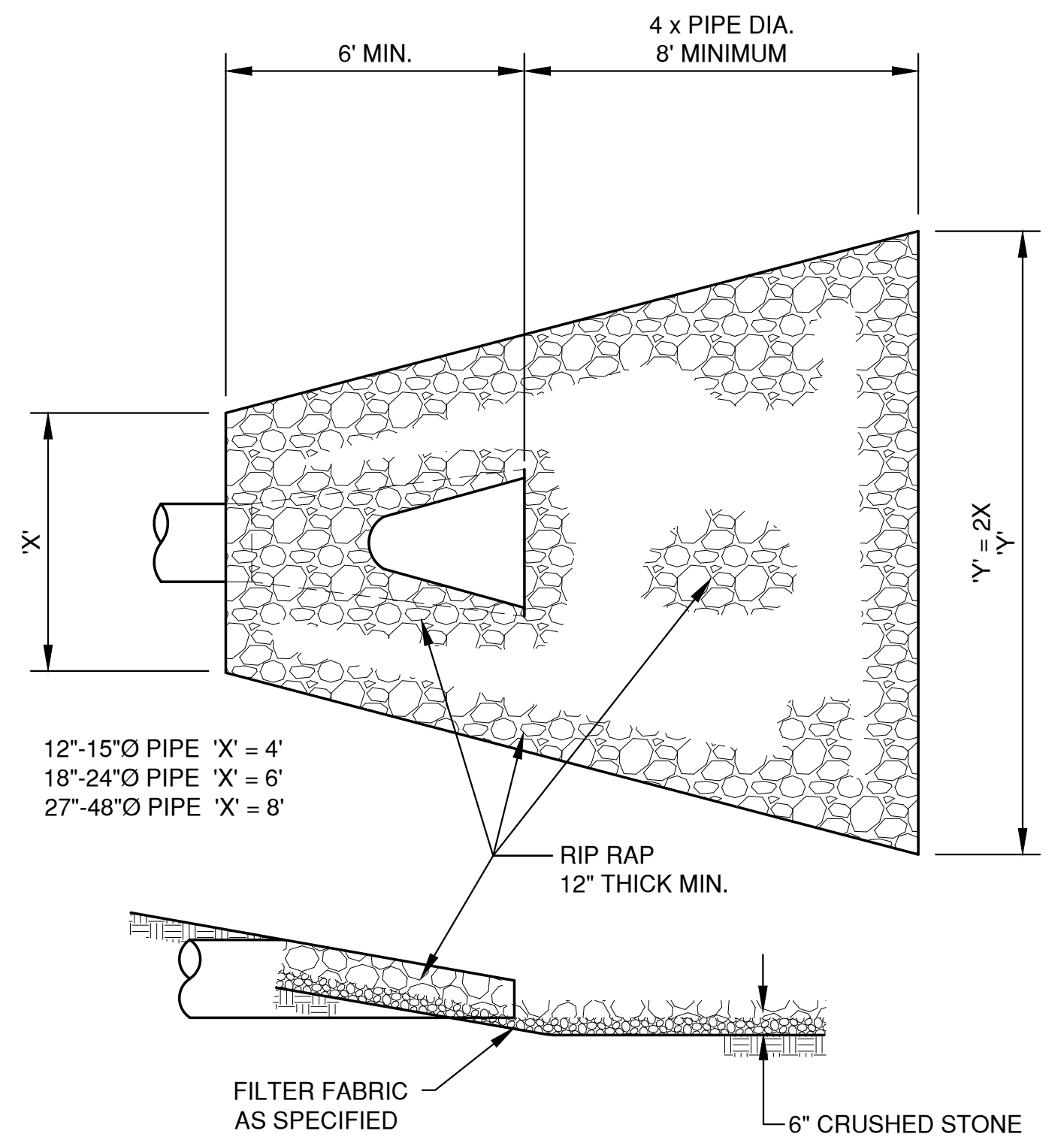
TYPE 'A' STORM INLET



TYPE 'B' STORM INLET



**CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)**



ENDWALL RIP RAP DETAIL

PRELIMINARY
Not for Construction

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN BDR
 CHECKED RBB
 DESIGNED BDR

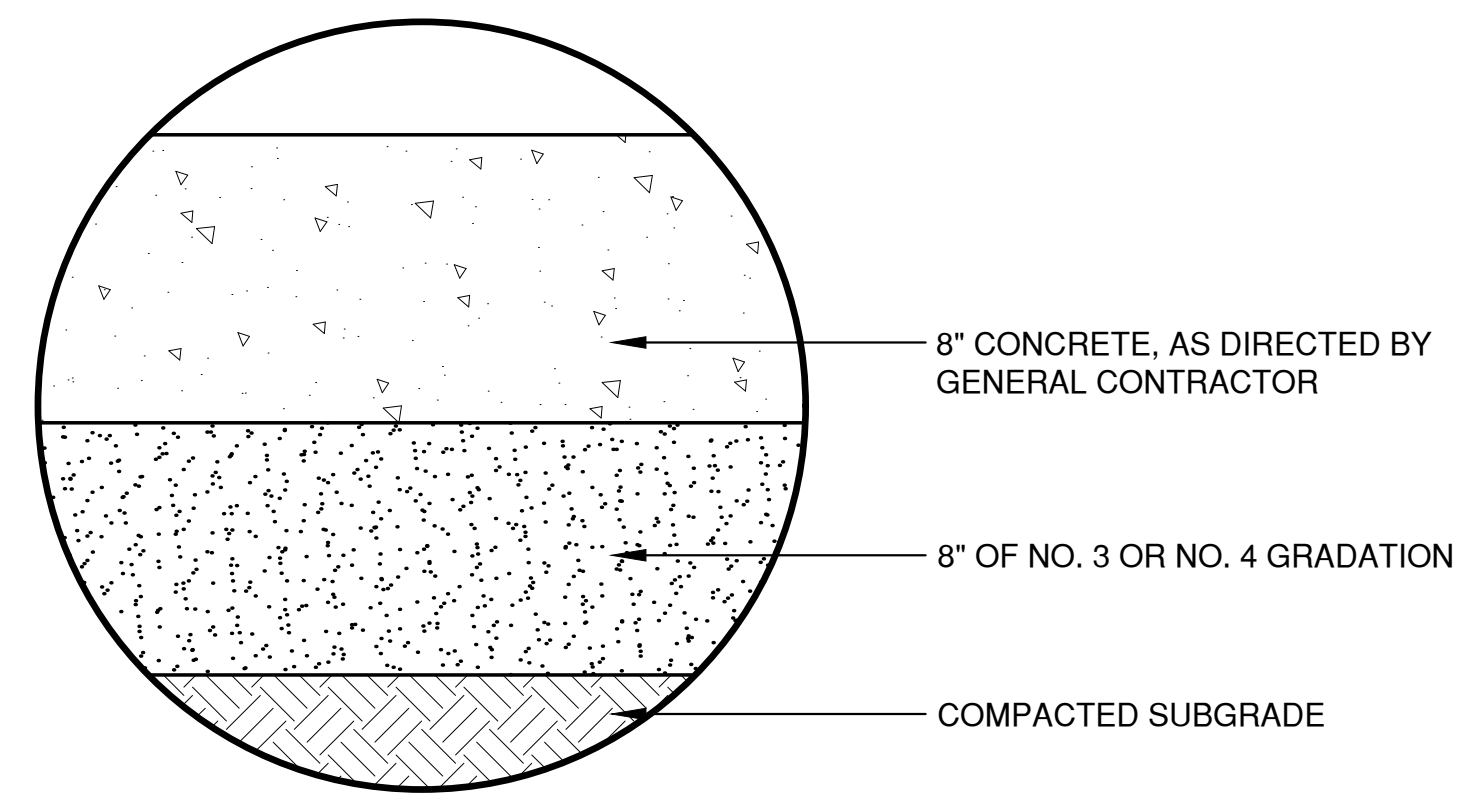
HOBART DENTAL
 FOR BAYLAND BUILDINGS, INC.
 VILLAGE OF HOBART
 BROWN COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

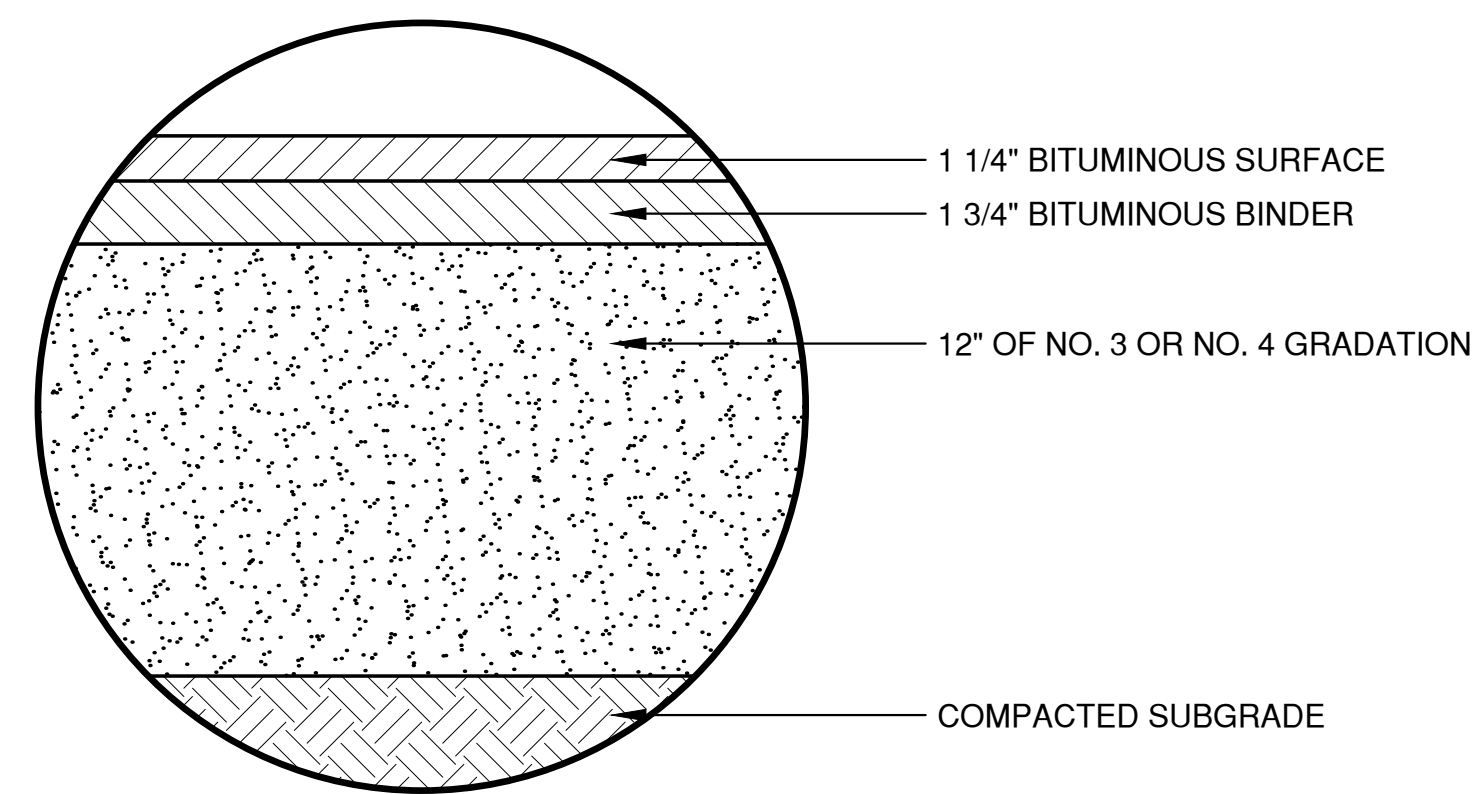
DATE 01/2022
 FILE DETAILS
 JOB NO. 2055412

