

<p>VILLAGE OF <b>HOBART</b> GREATNESS IS GROWING <b>Village of Hobart</b> Village Office 2990 S. Pine Tree Rd, Hobart, WI <a href="http://www.hobart-wi.org">www.hobart-wi.org</a> - <a href="http://www.buildinhobart.com">www.buildinhobart.com</a></p>	<p>Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday March 17th 2021 at 5:30 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 12<sup>th</sup> day of March, 2021 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.</p>
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**MEETING NOTICE – SITE REVIEW COMMITTEE**

**Date/Time: Wednesday March 17<sup>th</sup> 2021 (5:30 P.M.)**

**Location: Village Office, 2990 South Pine Tree Road**

***NOTE: Based on Federal and State guidance during the COVID-19 crises, anyone attending the Board meeting is asked to practice social distancing, which means maintaining a distance of at least 6 feet (2 meters) from others. Due to the Governor's recent Executive Order, all those present must wear a face mask at the meeting. Thank you for your cooperation.***

**ROUTINE ITEMS TO BE ACTED UPON:**

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the December 3rd 2020 meeting (Page 2)
4. Public Comment on Non-Agenda Items.

**ACTION ITEMS**

**5. DISCUSSION AND ACTION – Discussion and action on request for a 55,000 sf., warehouse addition and associated site improvements (3794 Packerland Dr., HB-950 & HB-950-4) (Page 4)**

This property was recently developed in 2020 to include a new 125,000 square foot warehouse facility and the site improvements consisting of the main access driveway from Packerland Dr. and a secondary access from Camber Ct. along the associated drive and parking areas. The developer is now requesting a building addition for another 55,000 square feet of warehousing space which will include two additional loading docks to be located along the south elevation of the building.

**6. ADJOURN**

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg (Chairperson), Debbie Schumacher, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Merlin Zimmer, Vacancy

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



**Village of Hobart Site Review Committee Minutes  
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI  
Wednesday, December 3, 2020 – 5:45 pm**

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**1. Call to Order, Roll Call:**

The meeting was called to order by Dave Dillenburg at 5:46pm. Roll call: Dave Dillenburg, aye; Debbie Schumacher, aye; Mike Ambrosius, aye; Dave Baranczyk, aye; Merlin Zimmer, excused; Rick Nuetzel, excused; Tom Tengowski, excused.

**2. Verify/Modify/Approve Agenda:**

Motion by Dave Baranczyk, second by Debbie Schumacher, to approve the agenda as presented. All in favor. Motion carried.

**3. Approval of Site Review Minutes:**

Motion by Dave Baranczyk, second by Mike Ambrosius, to approve the site review minutes for September 16, 2020

**4. Public Comment on Non-Agenda Items:**

None.

**5. Consider four new temporary freestanding development signs located in the 4900 Block of N. Overland Rd. and 500 Block of Triangle Drive:**

GENERAL INFORMATION

1. Applicant: Brian Peters (Bayland Buildings)
2. Owner: Village of Hobart
3. Address: 4900 Block N. Overland Rd. and 500 Block Triangle Drive
4. Parcel: HB-525, HB-525-2, HB-523-2, HB-523, & HB-524
5. Zoning: PDD#1: Centennial Centre at Hobart District

BACKGROUND

Bayland Buildings is proposing to construct four temporary freestanding development signs in the Highway 29 Business District located east of N. Overland Rd. and south of HWY 29 that would have a sign area square footage of 200 square feet per sign. Such signs will be non-illuminated and have an overall height of 12 feet above grade.

ZONING REQUIREMENTS

The Village of Hobart owns the approximately 67 acres to the east of N. Overland Rd. between HWY 29 / Triangle Dr. to approximately Larsen Orchard Parkway and is working with Bayland Buildings to install four freestanding temporary development signs strategically located adjacent to the public roadways. The Village Sign Code permits the Village's Director of Planning and Code Compliance to approve temporary signs of this nature up to 75 square feet with and requests over 75 square feet may be reviewed and permitted by the Village Site Review Committee taking into account safety, surrounding zoning, and the impact on adjacent properties and attractiveness of the village. The signs that are being proposed are 200 square feet in area (10' x 20'). Therefore, the signs are before the committee for review and consideration. It is Village Staff's belief that the four signs as proposed will not negatively affect safety in the area, the surrounding zoning is all the

same (PDD#1), and will not have any negative impact on adjacent properties or attractiveness of the Village.

