



Village of Hobart  
Dept of Neighborhood Services  
2990 S Pine Tree Rd  
Hobart WI 54155  
Phone: (920) 869-3809  
Fax (920) 869-2048

**New 1&2 Family Dwellings  
Permit Application Guide and Packet**

**New for 2018 – State Required Electronic Permitting and Reporting.**

Effective January 1, 2018, the State of Wisconsin, Department of Safety & Professional Services (DSPS,) has implemented Statewide Electronic Permitting & Reporting of New 1 & 2 Family Dwelling Permits. DSPS offers two methods applicable to the Village of Hobart: An On-Line Permit format managed by DSPS where applications are retrieved by local municipalities after an applicant completes the form on the DSPS site, or an Excel Spreadsheet method managed by local Municipalities who forward permitting information monthly to DSPS.

The Village of Hobart has elected to utilize the Excel Spreadsheet method as it offers a level of convenience for applicants and this office that the State On-Line Permit does not. The Excel Spreadsheet provides the applicant an ability to reduce redundant data entry for subsequent permit applications by using the Copy & Paste method to copy redundant information into subsequent applications. Whereas the State On-Line Permit does not provide a template format for contractors, thus requiring the applicant to complete the entire On-Line Form for each new house.

**How Do I Apply for a Building Permit?**

Review and approval of new single and two family dwelling plans and permits may take as long as 10 working days to complete. Applicants are encouraged to plan accordingly to avoid delays.

Prior to permit issuance, the applicant must submit two (2) complete sets of plans and supporting information as identified in the Plan Submittal Checklist, completed local application forms, and provide a completed Excel Worksheet file for the house or duplex. When preparing information for submittal please contact this office to have a copy of the State Excel Worksheet file sent to you by email so it may be completed and returned to this office when hardcopy plans, supporting information, and applications are submitted.

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**Important Change: Contractors and Applicants must complete and submit the Excel Spreadsheet when applying for a new 1 and 2 Family Dwelling Structure. Please call the Village of Hobart Department of Neighborhood Services to obtain a copy of this Excel file.**

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The following is a list of documents included in this packet designed to assist you in the plan submittal and permit application process:

- 1&2 Family Plan Submittal Checklist
- Village Building Permit Application
- Sewer/Water Permit Application (Municipal Sewer)
- Certificate of Survey Information Sheet
- Permit to Install Access Driveway (only required for driveways accessing rural roads)

- Fee Schedule
- Village of Hobart – Local Code Requirements Applicable to Construction Projects

### **Miscellaneous Requirements**

The Village of Hobart has requirements that each construction site be provided with restroom facilities and a dumpster/refuse container for proper storage/disposal of construction debris. Additionally the Village requires a Contractor Deposit of \$1,000 to cover potential damage costs to Village roads, ditches and other infrastructure.

### **How Much Does the Permit Cost?**

The Permit Fee schedule is available on the Department Web site.

Applicable Fees include:

- Finished Area Inspection Fee
- Unfinished Area Inspection Fee (unfinished basements, walk up attics, unfinished bonus rooms....)
- Garage Area Inspection Fee
- Park fee
- Administrative Fee
- State Seal Fee
- Erosion Control Fee
- Plan Review Fee
- GIS Maintenance Fee
- Certificate of Survey
- Sewer Hook Up (Municipal Sewer only)
- Sewer & Water Lateral Inspection Fee (Municipal Only)
- Inside Plumbing Inspection Fee
- Well Operation Permit
- Contractor Deposit

*This handout is intended to provide property owners/contractors with a simplified review of code provisions relating to the topic noted. This handout is not, however, actual code provisions. For a review of the regulations that would apply to your particular site, please refer to the Village of Hobart Zoning Ordinance.*

2990 S. Pine Tree Rd.  
 Hobart, WI 54155  
 tele: 920-869-3809  
 fax: 920-869-2048

Allyn Dannhoff  
 Director of Neighborhood Services  
 e-mail: [allyn@hobart-wi.org](mailto:allyn@hobart-wi.org)

<b>Address</b>	
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**Please Note: Two complete sets of plans must be provided.** Upon Plan Approval, one copy will be returned at Permit Issuance. All plans must be legible, dimensioned and drawn to scale. Please review your plans for completeness, missing or incomplete information may result in delay of Plan Approval and/or Permit Issuance.

**Building Permit Application/Information Sheet**

- Complete the Appropriate Permit Application Forms (Village and State Forms) including Parcel ID and address.
- Copy of Sanitary Permit (if applicable.)

**Site Plan Providing:**

- Certificate of Survey (example attached to this checklist.)
- Proposed dwelling, including all exterior dimensions.
- All proposed and/or existing buildings/structures.
- Accessory structures.
- Driveways, patios, decks, fences, and pools.
- Storm drainage grades and drainage features.
- Legibly dimension all setbacks.

**Erosion Control Plan Providing:**

- Location of erosion control measures for sediment control.
- Location of stone/gravel access drive.
- Location of temporary soil storage/stockpile.
- Location of any other planned/required erosion control measures.

Note: A separate copy of the site plan with this information may be used for clarity.

**Floor Plans Providing (size & location of:)**

- Rooms
- Doors
- Room use
- Smoke Detectors
- Windows
- Structural Features: Size, species, grade of lumber and other structural materials used for joists, beams, rafters, trusses, headers, studs, and columns. Structural calculations, sizing charts are required for headers/beams not addressed in the Uniform Dwelling Code span charts.
- Floor plan identifying type and location of required wall bracing.
- Exit passageways, halls and stairs.
- Plumbing fixtures (baths, kitchens, laundry, etc.) – lavatories, water closets, water heaters, etc.
- Chimneys – location, type of construction (masonry, pre-manufactured.)
- Heating Equipment
- Attic, crawl space access
- Fire separation between dwelling units and garages

### **Wall Bracing Plans:**

- Location and construction details of wall bracing on each building side and floor level. The details may consist of the Wall Bracing compliance Worksheet or a legend showing which wall bracing method is used and the lengths or number of braced wall panels and demarcation of the circumscribed rectangles if more than one is used.