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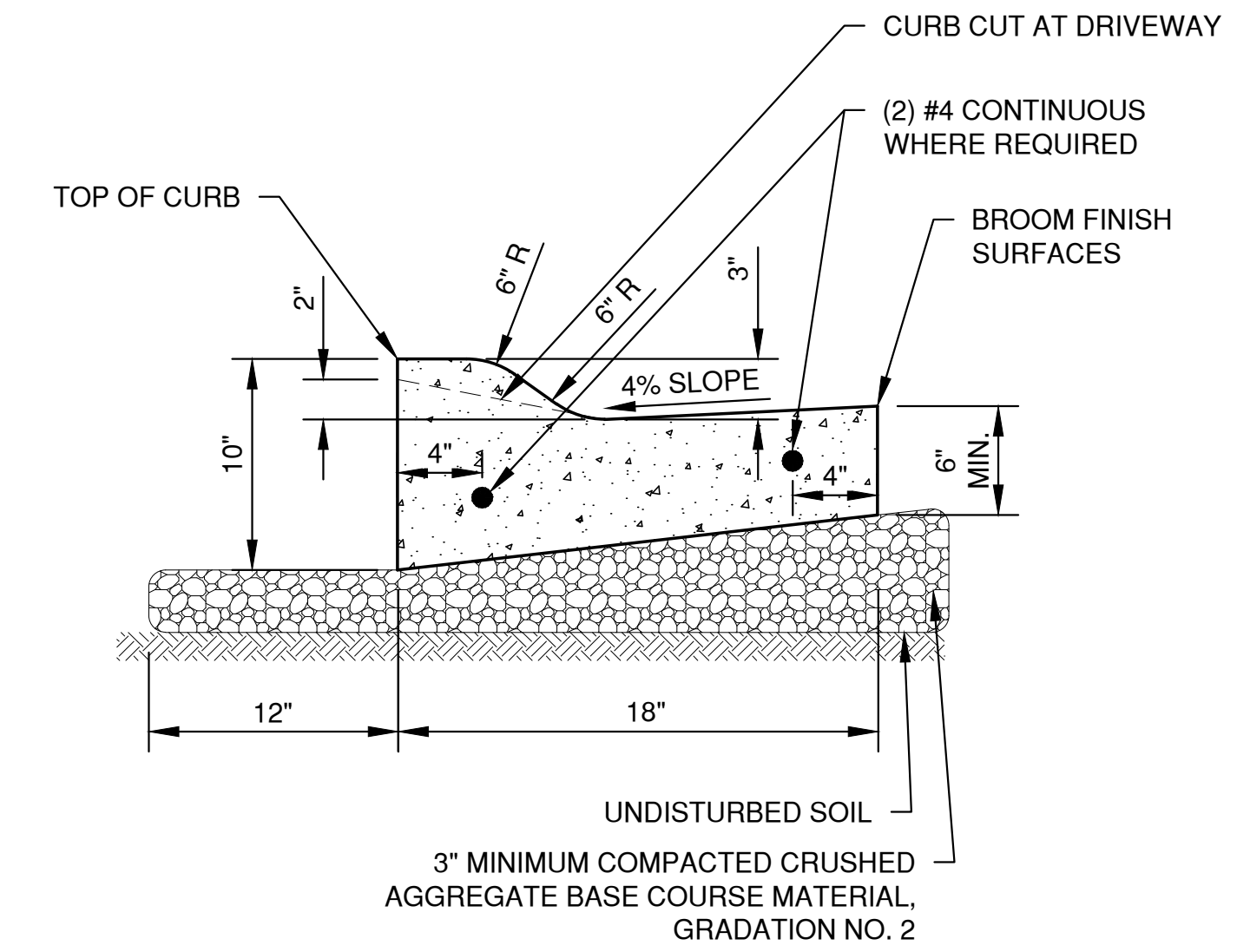
SHEET NO. **5**



CONCRETE PAVEMENT



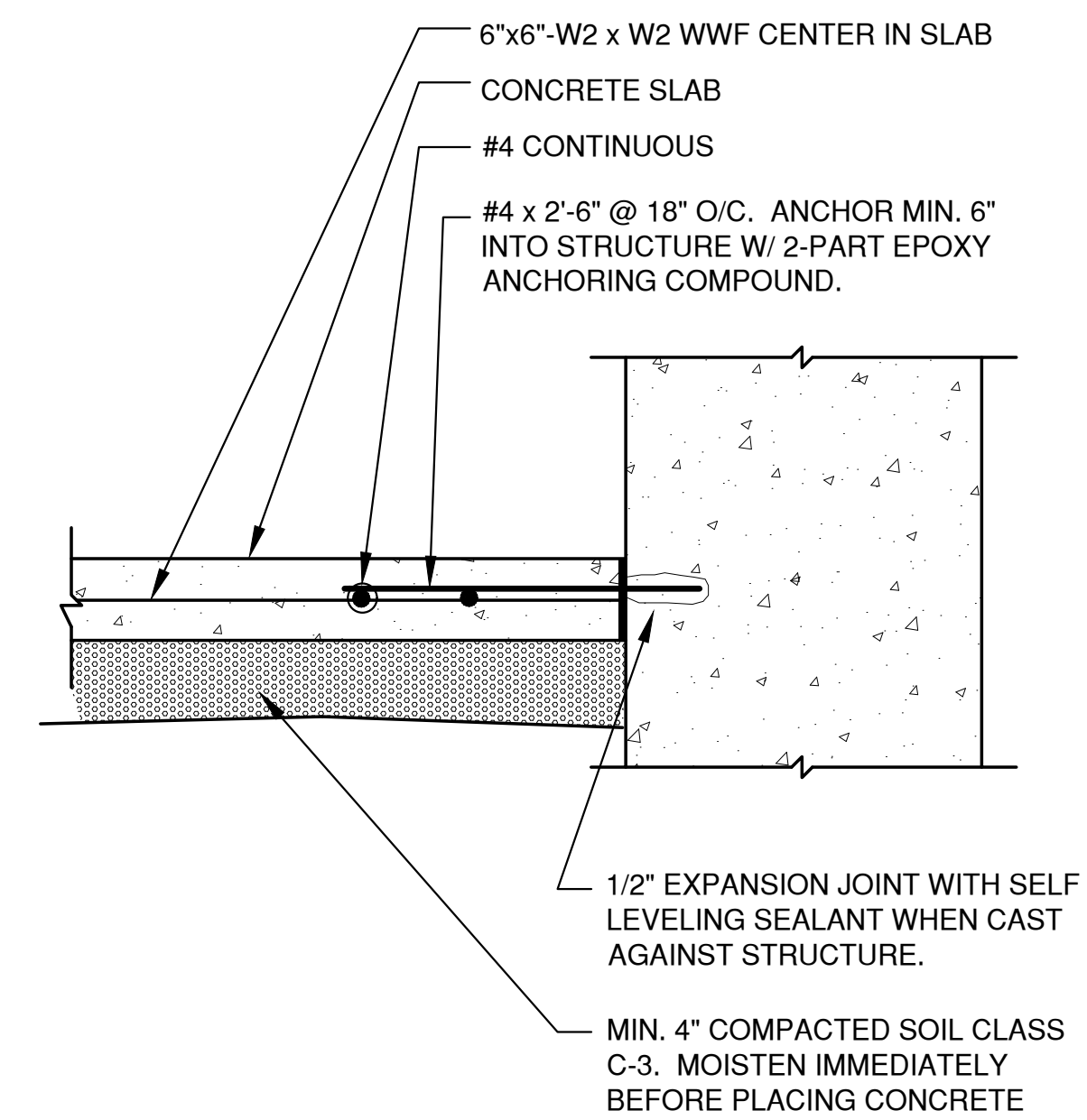
LIGHT DUTY ASPHALT PAVEMENT



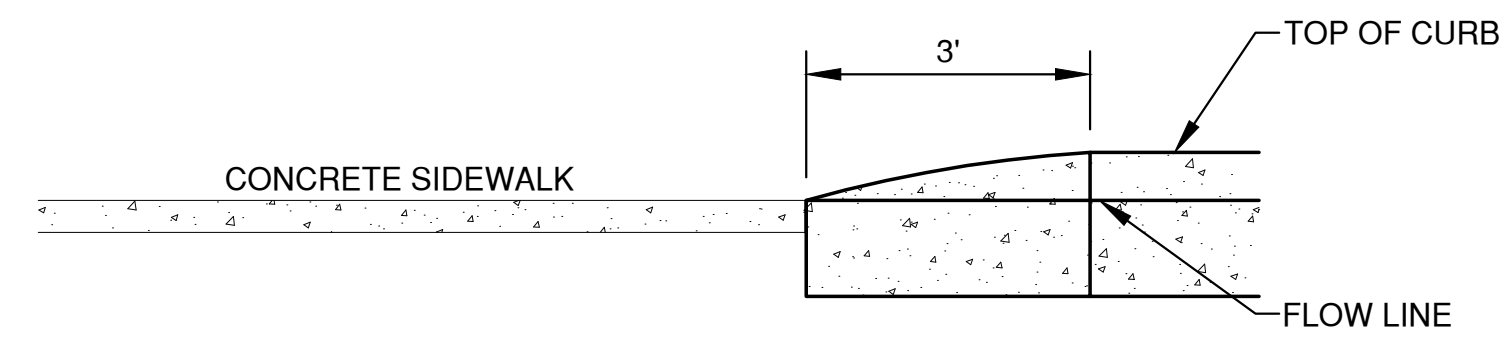
NOTES:

1. PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS SPECIFIED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.
2. **AT REMOVAL AND REPLACEMENT AREAS** AND AT TIE-INS TO EXISTING CURB AND GUTTER, PROVIDE (2) #4 BARS, 18" LONG. DRILL AND GROUT INTO EXISTING CURB AND GUTTER 9". MATCH EXISTING SLOPE OF EXISTING GUTTER PAN.

MOUNTABLE CURB AND GUTTER



TYPICAL SIDEWALK ADJACENT TO STRUCTURE



CURB TAPER DETAIL

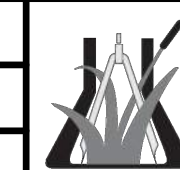
File: P:\2020\2020\2020\12\12\DETAILS.dwg
Plot Date: Feb 12, 2022 4:10pm
LAYOUT: DETAILS (3)

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BDR
								CHECKED BDB
								DESIGNED BDR

HOBART DENTAL
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

DATE 01/20/22
FILE DETAILS
JOB NO. 2025412



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SHEET NO.
6

PRELIMINARY
Not for Construction

NOTES:

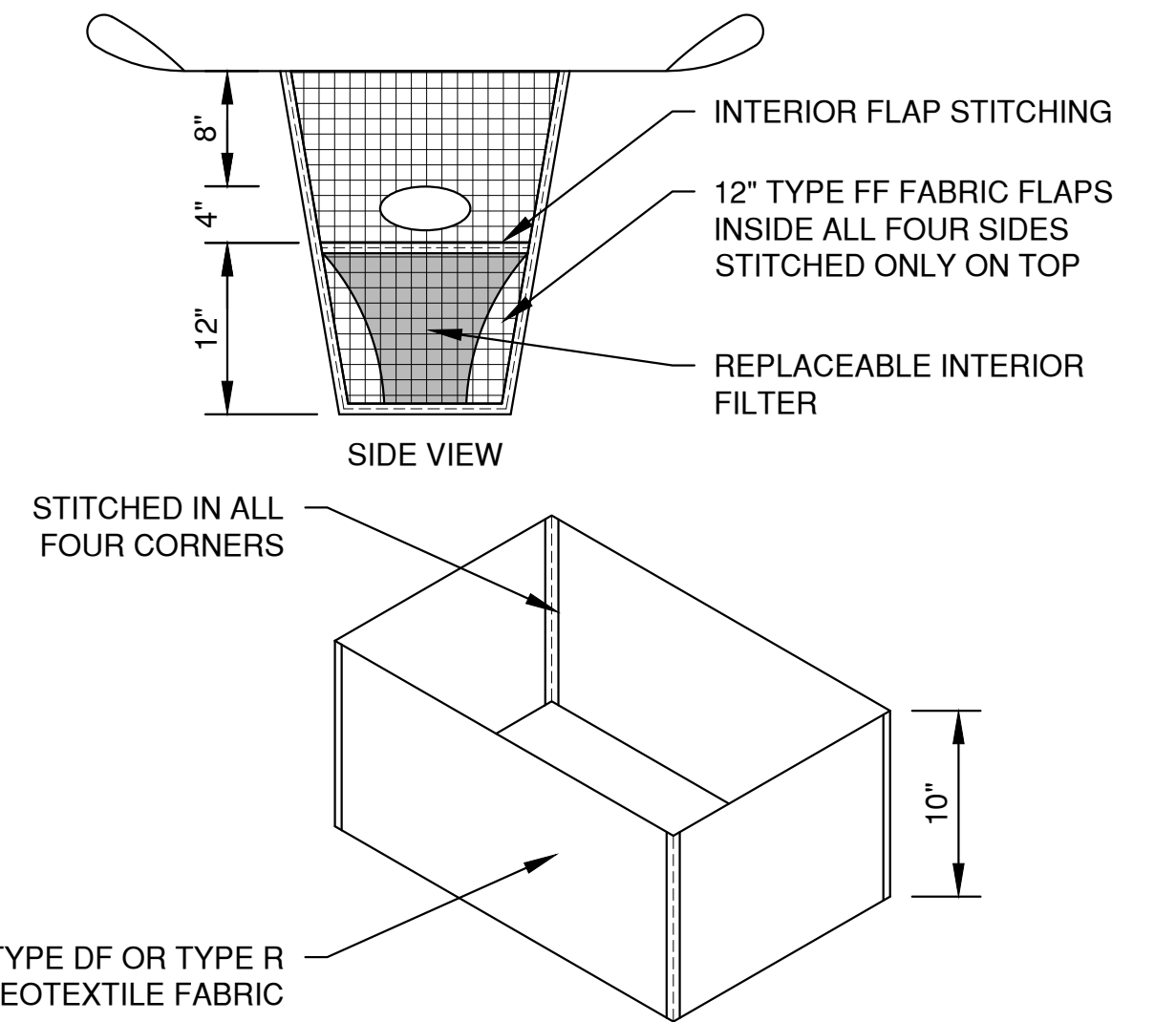
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

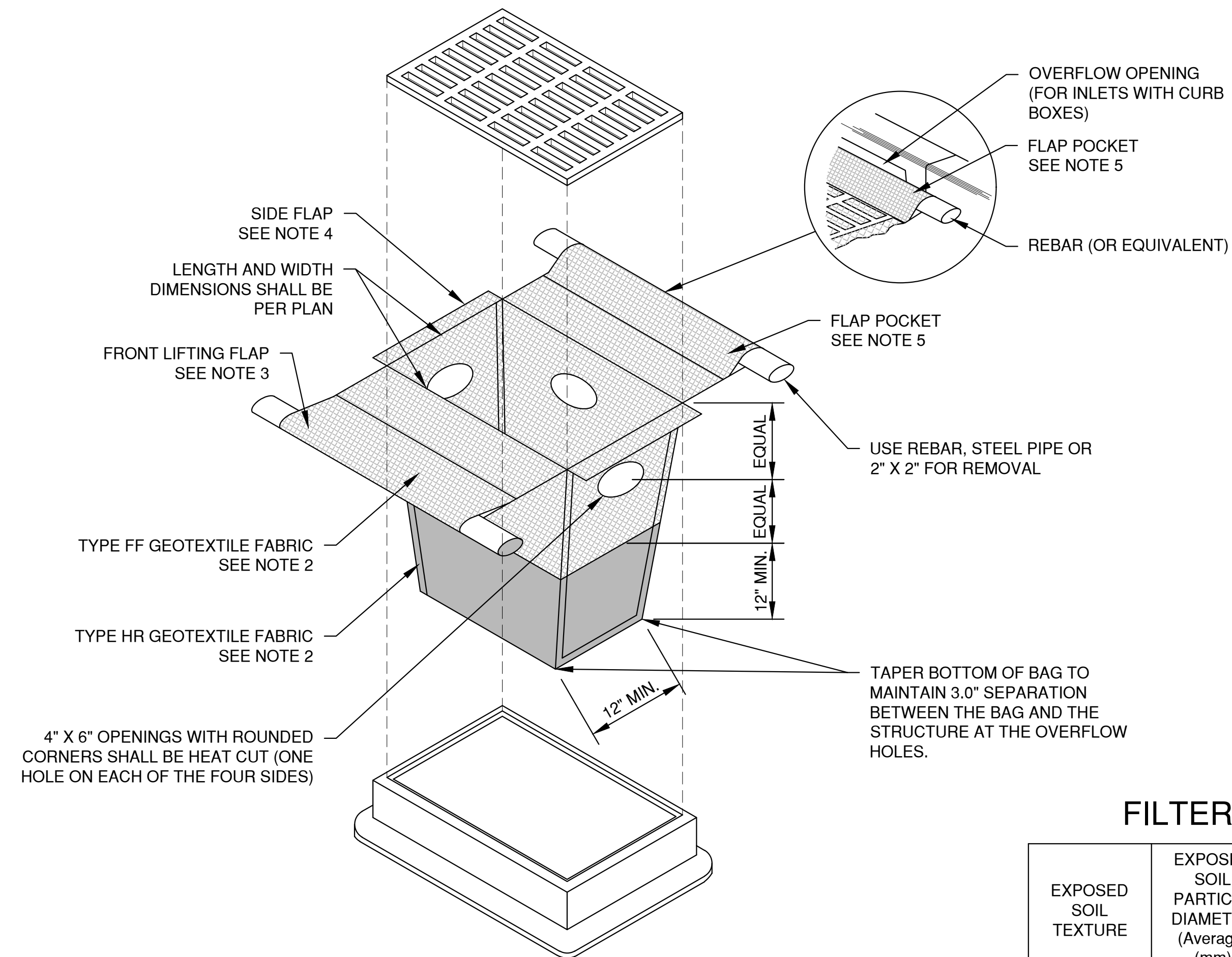
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

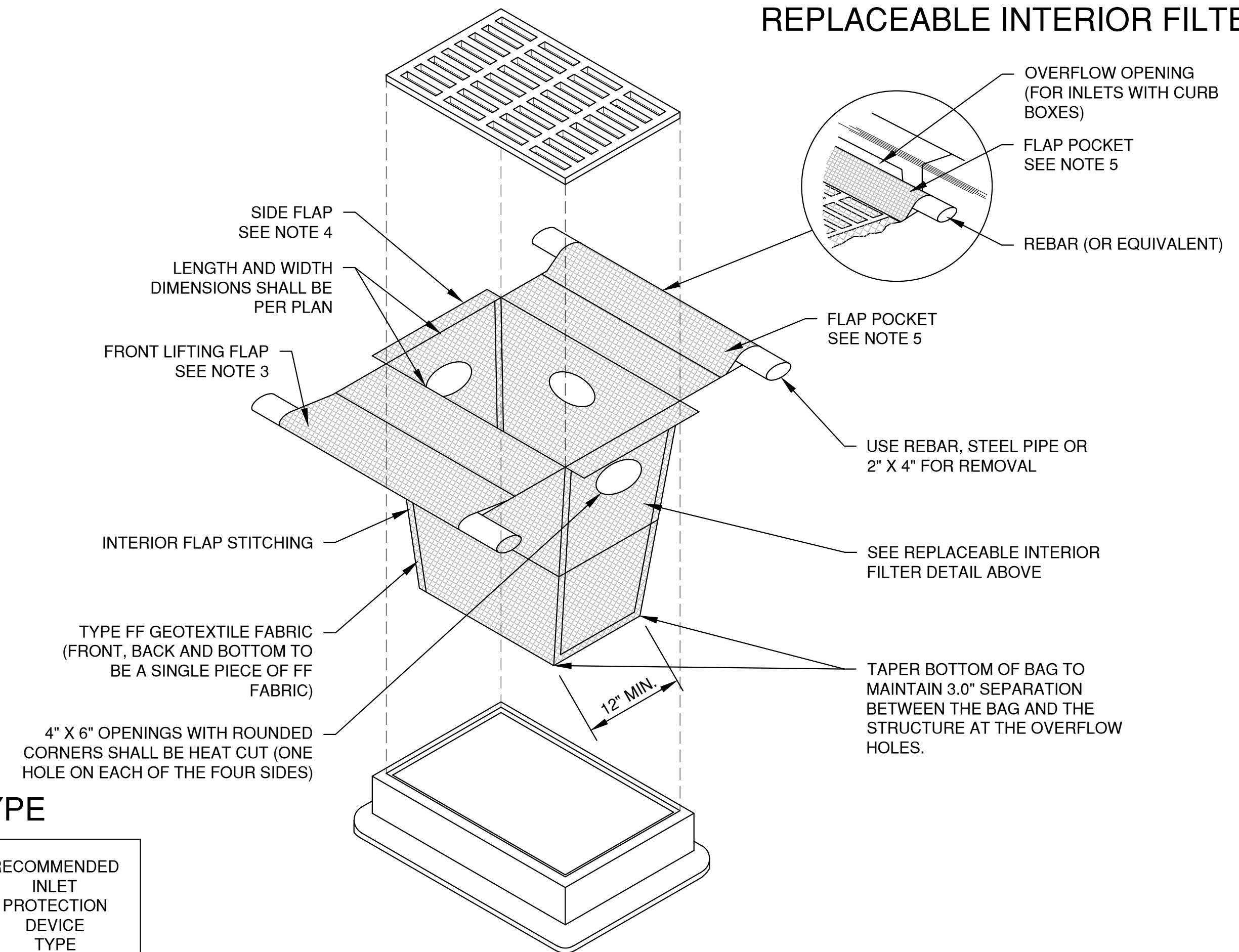
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