### **Truss Plans Providing:**

- Truss layout indicating how trusses will be placed on the structure.
- Truss design plan for each individual style, type of truss (these may be provided at the Rough Framing Inspection.)
- Connection Details if other than standard "hurricane" clips or screws are required.

### **Foundation Plans Providing (size & location of):**

- Structural features – strength, thickness and reinforcement (if any) of footings, foundations, floors and any other foundation features.
- Footings
- Column Pads (calculate size of pad required to carry subject loads.)
- Wall Construction
- Beams
- Dimensions
- Plumbing Fixtures
- Service Panel
- Sump Pit
- Furnace
- Rooms (size and use.)

### **Elevation Plans Providing:**

- Dwelling Height
- Information on Exterior Materials (siding, veneers, roofing, etc.)
- Location, size and configuration of doors, windows, roof, chimneys and grade

### **Cross-Sectional Drawings Providing:**

- Finish Grade
- Footing/foundation wall sizes, drain tile system, foundation insulation
- Exterior wall construction identifying materials used (including insulation, vapor retarder, wall sheathing, studs, interior wall covering.)
- Stair dimensions – riser height, tread length, headroom, guardrail height, handrail height.
- Roof construction – type of materials (insulation, vapor retarder, roof sheathing, rafter/truss)
- Floor construction – type of materials (size, floor sheathing)

### **Heat Loss Calculations:**

- Properly prepared calculations using the current/adopted Heat Loss Standards. Accurate information such as square footage, window areas, door areas, foundation insulation and other insulation values.

### **Miscellaneous Requirements:**

- All job sites must have restroom facilities.
- Dumpsters/containers shall be provided for construction debris.
- Contractors must provide a \$1,000 Construction Deposit to the Village to cover potential damage costs to Village storm drainage ditches and roads. If damage exceeds \$1,000



**Building Permit Application**

**Permit Number** \_\_\_\_\_  
 (Assigned by Village Personnel)

Village of Hobart  
 Dept of Neighborhood Services  
 2990 S Pine Tree Rd  
 Hobart WI 54155  
 Phone: (920) 869-3809  
 Fax (920) 869-2048

**Project Address** \_\_\_\_\_ **Parcel Number** \_\_\_\_\_

**Applicant is the:**       Owner      OR       Contractor  
**Use Category:**    Single Family    Duplex    Multi-Family    Commercial    Industrial    Agricultural

Owner's Name:  e-mail:		Mailing Address:	Tel: Fax: Mobile:
Building Contractor Name:  e-mail:	Lic#  Qualifier#	Mailing Address:	Tel: Fax: Mobile:
Electrical Contractor Name:  e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:
HVAC Contractor Name:  e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:
Plumbing Contractor Name:  e-mail:	Lic#	Mailing Address:	Tel: Fax: Mobile:

**Work being done:**

- |  |  |   |   |
|--|--|---|---|
| <input type="checkbox"/> New Structure       | <input type="checkbox"/> Addition            | <input type="checkbox"/> Deck/Porch/Patio         | <input type="checkbox"/> Driveway/Parking |
| <input type="checkbox"/> External Remodeling | <input type="checkbox"/> Internal Remodeling | <input type="checkbox"/> Garage/Utility Structure | <input type="checkbox"/> Handicap Ramp    |
| <input type="checkbox"/> Hot Tub/Spa         | <input type="checkbox"/> Fence/Kennel        | <input type="checkbox"/> Sign/Canopy/Awning       | <input type="checkbox"/> Stove/Fireplace  |
| <input type="checkbox"/> Swimming Pool       | <input type="checkbox"/> Wrecking Permit     | <input type="checkbox"/> Other _____              |   |

**Additional information, such as plan submittal and approval, may be required before issuance.**

**Scope of work:** \_\_\_\_\_

**Any work not included in this application is not permitted.**

**Total Value of Project \$** \_\_\_\_\_ (Value of materials & labor is required to ensure consistency in assessing permit fees.)

Breakdown of values: Bldg \_\_\_\_\_ Elec \_\_\_\_\_ Plumb \_\_\_\_\_ HVAC \_\_\_\_\_

*I certify the above information is complete and accurate. I agree to perform the work in conformance to all approval conditions & applicable codes/ordinances.*

Applicant Name: \_\_\_\_\_  
 (Please print)

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Issued By: \_\_\_\_\_

Date: \_\_\_\_\_

Copy to: Property File   Applicant   Assessor   Inspector   Permit File      **Total Fees Collected:** \_\_\_\_\_      **Check #** \_\_\_\_\_

### Cautionary Statement to Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

- (a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.
  
- (b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

### Cautionary Statement to Contractors for Projects Involving Building Built Before 1978

If this project is in a dwelling or child-occupied facility, built before 1978, and disturbs 6 sq. ft. or more of paint per room, 20 sq. ft. or more of exterior paint, or involves windows, then the requirements of ch. DHS 163 requiring Lead-Safe Renovation Training and Certification apply. Call (608)261-6876 or go to the Wisconsin Department of Health Services' lead homepage for details of how to be in compliance.

### Wetlands Notice to Permit Applicants

You are responsible for complying with state and federal laws concerning the construction near or on wetlands, lakes, and streams. Wetlands that are not associated with open water can be difficult to identify. Failure to comply may result in removal or modification of construction that violates the law or other penalties or costs. For more information, visit the Department of Natural Resources wetlands identification web page or contact a Department of Natural Resources service center.