REPLACEABLE INTERIOR FILTER



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

** FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

LAWVILLE: 2. INLET PROTECTION: 2022-04-24

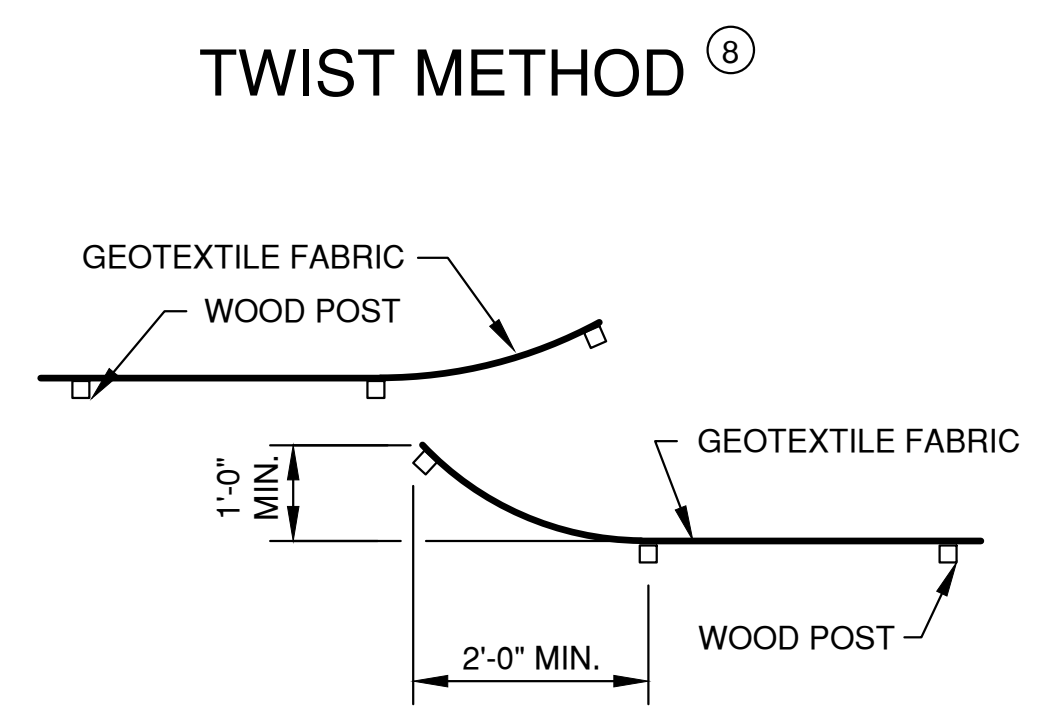
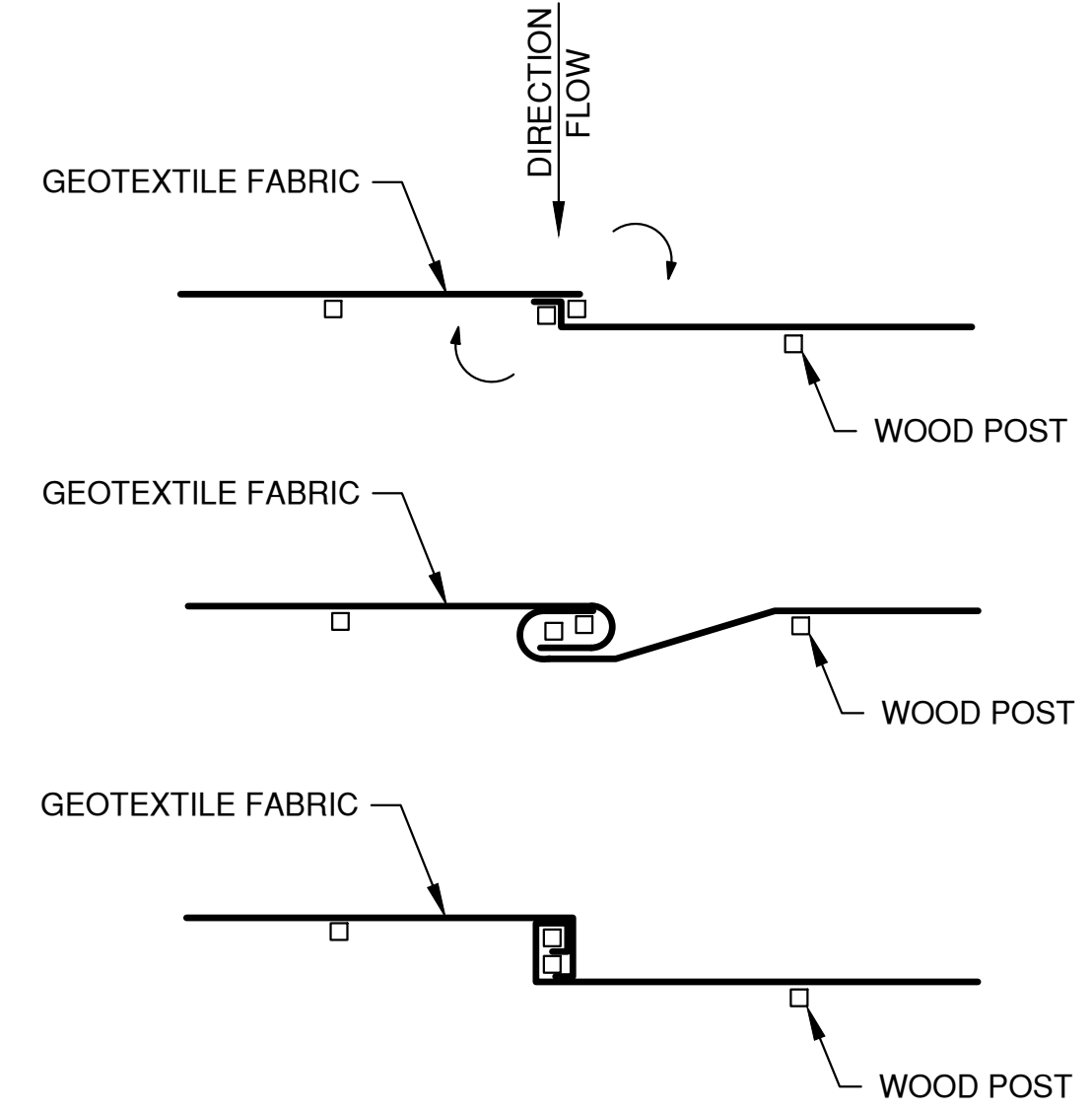
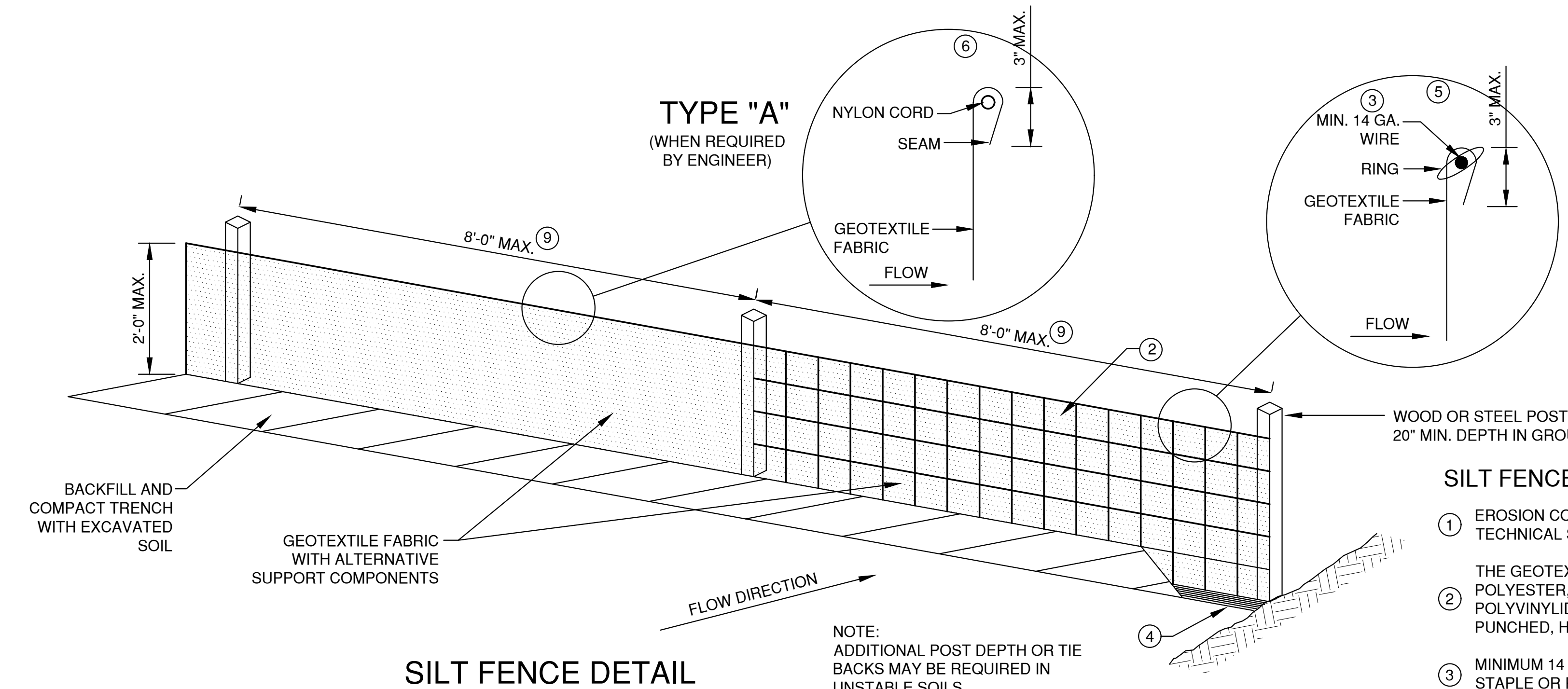
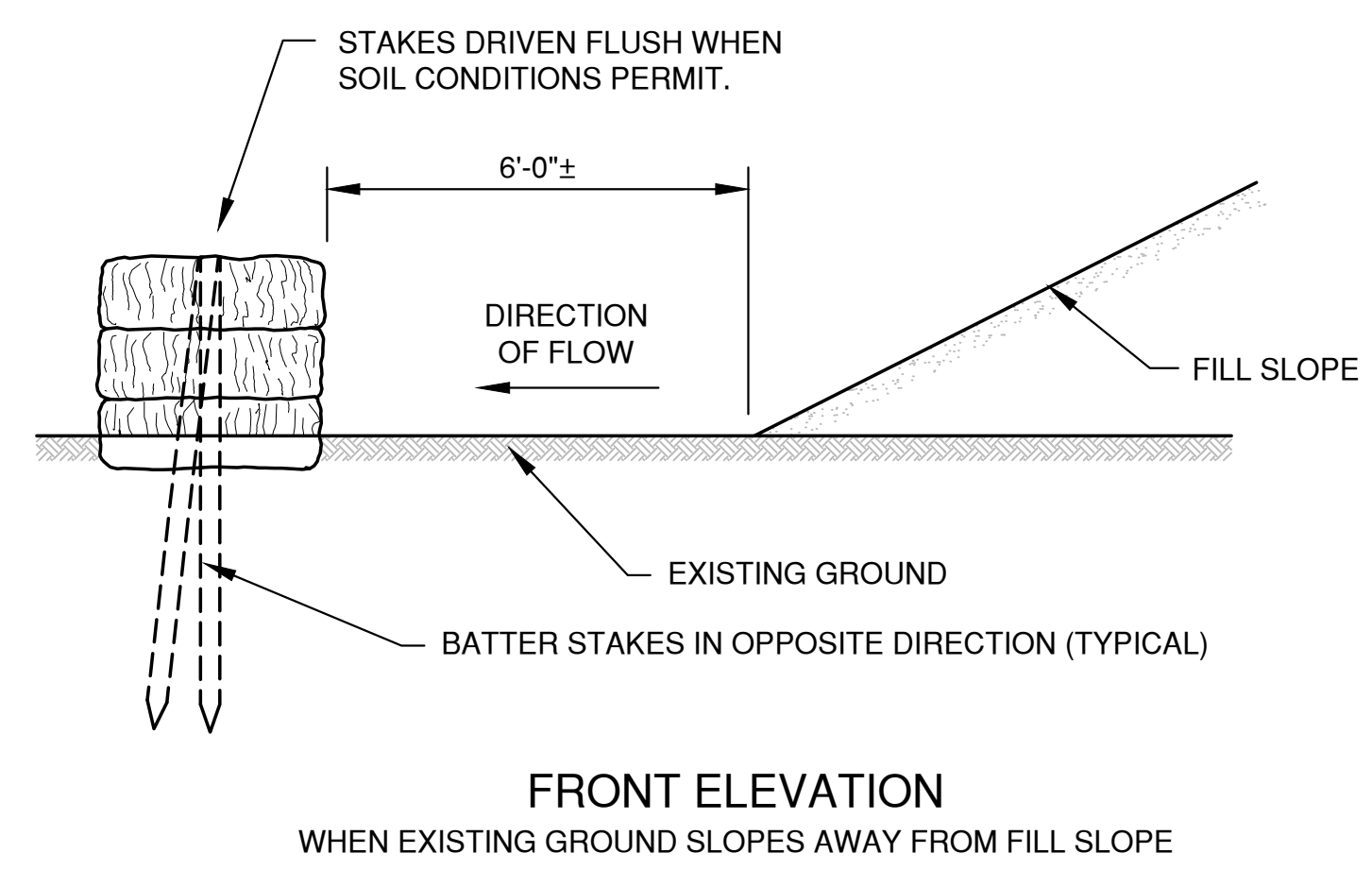
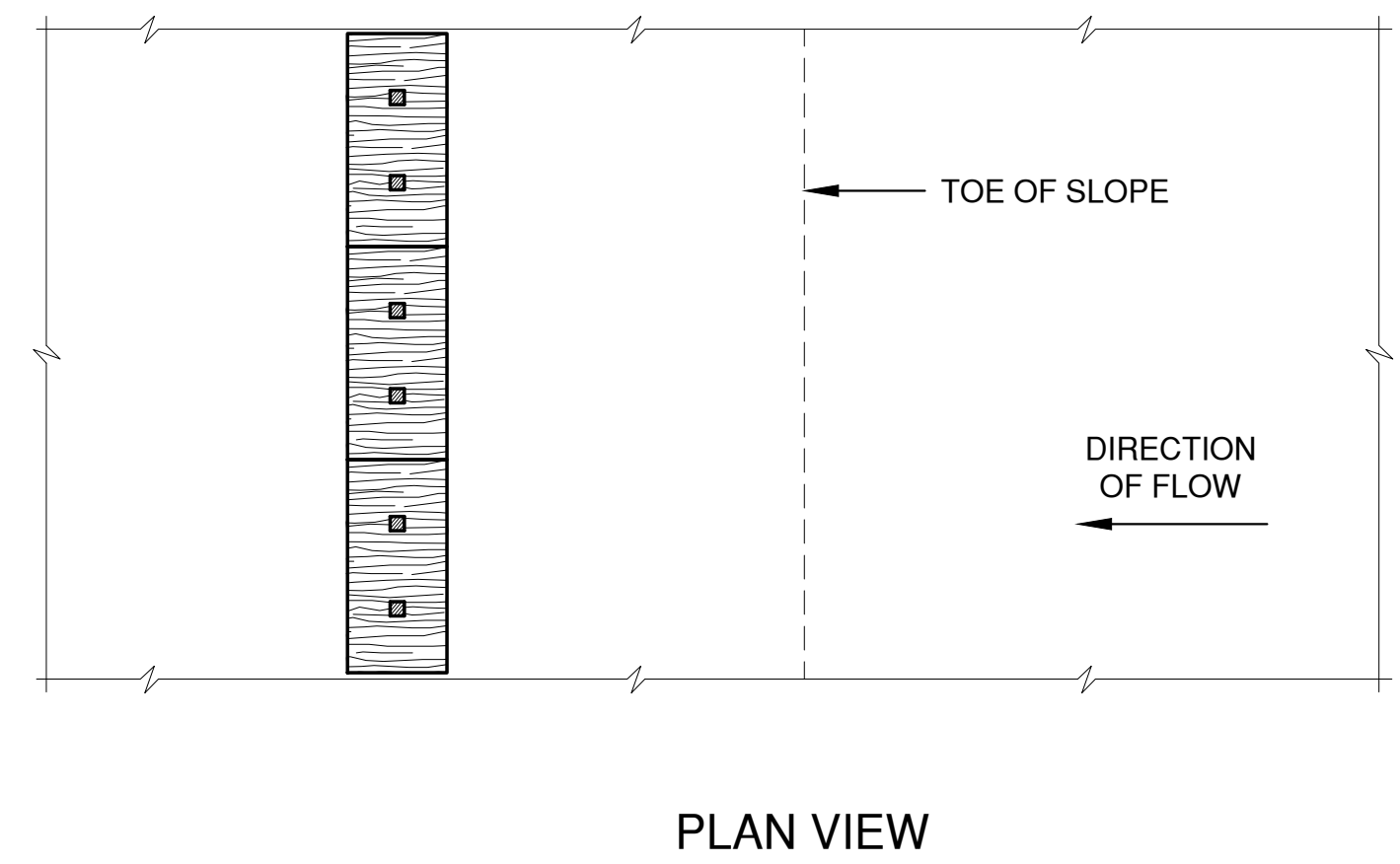
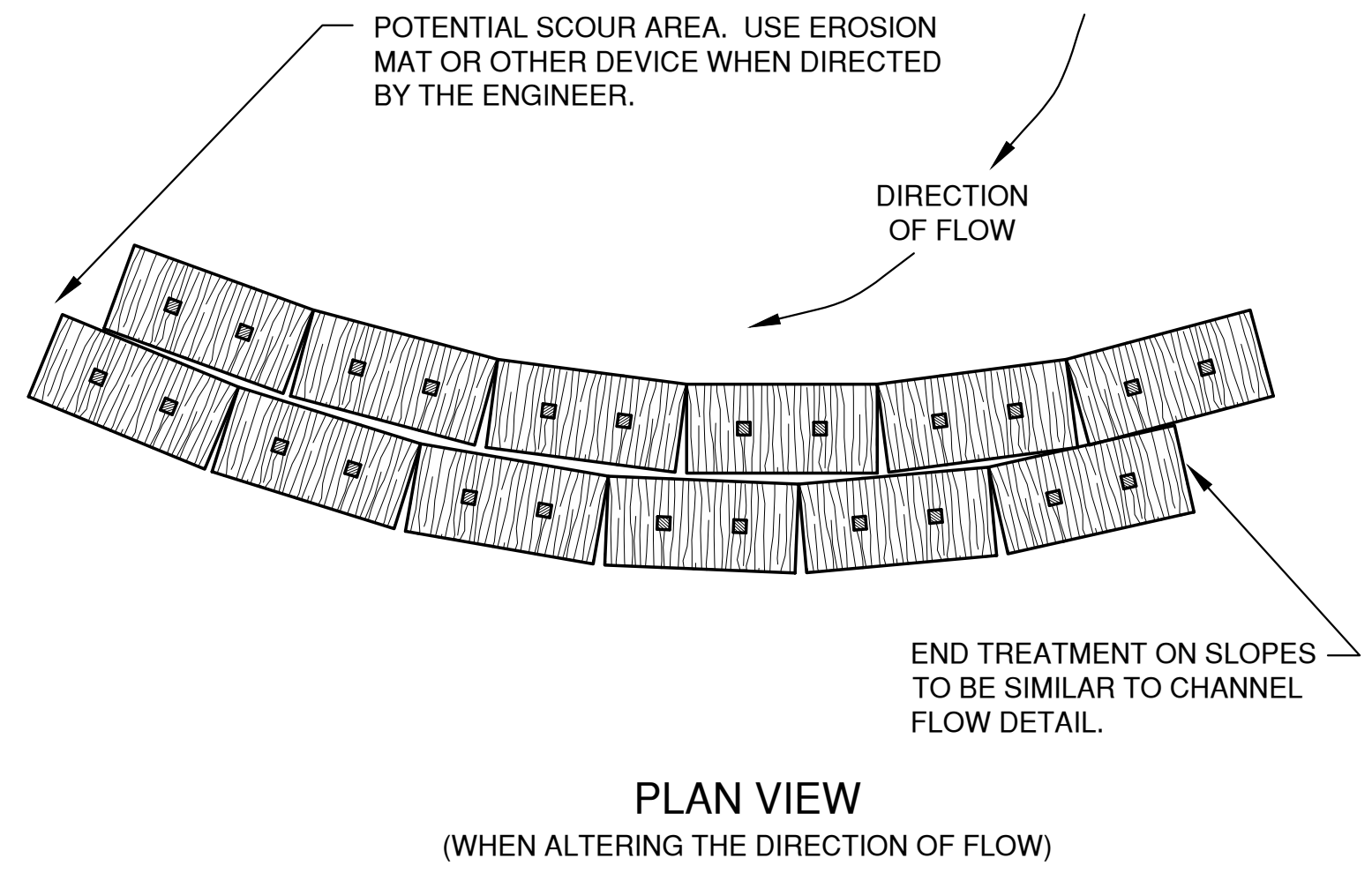
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BDR
								CHECKED BDB
								DESIGNED BDR