### Additional Responsibilities for Owners of Projects Disturbing One or More Acre of Soil

I understand if this project involves disturbing one or more acres of soil, this project is subject to ch. NR 151 regarding additional erosion control and stormwater management standards, and will comply with those standards.

I have read the aforementioned Cautionary Statements and Notices.

Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_



# Water & Sanitary Sewer Permit Application

Permit Number                     

Village of Hobart  
Dept of Neighborhood Services  
2990 S Pine Tree Rd  
Hobart WI 54155  
Phone: (920) 869-3803  
Fax (920) 869-2048

**Project Address** \_\_\_\_\_ **Parcel Number** \_\_\_\_\_

**Applicant is the:**  Owner OR  Contractor **Lot Number** \_\_\_\_\_

Owner's Name:		Mailing Address:	Tel:
e-mail:			Fax:
			Mobile:
Plumbing Contractor (inside:)	Lic#	Mailing Address:	Tel:
e-mail:			Fax:
			Mobile:

**This box Village use only.**

Date of Meter Installation: \_\_\_\_\_

Meter Size: \_\_\_\_\_

Meter Serial No: \_\_\_\_\_

Transponder No. \_\_\_\_\_

Inspector: \_\_\_\_\_

Lateral Contractor (outside:)	Lic#	Mailing Address:	Tel:
e-mail:			Fax:
			Mobile:

Type of Lateral	Water Lateral	Sanitary Sewer	Storm Sewer
Size/Diameter			
Material	HDPE	SDR 40	SDR 40
Tracer Wire Color	Blue	Green	Brown
Date of Installation	Village use only		
Inspector	Village use only		

**Value of Work:** \_\_\_\_\_ **Total Fees Collected:** \_\_\_\_\_ **Check #** \_\_\_\_\_  
(if not included as part of a Building Permit)

*I certify the above information is complete and accurate. I agree to perform the work in conformance to all approval conditions & applicable codes/ordinances.*

Applicant Name – Please Print \_\_\_\_\_ Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

<b>Issued By:</b> _____	<b>Date:</b> _____
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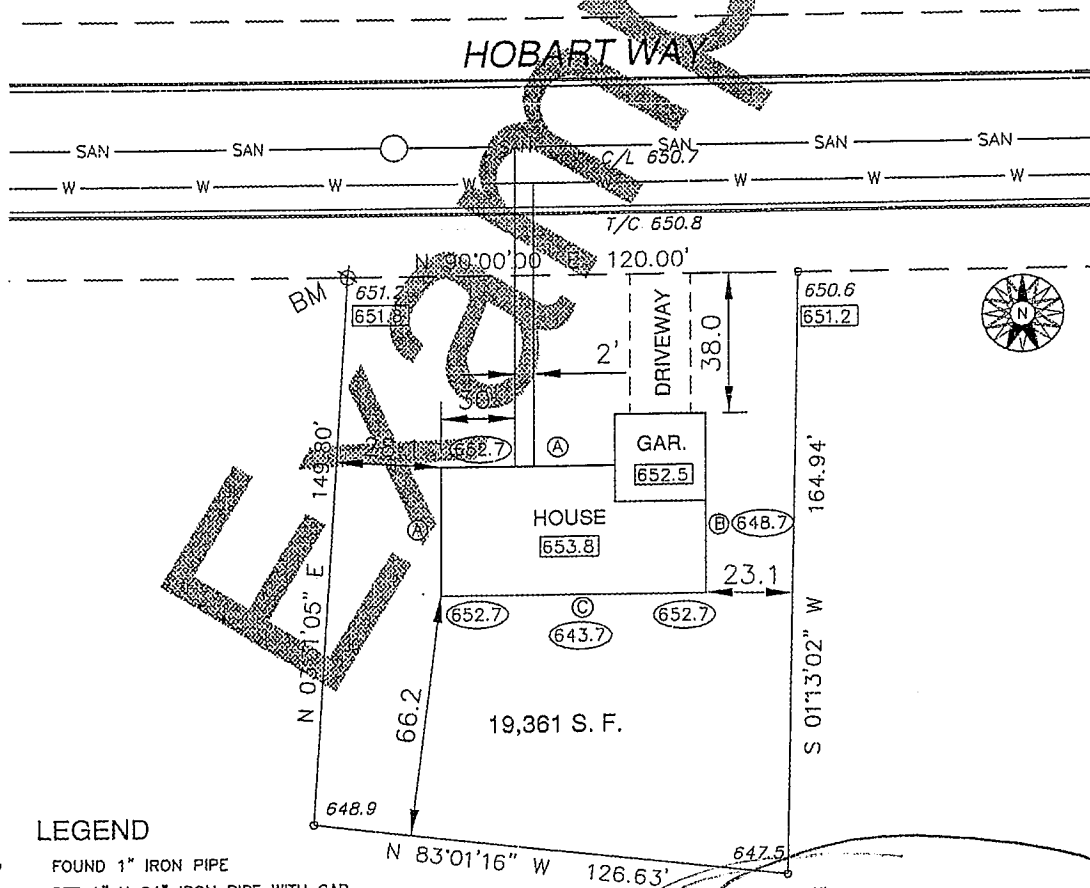


# CERTIFICATE OF SURVEY

VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN.