HOBART DENTAL
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF HOBART
BROWN COUNTY, WISCONSIN

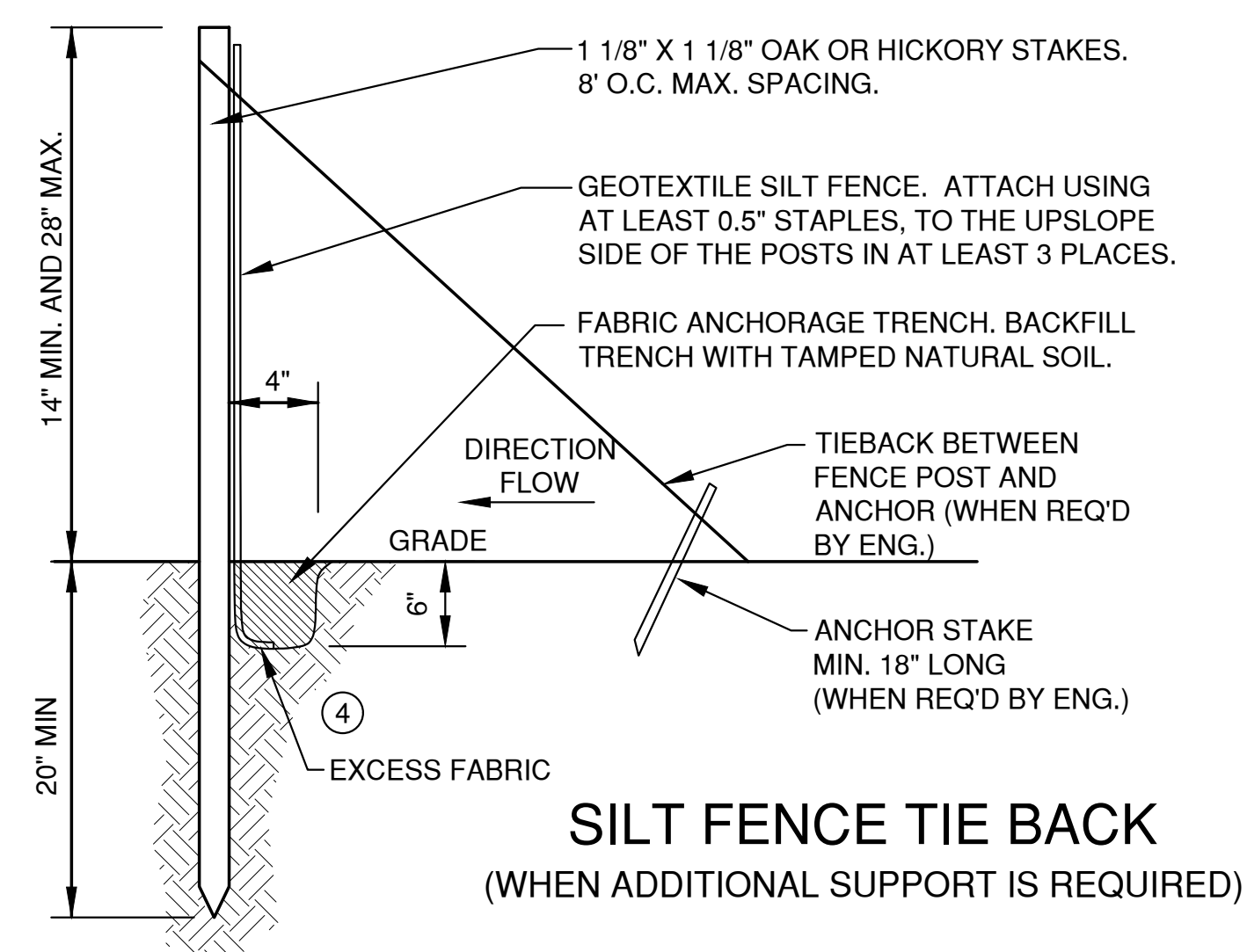
EROSION CONTROL
INLET PROTECTION
TYPE D-HR AND TYPE D-M

DATE 01/2022
FILE EROSION CONTROL
JOB NO. 2025412

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JOINING TWO LENGTHS OF SILT FENCE



EROSION CONTROL SHEET FLOW NOTES:

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

SILT FENCE NOTES:

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

LAW001E 4 SHEET FLOW 01/2022

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN BDR
 CHECKED BDB
 DESIGNED BDR
HOBART DENTAL FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

EROSION CONTROL SHEET FLOW DETAILS

DATE 01/2022
 FILE EROSION CONTROL
 JOB NO. 2055412

Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
 920-662-9641 www.releinc.com

SHEET NO. **9**

PROPOSED BUILDING FOR:
HOBART FAMILY DENTISTRY
HOBART, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 20-1698

PROJECT EXECUTIVE: BRIAN PETERS
(920) 362-7870

DRAWN BY: CRP

DATE: 11/16/2021

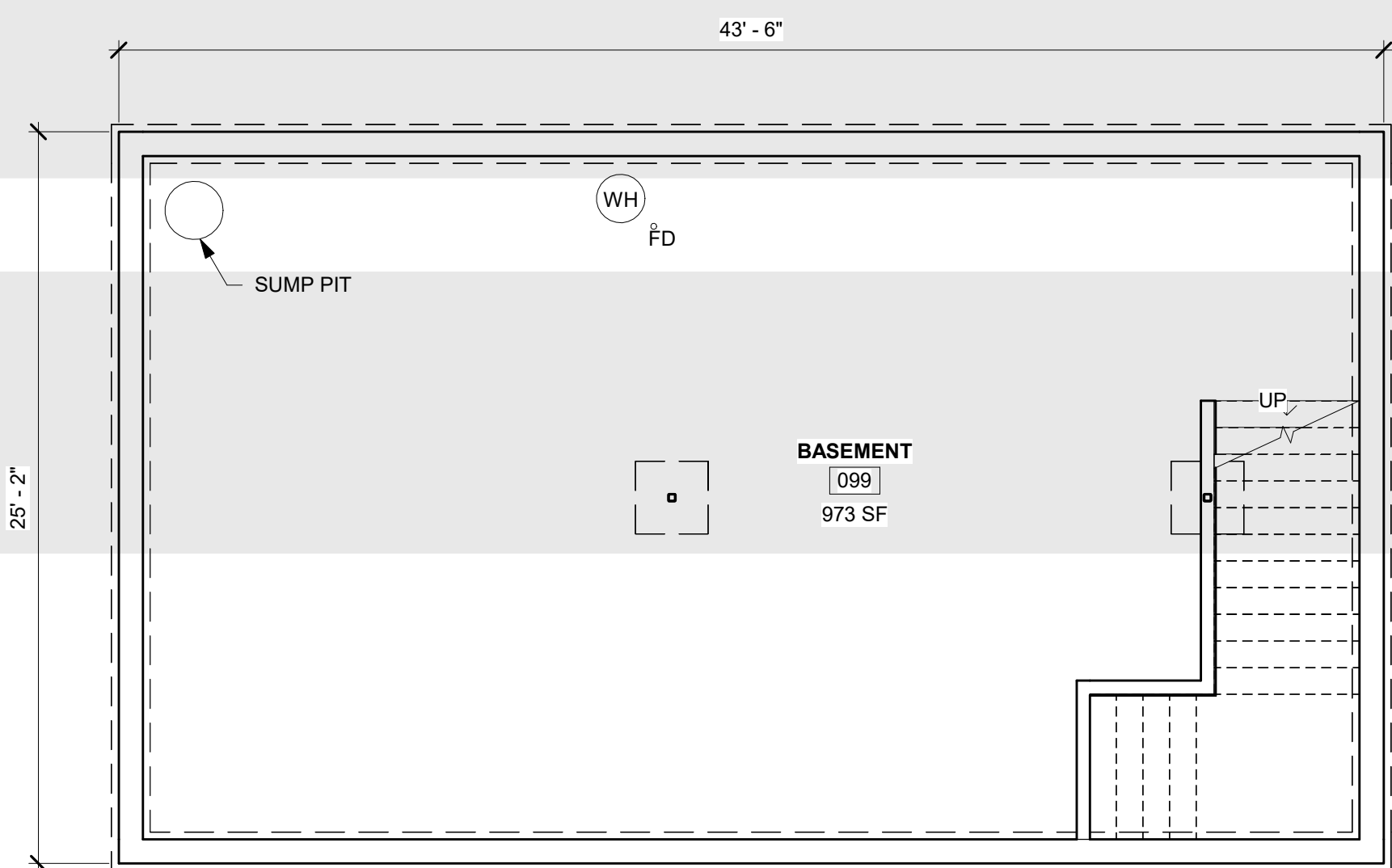
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ISSUED FOR: CHECKED DATE:
BY:

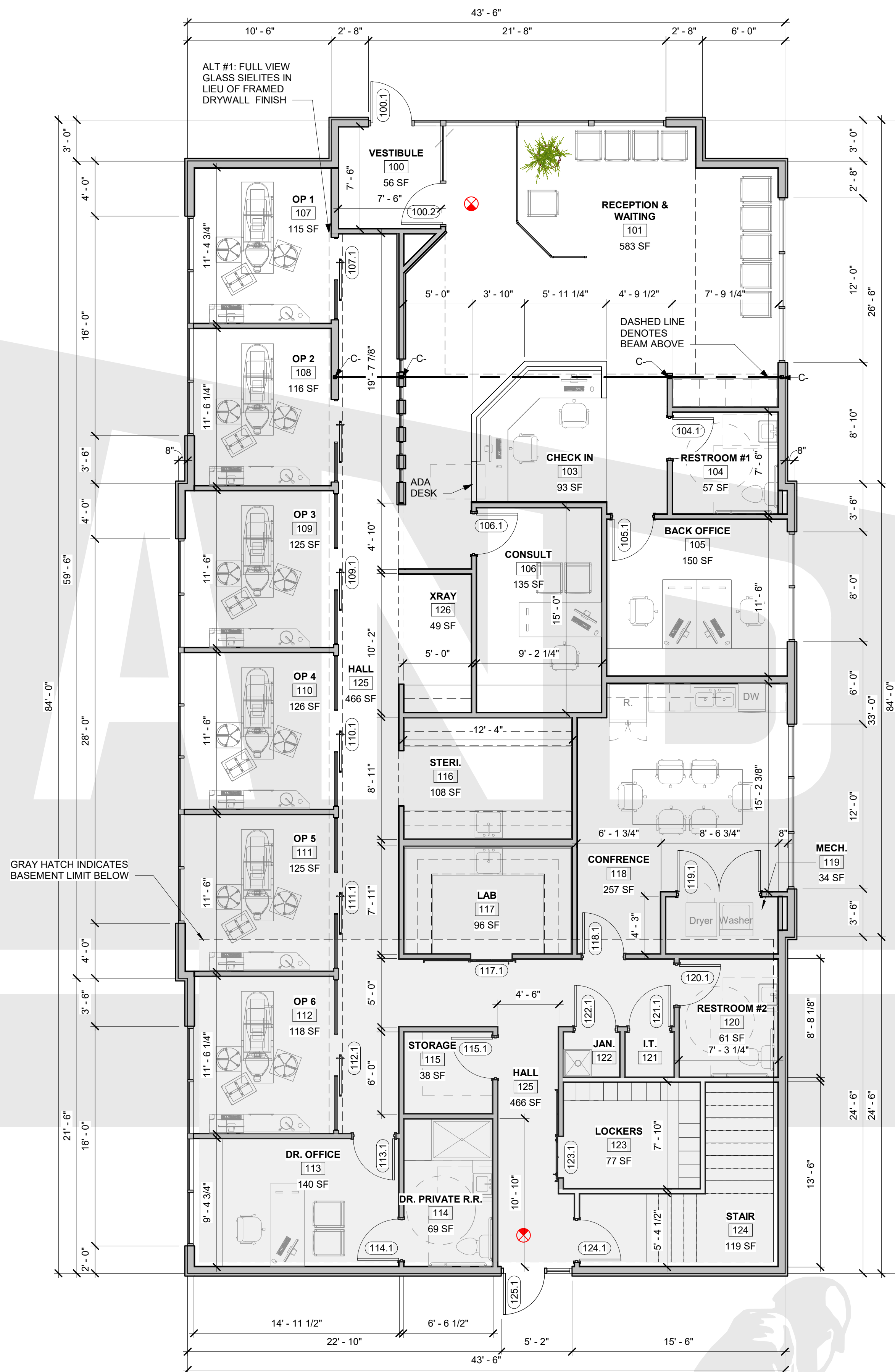
- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