Provide 3 copies of the site plan including the following:

- Name of the property owner(s): Joseph Smith
- Address of the property owner(s): 123 Pinecrest Ct., De Pere, WI 54115
- Phone number of the property owner(s): 920-555-1234
- Name of the general contractor: Premier Contracting
- Phone number of the general contractor: 920-222-4321
- Lot number and/or street address and parcel number of the proposed building site:  
Lot 24, Whispering Oaks Subd., 654 Hobart Way
- Location and orientation of all buildings on the lot including dimensions from side and rear property lines and all major features. The blank form provided below may be used or an aerial view of the site may be obtained from the Village Building Inspector or by logging onto the following web site: (www.co.brown.wi.us/Land\_Information\_Office/IMS.htm)
- Dimensions of the lot in feet, area of the lot in square feet, location and dimension of any existing easement(s) on the lot.
- All elevations must be on the NAVD88 datum.
- Type of monuments which define the lot.
- Elevation of existing ground at all lot corners and monuments.
- Location of sewer and water service entrance into the building and location of holding tank, drain field or well (if applicable).
- Proposed top of foundation elevations at all corners and any lookout or walkout windows or doors.
- Location and dimensions of proposed driveway. Concrete driveways must stop at the right of way line per village ordinance.



## LEGEND

- FOUND 1" IRON PIPE
- SET 1" X 24" IRON PIPE WITH CAP WEIGHING 1.38 LBS./LIN. FT.
- 649.8 PROPOSED ELEVATION
- 649.B EXISTING ELEVATION
- 649.8 PROPOSED TOP OF FOUNDATION
- BM X BENCHMARK

## FOUNDATION TYPES

- (A) STANDARD
- (B) LOOK-OUT
- (C) WALK-OUT

Surveyor's Certificate:

I, \_\_\_\_\_, do hereby certify that under my direction and control, I have surveyed the elevations shown herein and that the within maps a true representation thereof.

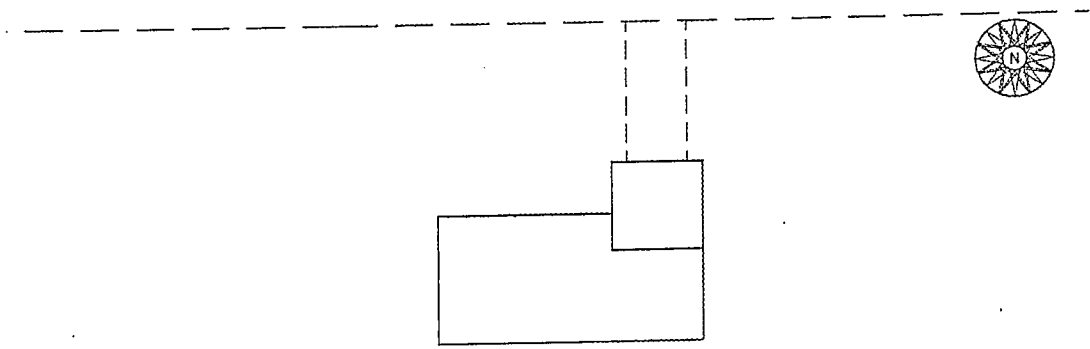
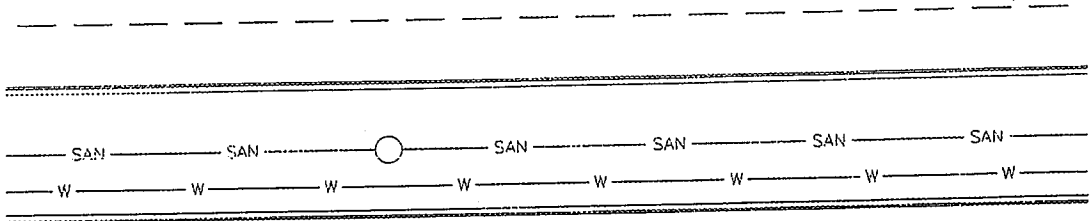
RLS \_\_\_\_\_

# CERTIFICATE OF SURVEY

VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN.

Provide 3 copies of the site plan including the following:

- Name of the property owner(s): \_\_\_\_\_
- Address of the property owner(s): \_\_\_\_\_
- Phone number of the property owner(s): \_\_\_\_\_
- Name of the general contractor: \_\_\_\_\_
- Phone number of the general contractor: \_\_\_\_\_
- Lot number and/or street address and parcel number of the proposed building site: \_\_\_\_\_
  
- Location and orientation of all buildings on the lot including dimensions from side and rear property lines and all major features. The blank form provided below may be used or an aerial view of the site may be obtained from the Village Building Inspector or by logging onto the following web site: ([www.co.brown.wi.us/Land\\_Information\\_Office/IMS.htm](http://www.co.brown.wi.us/Land_Information_Office/IMS.htm))
- Dimensions of the lot in feet, area of the lot in square feet, location and dimension of any existing easement(s) on the lot.
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- Location of sewer and water service entrance into the building and location of holding tank, drain field or well (if applicable).
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\_\_\_\_\_ S.F.

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- SET 1" X 24" IRON PIPE WITH CAP WEIGHING 1.38 LBS./LIN. FT.
- 649.8 PROPOSED ELEVATION
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- 649.8 PROPOSED TOP OF FOUNDATION
- BM \* BENCHMARK

### FOUNDATION TYPES

- (A) STANDARD
- (B) LOOK-OUT
- (C) WALK-OUT

### Surveyor's Certificate:

I, \_\_\_\_\_, do hereby certify that under my direction and control, I have surveyed the elevations shown herein and that the within maps a true representation thereof.

RLS \_\_\_\_\_

# VILLAGE OF HOBART

## PERMIT TO INSTALL ACCESS DRIVEWAY

DATE OF APPLICATION: \_\_\_\_\_ FEE: \_\_\_\_\_

\_\_\_\_\_  
Applicants Name – Please Print

\_\_\_\_\_  
Mailing Address

\_\_\_\_\_  
Telephone

### **NOTE: THIS PERMIT EXPIRES ONE YEAR FROM DATE OF ISSUE**

The undersigned and designated applicant requests permission to construct the driveway(s) hereinafter described on public right-of-way, and, in consideration of being granted permission, as evidenced by the approval of the authorized representative of the Village of Hobart, binds and obligates himself to construct the driveway(s) in accordance with the description contained herein and sketches attached hereto, and to abide by the general requirements and location design and construction requirements set forth on the reverse side of this form and the attached sketch and culvert specification sheet.

### **LOCATION:**

Address: \_\_\_\_\_ Description: \_\_\_\_\_

\_\_\_\_\_  
Culvert Elevation: \_\_\_\_\_

No. of Driveways: \_\_\_\_\_ Size: 18" X 30' plus endwalls  
Or Approved size: \_\_\_\_\_

### **TYPE:**

Commercial  Residential  Urban(curb cut)  Rural(culvert)

### **SPECIAL REQUIREMENTS AND RESTRICTIONS**

The work proposed under this permit will be completed by \_\_\_\_\_, 20\_\_\_\_

This application and terms and conditions of proposed permit agreed to by:

\_\_\_\_\_  
Applicant Signature

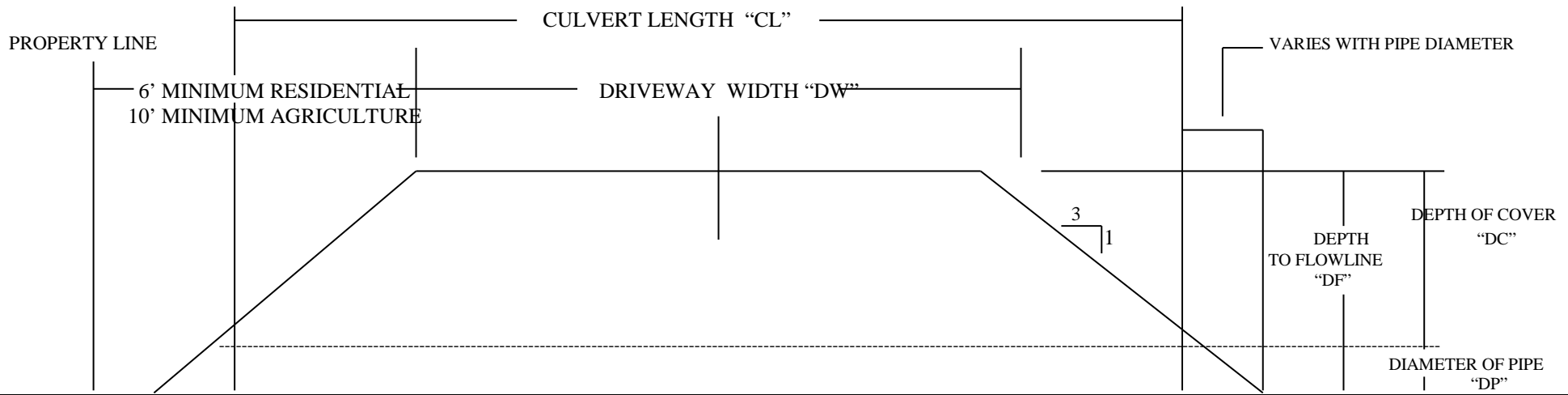
Date: \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Village Official Signature

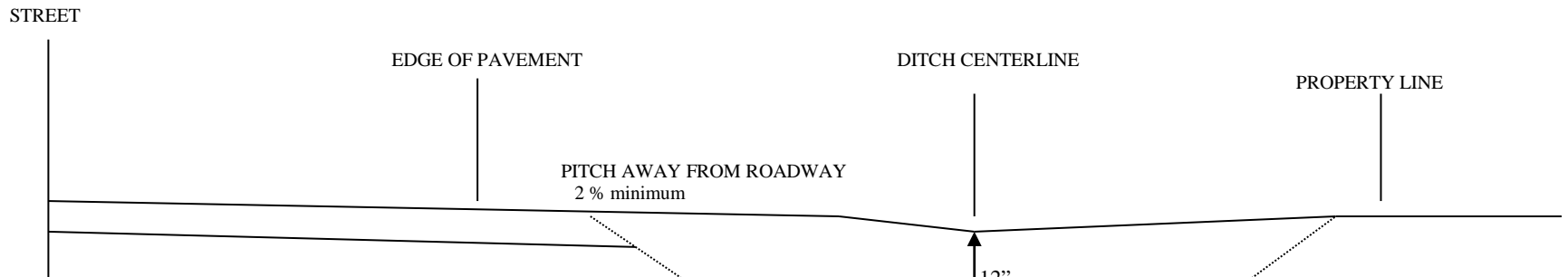
\_\_\_\_\_  
Title

### **FEE SCHEDULE:**

1 Driveway/Culvert permit included in Building Permit Fee	No Additional Charge
Second Driveway/Culvert Permit with Building Permit Fee	\$15.00
Driveway/Culvert with no Structure Permit	\$35.00