OVERALL FLOOR PLAN

A1.0



2/A1.0 SCALE = 3/16" = 1'-0"
BASEMENT FLOOR PLAN



1/A1.0 SCALE = 3/16" = 1'-0"
OVERALL 1ST FLOOR PLAN

PROPOSED BUILDING FOR:
HOBART FAMILY DENTISTRY
 HOBART, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION

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(920) 362-7870

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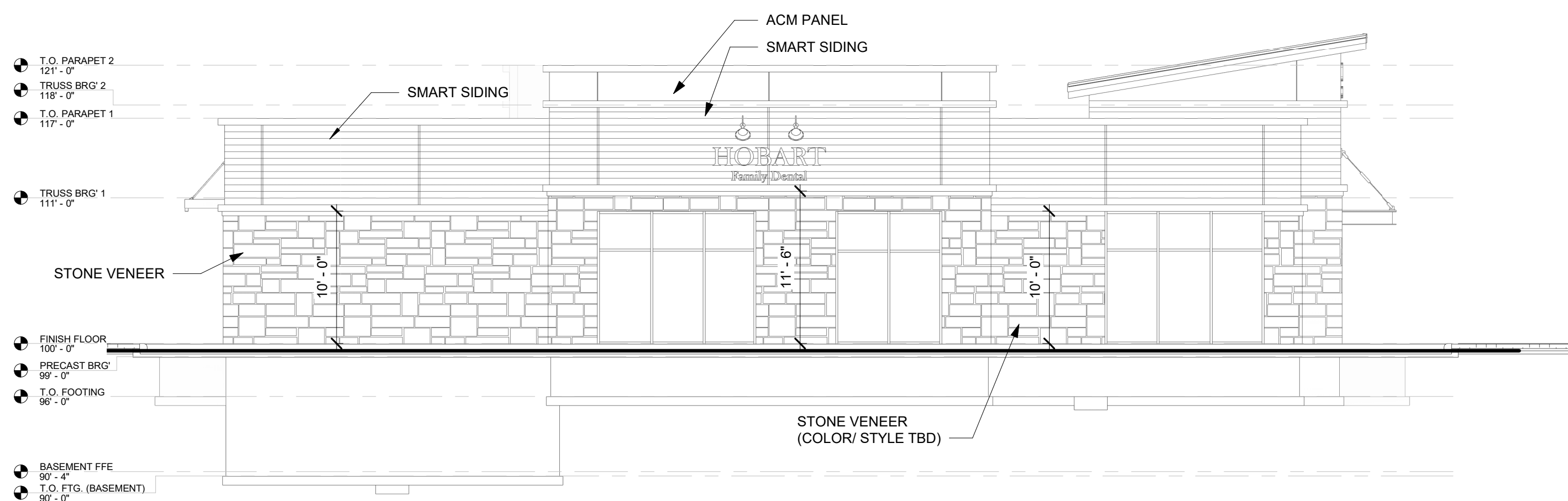
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

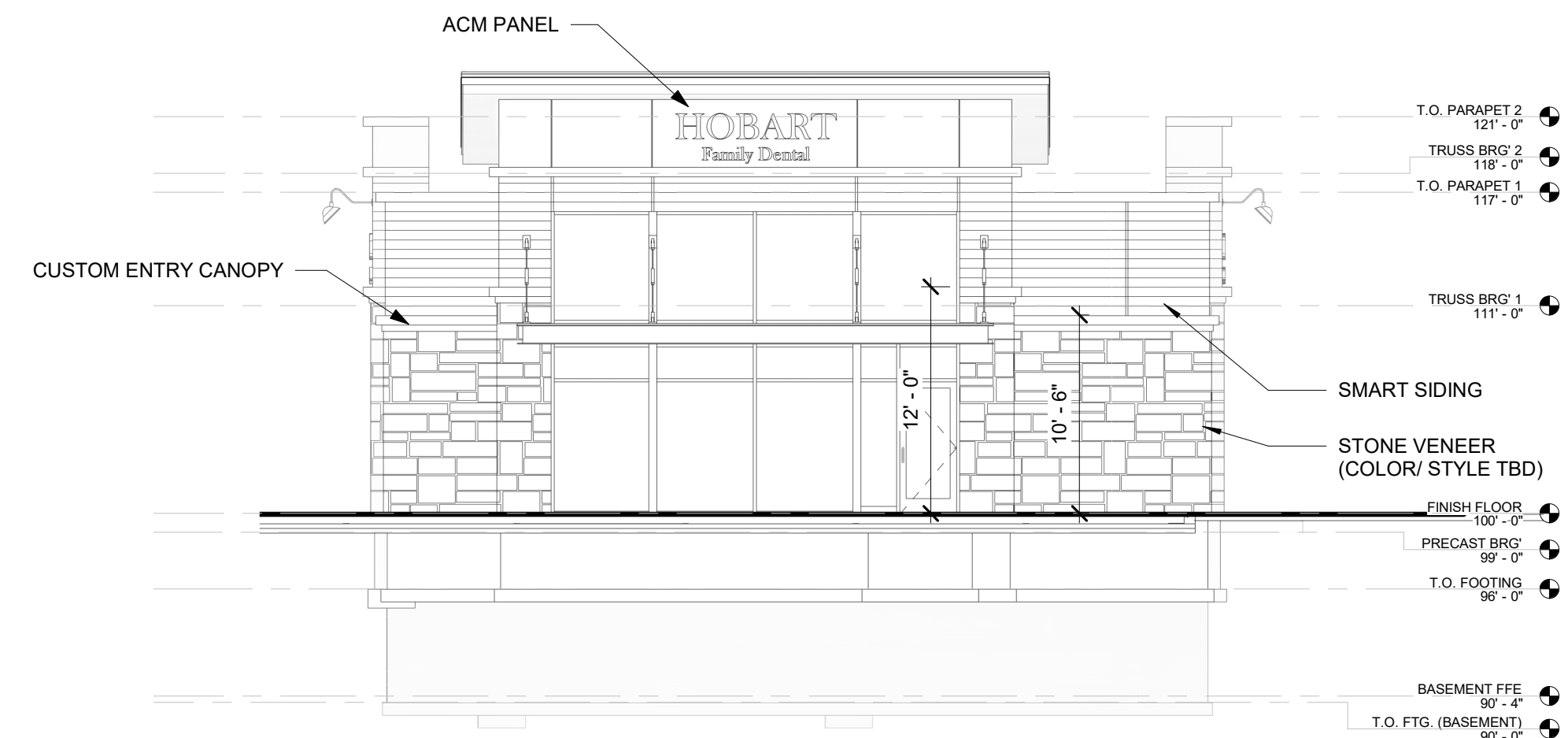
- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

EXTERIOR ELEVATIONS

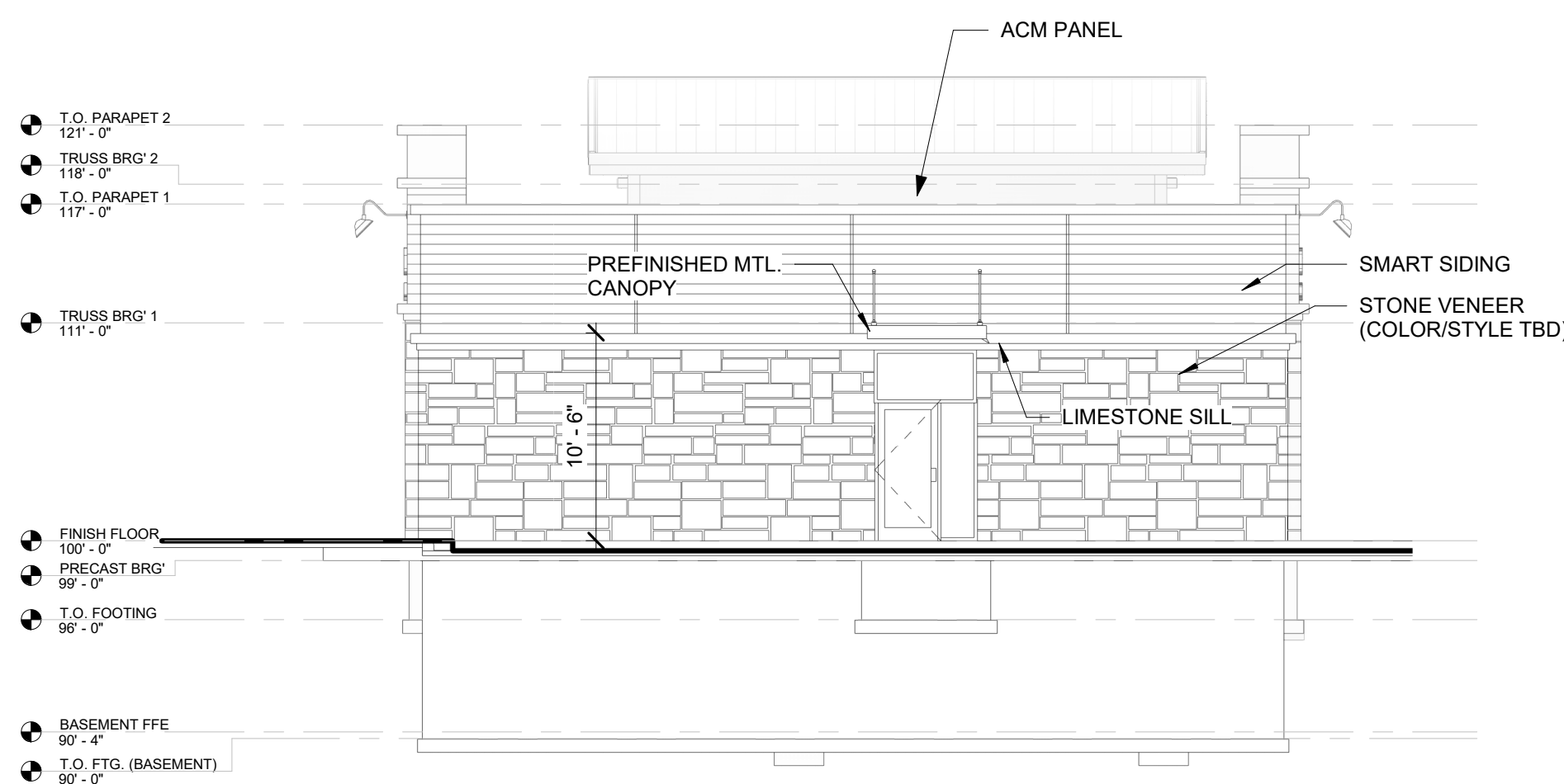
A2.0



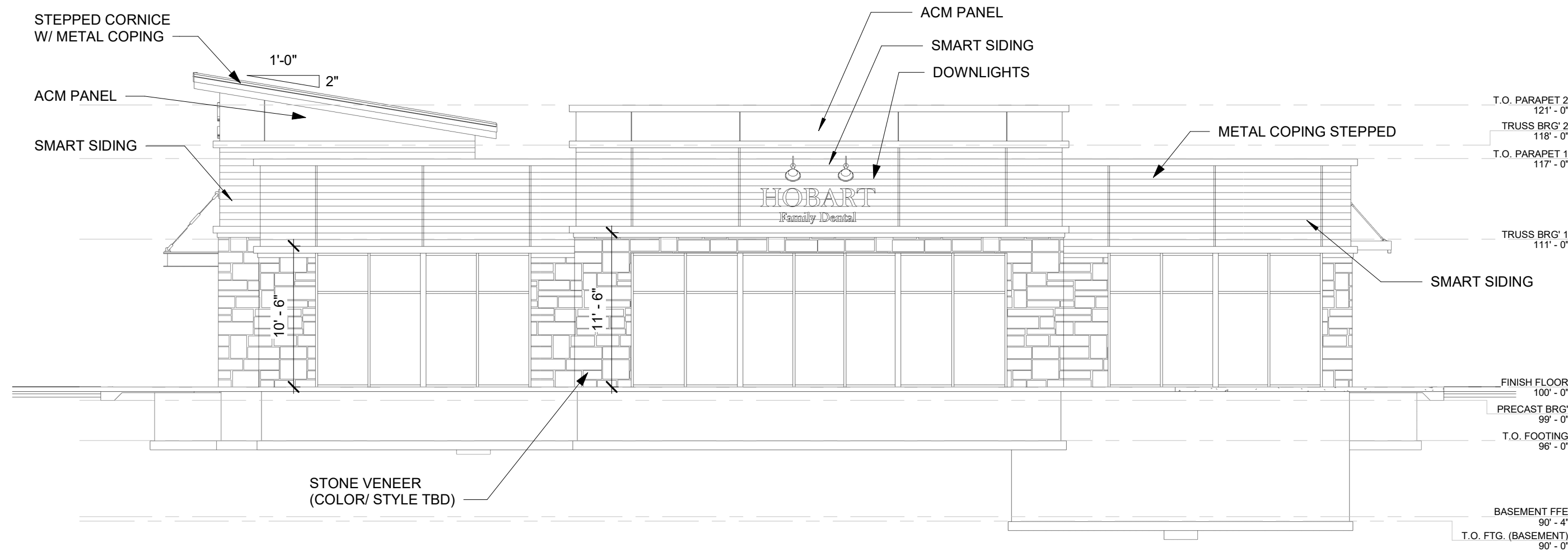
1 /A2.0 SCALE = 1/8" = 1'-0"
EAST ELEVATION



2 /A2.0 SCALE = 1/8" = 1'-0"
NORTH ELEVATION

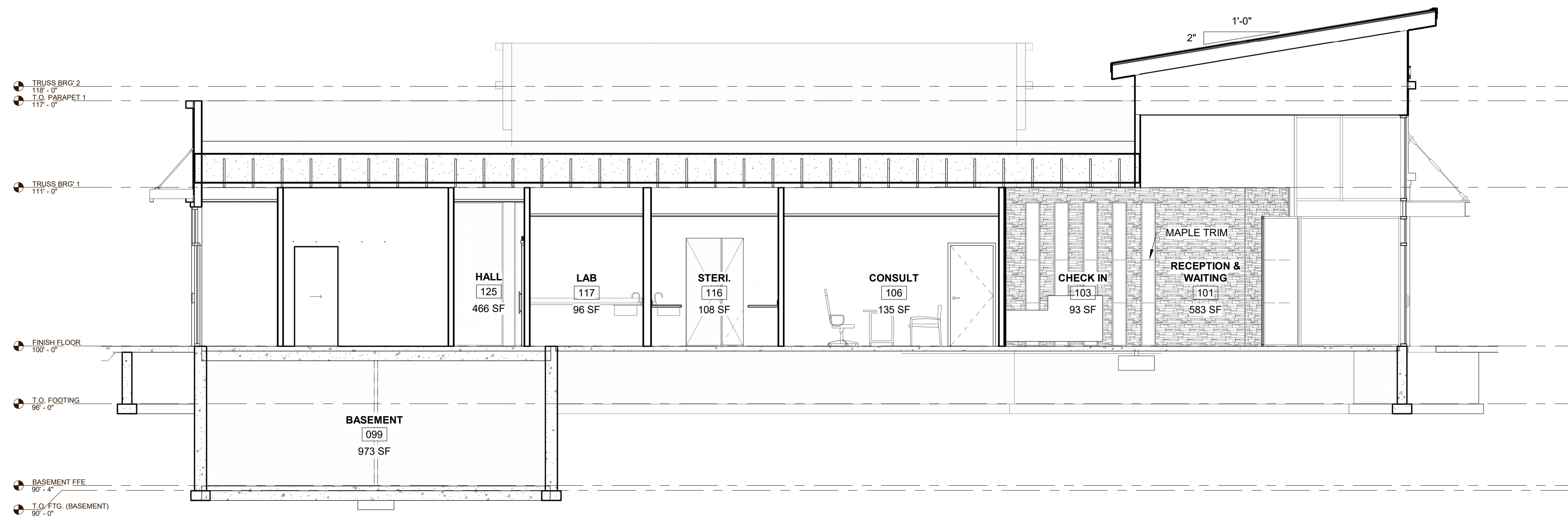


3 /A2.0 SCALE = 1/8" = 1'-0"
SOUTH ELEVATION

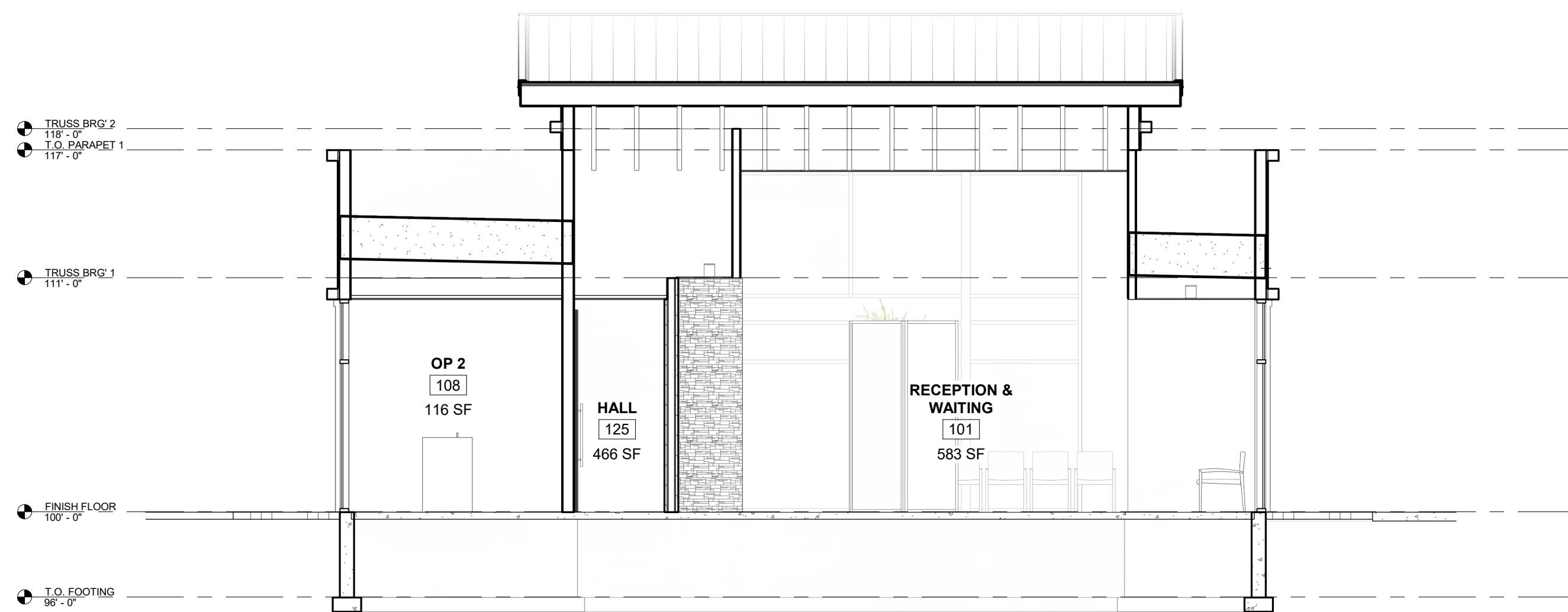


4 /A2.0 SCALE = 1/8" = 1'-0"
WEST ELEVATION

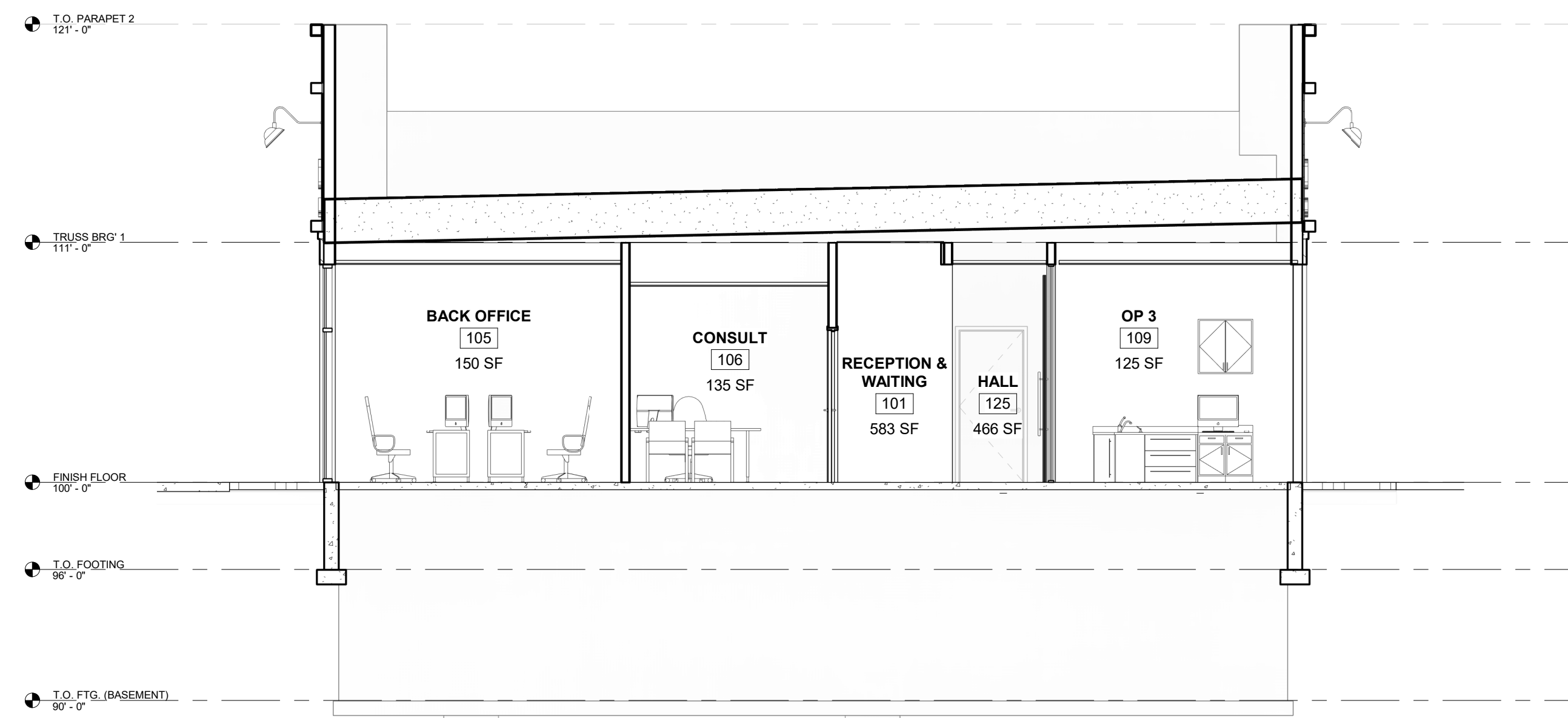
PROPOSED BUILDING FOR:
HOBART FAMILY DENTISTRY
 HOBART, WISCONSIN; COUNTY OF: BROWN



3/A3.0 SCALE = 3/16" = 1'-0"
BUILDING SECTION 1



2/A3.0 SCALE = 3/16" = 1'-0"
BUILDING SECTION 3



1/A3.0 SCALE = 3/16" = 1'-0"
BUILDING SECTION 2

SCALE VERIFICATION

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ADJUST SCALE ACCORDINGLY

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 20-1698

PROJECT EXECUTIVE: BRIAN PETERS
(920) 362-7870

DRAWN BY: CRP

DATE: 11/16/2021

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

BUILDING SECTIONS

A3.0