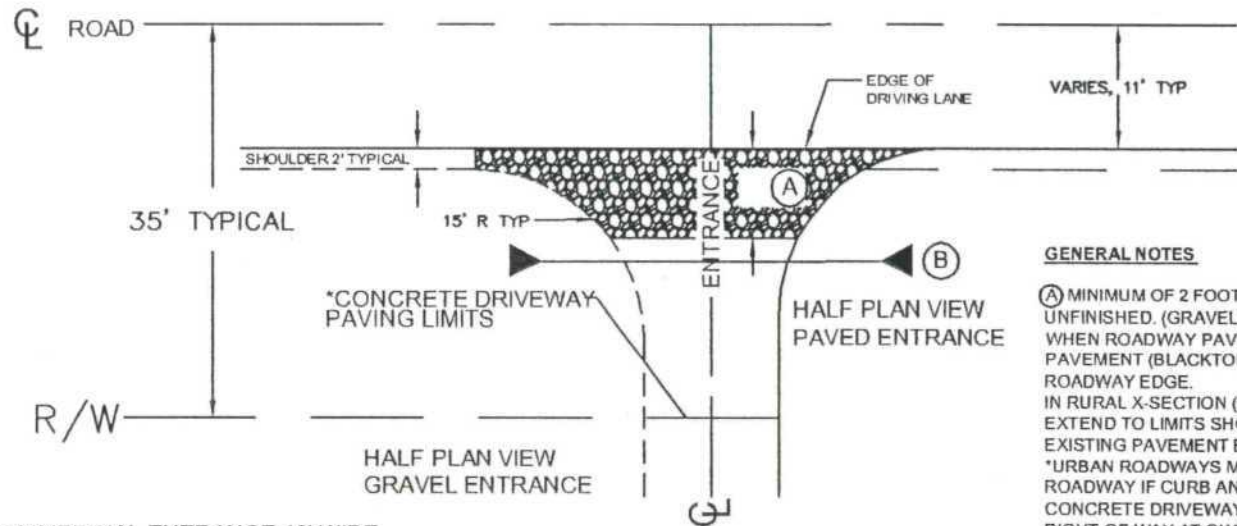
CROSS - SECTION



CULVERT SPECIFICATIONS:

- SIZING: Minimum 18" size based on 25 yr. Storm
- LENGTH: Residential Length 30'; Commercial 40' **plus end walls**
- MATERIAL: Corrugated metal
- END TREATMENT: Apron end walls – metal prefabricated
- ELEVATION: Conform to ditch grade – minimum 1 ft. cover.
- SPACING: 100 ft. minimum between centerlines.  
150 ft. minimum from any intersection of Village road.
- NUMBER: 2 driveway entrances maximum.
- LOCATION: Driveway edge minimum 6 ft. from side lot line for residential zoning; 10' for Agriculture.
- SHAPE: To conform to cover.

PRIVATE DRIVE DETAIL  
VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN



COMMERCIAL ENTRANCE 40' WIDE  
PRIVATE ENTRANCE 30' WIDE

**PLAN VIEW**

**GENERAL NOTES**

**(A)** MINIMUM OF 2 FOOT GAP WHEN ROADWAY IS UNFINISHED. (GRAVEL) WHEN ROADWAY PAVEMENT IS EXISTING, ASPHALTIC PAVEMENT (BLACKTOP), MAY EXTEND TO EXISTING ROADWAY EDGE. IN RURAL X-SECTION (DITCHES) BLACKTOP MAY EXTEND TO LIMITS SHOWN (2' FROM PROPOSED OR EXISTING PAVEMENT EDGE).  
\*URBAN ROADWAYS MAY USE CONCRETE UP TO THE ROADWAY IF CURB AND GUTTER IS PRESENT. CONCRETE DRIVEWAYS INSTALLED IN THE RIGHT-OF-WAY AT OWNERS RISK. ANY CONCRETE DISTURBED AS A RESULT OF UTILITY MAINTENANCE OPERATIONS WILL BE REPLACED WITH ASPHALTIC PAVEMENT (BLACKTOP).

**(B)** ALL CULVERTS SHALL BE INSTALLED WITH ENDWALLS. OWNER IS REQUIRED TO CHECK WITH THE DEVELOPER, OR ENGINEER TO VERIFY REQUIRED CULVERT DIAMETER. ALL INSTALLATIONS MADE AT THE OWNERS RISK. THE VILLAGE WILL NOT REPLACE PRIVATE UTILITY SYSTEMS WITHIN THE RIGHT-OF-WAY DAMAGED AS A RESULT OF CONSTRUCTION OR MAINTENANCE OPERATIONS.

CONTACT PUBLIC WORKS AT 869-3808 PRIOR TO INSTALLATION TO DETERMINE GRADE FOR CULVERT.

DATE NOTIFIED OF REGULATIONS \_\_\_\_\_  
CULVERT SIZE REQUIRED \_\_\_\_\_

**RESIDENTIAL ROADS - RURAL CROSS-SECTION**  
STREET CLASSIFICATION SHALL BE DETERMINED BY THE VILLAGE OF HOBART

SCALE: NO SCALE
DATE: 01/08/02
REVISIONS:



VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

2990 S. PINE TREE ROAD  
ONEIDA, WI 54155

PHONE (920) 869-1011  
FAX (920) 869-2048

STANDARD DETAIL NO.

**DETAIL#**

DRAWING# OF

**2018 VILLAGE OF HOBART**

**BUILDING PERMIT FEE SCHEDULE & DEVELOPER DEPOSIT SCHEDULE**

CONTRACTORS DEPOSIT IS \$1,000.00 PER GENERAL CONTRACTOR THE AMOUNT WILL BE REFUNDED AFTER FINAL INSPECTION IF NO DAMAGE IS DONE TO VILLAGE PROPERTY. ADDITIONAL RETAINING FEE PER THE DISCRETION OF THE VILLAGE. *Permits after the fact are doubled.*

**RESIDENTIAL SINGLE FAMILY**

15¢ / SF	FINISHED AREA INSPECTION FEE
10¢ / SF	UNFINISHED AREA INSPECTION FEE
10¢ / SF	GARAGE AREA INSPECTION FEE
\$300.00	PARK FEE
\$ 50.00	ADMINISTRATIVE FEE
\$35.00	STATE SEAL FEE
\$50.00	EROSION CONTROL FEE
\$50.00	PLAN REVIEW
\$150.00	CERTIFICATE OF SURVEY

**RESIDENTIAL REMODELING FEE:**

\$50.00	EROSION CONTROL FEE IF SOIL WORK IS REQUIRED
\$100.00	LESS THAN \$3000.00 VALUE
\$150.00	\$3001.00 TO \$10,000.00 VALUE
\$250.00	\$10,000.00 TO \$20,000.00 VALUE
\$300.00	OVER \$20,000.00 VALUE
\$50.00	HVAC / SOLID FUEL / WATER HEATER

**DUPLEX BUILDING PERMITS:**

15¢ / SF	FINISHED AREA INSPECTION FEE
10¢ / SF	UNFINISHED AREA INSPECTION FEE
10¢ / SF	GARAGE AREA INSPECTION FEE
\$400.00	PARK FEE
\$50.00	ADMINISTRATIVE FEE
\$35.00	STATE SEAL FEE
\$50.00	EROSION CONTROL FEE
\$75.00	PLAN REVIEW
\$150.00	CERTIFICATE OF SURVEY

**RE-INSPECTIONS: \$50.00 EACH**

**GIS AERIAL FEE: \$5.00 Applies to all new or expanded structures.**

**SPECIAL INSPECTIONS & REPORTS: \$100**

**BARN:**

FULL SIZE USED FOR FARMING

\$440.00	INSPECTIONS
\$50.00	ADMINISTRATIVE FEE
\$50.00	EROSION CONTROL FEE
<b>\$540.00</b>	<b><u>TOTAL</u></b>

**COMMERCIAL / INDUSTRIAL FEES:**

NO PARK FEES

**NEW CONSTRUCTION & REMODELING**

9 ¢ PER SQ. FT	FRAMING
5 ¢ PER SQ. FT	ELECTRICAL
4 ¢ PER SQ. FT	HVAC
4 ¢ PER SQ. FT	PLUMBING
2 ¢ PER SQ. FT	SPRINKLERS
<b>\$120.00</b>	<b>Lock Box</b>
<b>\$200.00</b>	<b>ADMINISTRATIVE FEE</b>
<b>\$50.00</b>	<b>STORM SEWER HOOK UP</b>
<b>\$100.00</b>	<b>EROSION CONTROL FEE PLUS \$50.00 PER ACRE THAT IS DISTURBED</b>
\$100.00 PLUS \$1.00 PER FOOT PER TRENCH	OUTSIDE UTILITY INSPECTION

**SHEDS AND GARAGES:**

\$50.00	UP TO 12 X 12
80.00	OVER 12X12 UP TO 24X36
150.00	OVER 24X36
50.00	EROSION CONTROL FEE IF SOIL WORK IS REQUIRED

**ANNUAL UTILITY RIGHT OF WAY PERMIT:**

**\$400**

**SWIMMING POOL INCLUDING DECKS AND FENCE AROUND POOLS:**

\$50.00	IN-GROUND POOL
40.00	ABOVE GROUND POOL
50.00	HOT TUB/WHIRLPOOL
50.00	JUST DECKS ALONE
50.00	FENCES;INCLUDING UNDERGROUND FOR PETS
50.00	EROSION CONTROL FEE
50.00	POND

**MULTI - FAMILY DWELLINGS:**

\$200.00	PARK FEE PER UNIT PER BUILDING
\$100.00	ADMINISTRATIVE FEE
9 ¢ PER SQ FT	FRAMING
5 ¢ PER SQ FT	ELECTRICAL
4 ¢ PER SQ FT	PLUMBING
4 ¢ PER SQ FT	HAVC
2 ¢ PER SQ FT	SPRINKLERS
\$100.00	EROSION CONTROL FEE PLUS \$50.00 PER ACRE DISTURBED.

**SERVICE CHANGES**

\$50.00	RESIDENTIAL
\$80.00	COMMERCIAL

**EXCAVATION/EROSION CONTROL WITHOUT STRUCTURE**

\$300.00	FLAT FEE PLUS,
\$50.00	PER ACRE DISTURBED

**RURAL DRIVEWAY PERMIT WITHOUT STRUCTURE**

\$35.00	FLAT FEE
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**UNDERGROUND UTILITIES PERMIT**

\$300.00 per subdivision OR \$300.00 yearly base fee	PLUS EROSION CONTROL
\$1,000.00 RETAINING FEE PER CONTRACT & ACTUAL REPAIR COSTS	PLUS AS BUILT PLANS

**PERMITS ISSUED IN:** Floodplain, Shoreland, Wetland inspection fee: \$330.00

**TEMPORARY PERMIT/ FLASHING SIGN PERMIT**

\$35.00 FOR 30 DAYS CAN RENEWED FOR 30 ADDITIONAL DAYS, WITH A 48 HOUR SHUT OFF AFTER THE INITIAL 30 DAY. AN ADDITIONAL RENEWAL WOULD REQUIRE VILLAGE BOARD APPROVAL.

**MOVING/DEMOLITION PERMIT**

\$200.00	HOUSES/BARNS COMMERCIAL/ INDUSTRIAL
\$50.00	OTHER STRUCTURES
PLUS \$1,000.00 RETAINING FEE	AND PROOF OF INSURANCE

**DOCK PERMIT**

\$25.00	FLAT FEE
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**RESIDENTIAL UTILITY PERMITS**

\$400.00	SEWER HOOKUP
\$100.00	SEWER & WATER LATERAL INSPECTION FEE
\$75.00 SEWER \$75.00 WATER	LATERAL INSPECTION IF NOT IN SAME TRENCH
\$ 50.00	Water Meter Installation
\$ 75.00	WELL OPERATION PERMIT
\$50.00	LAWN SPRINKLING SYSTEMS
\$40.00	REPLACE BROKEN SEAL ON METER

**WAREHOUSE CONSTRUCTION**

EROSION CONTROL FEE AND ALL INSPECTIONS INCLUDED IN THESE FEES.

0 – 20,000 SQ FT	14¢ PER SQUARE FOOT
20,001 – 100,000 SQ FT	7¢ PER SQUARE FOOT
100,001 AND OVER	3¢ PER SQUARE FOOT

**SITE PLAN REVIEW**

\$150.00 INITIAL REVIEWS UP TO 3 HOURS  
ADDITIONAL HOURS BILLED AT \$30.00 PER  
HOUR. EFFECTIVE 1-1-2001

**TOWERS**

\$500.00	CO-LOCATE
\$2,000.00	NEW



**Local Code Provisions Applicable to  
 Construction Projects**

**Introduction**

In addition to applicable State of Wisconsin Codes, the Village of Hobart has various code requirements applicable to new, addition and remodeling construction projects. The following is intended to provide insight on such code requirements that may be unique to the Village of Hobart and are not found in the State Codes.

Municipal Code Section	Code Provision
<b>121-2 G.</b>	<b>Septic and Solid Waste Collection Receptacles Required</b> - The property owner(s) and/or duly-appointed agent(s) representing said owner(s) for any property upon which a new residential dwelling or non-residential building is to be constructed shall provide temporary on-site septic, i.e. portable toilet, and solid waste containers, e.g. dumpster, for the temporary storage of waste during and subsequent removal after building construction has been completed. Said containers shall be installed prior to commencement of construction, maintained in working condition and capacity throughout the duration of all construction activities, and be removed from the property not later than ten (10) days after the date the Building Inspector has completed final inspection.
<b>121-2 D.(1)</b>	<b>Sanitary Sewer Backwater Valves Required</b> - In buildings and structures connected to the municipal sanitary sewerage system, where plumbing fixtures exist below road grade, backwater valves shall be installed in the building sanitary drain system as a prevention to keep backwater from flooding the area of the building below road grade.
<b>127-1 B. Adopting State Fire Prevention Code</b>	<b>Lock Box (Knox Box) Required for Occupancies other than 1&amp;2 Family Dwellings</b> – The State of Wisconsin Administrative Code gives the local Authority Having Jurisdiction (AHJ) the ability to require Lock Boxes at multi-family, commercial and industrial occupancies to provide local Fire Departments and emergency responders ready access to prevent damage to properties in the event forcible entry is required for life safety or fire.
<b>95-3 A.</b>	<b>Alarm Permit Required</b> – No person shall install or cause to be installed any alarm system designed to alert the Police or Fire Departments of an emergency for any premises in the Village until an alarm permit therefore has been issued by the Village, with the following exception: (not to include detectors such as smoke detectors/carbon monoxide detectors, medical alarms (Life-line) or electrical problem indicators. For the most part these are stand alone alarms designed to warn persons inside the structure.)
<b>295-320</b>	A <b>Construction Deposit</b> is required for all permits where the scope of activities can result in damage to Village infrastructure. This deposit is refundable upon completion of the permitted activity and no damage to Village infrastructure is experienced.

121-5	<p>A <b>Certificate of Survey</b> prepared by registered surveyor or engineer identifying building foundation elevations, and site grading and drainage elevations necessary to ensure compliant grading and drainage, is required for all new single and two family homes. Occasionally this plan is needed for additions.</p> <p>Building elevation, grading and drainage for Multi-Family, Commercial and Industrial construction is addressed through a similar plan required by the Site Review Standards.</p>
295-18	<p><b>Property Address</b> – All developed parcels are required to post the assigned address so it is visible from the public right of way. General provision of this ordinance section require address numbers to be visible from the public right-of-way, employ 3 inch tall minimum height Arabic numerals, be of contrasting color to the building façade, and be located by the building main entrance (or over a garage door if more prominently visible from the public right-of-way.)</p> <p>Structures more than 50 feet from the public right-of-way are required to post the assigned address at the property right-of-way line, within 10 feet of the driveway, walk or common entrance to the property (gatepost, mailbox, post or other discernible location) so it is readily visible from the public right-of-way at all times.</p>
264-4	<p><b>Spring Road Weight Limits</b> – Spring load limits are posted each year as the frozen ground thaws. During the spring thawing period, soils beneath asphalt roads may become softer, providing less support to resist heavier traffic loads. Load limits are placed to prevent damage to roads during this time. Spring load limits are removed when the ground has thawed and restored its ability to support the traffic loads.</p> <p>The Village provides an annual announcement of load limits in the local newspaper and on our web site. Updates, including removal of load limits are also provided on the Village web site. Efforts are also made to notify contractors and builder organizations of load limit status.</p>
State Code	<p><b>Tracer Wires</b> are required to be installed to provide ready locating ability for Sanitary Sewer, Storm Sewer and Water laterals. Tracer wires must be accessible where each lateral terminates or enters a structure within each property installed.</p>
Village Policy	<p><b>Paved Driveways</b> - Concrete access drives may extend to within 6 feet of the existing paved road edge or 8 feet of the gravel shoulder or roadway. The remainder may be paved with asphaltic pavement. Concrete access drives, in absence of concrete curb and gutter, are required to maintain this clearance to the paved road edge to assist in preventing damage to both Village plow equipment and the property owners' concrete access drives.</p>

*This handout is intended to provide property owners/contractors with a simplified review of code provisions relating to the topic noted. This handout is not, however, actual code provisions. For a review of the regulations that would apply to your particular site, please refer to the Village of Hobart Municipal Code of Ordinances and/or Adopted Policy/Procedures.*