ACTION

Motion by Dave Baranczyk, second by Debbie Schumacher, to approve four freestanding monument signs as presented with the following conditions:

1. Sign shall maintain a minimum of 10 feet from the property lines.
2. Overall sign height shall not exceed 12 feet from grade
3. Signs will be brought back to Site Review Committee to review after 3 years
4. Recommended to reduce the number of signs along the highway and Triangle Dr to two instead of three

All in favor. Motion carried.

**6. Adjourn:**

Motion by Dave Baranczyk, second by Mike Ambrosius, to adjourn. All in favor. Motion carried. Meeting adjourned at 6:05pm.



**TO:** Site Review Committee

**RE:** 3794 Packerland Dr., HB-950 & HB-950-4; New 55,000 sf Warehouse Addition and Associated Site Improvements

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** March 17, 2021

**ISSUE:** Discussion and action on request for a 55,000 sf., warehouse addition and associated site improvements

**RECOMMENDATION:** Staff recommends approval subject to any conditions the Committee may identify.

### GENERAL INFORMATION

1. Developer: Integrity Warehousing, LLC
2. Applicant: Michael Leidig, Robert E. Lee & Associates, Inc.  
David O'Brien, Bayland Building, Inc.
3. Address/Parcel: 3794 Packerland Dr., HB-950 & HB-950-4
4. Zoning: I-1: Limited Industrial District
5. Use: Warehousing

### BACKGROUND

This property was recently developed in 2020 to include a new 125,000 square foot warehouse facility and the site improvements consisting of the main access driveway from Packerland Dr. and a secondary access from Camber Ct. along the associated drive and parking areas. The developer is now requesting a building addition for another 55,000 square feet of warehousing space which will include two additional loading docks to be located along the south elevation of the building.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### **Section 3, Site Plan Approval**

- A. Zoning:** I-1: Limited Industrial District
- B. Green Space:** 49% green space (59.2% on original plan).
- C. Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (60' from Camber Ct. right-of-way, 219' from Packerland Dr. right-of-way, 134' from the south property line, and 223' from the west property line)
- D. Parking:** No changes from original plan (36 spaces proposed, 10 spaces are required per code of 1 stall for every 2 employees (20 employees proposed)).
- H. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- I. Storm Water:** Storm water from the proposed building addition and additional parking areas will be collected by on-site storm sewer before being discharged to a wet detention pond on the east side of the site

(near the corner of Packerland Dr. and Camber Ct.). From the new wet pond, the storm water will be discharged in to the ditch line along Packerland Dr.

- M. Refuse Collection:** No changes from original plan (There is no exterior refuse / recycling containers proposed, however, should there be some containers placed on site, they shall be located away from the public roadways and be enclosed and screened from view.)

#### Section 4, Architectural Plan Approval

**A. Exterior Construction Information:**

1. **Materials:** Metal framed building with masonry components. (To match existing)
2. **Exterior Materials:** The south elevation will continue with pre-finished metal wall panels. The west and east elevations will also consist of all pre-finished metal wall panels with Staff recommending a requirement being placed on the east elevation (facing Packerland Dr.) that should the next possible building addition (area noted on the attached site plan) not be constructed within 5 years (by December 31, 2026), the east elevation is required to comply with the minimum 35% masonry requirement prior to June 30, 2027. As for the north elevation, the developer is proposing to continue the mix of masonry and pre-fab metal panels to maintain uniformity with the design of the existing building (wall would be constructed of 4'-6" high split-faced block with pre-finished metal wall panels above).
3. **Height:** Eave height of 27' with an overall height of 34' to peak of roof system.
4. **Overhead doors:** There will be one at grade overhead door on the east elevation and of the same color as the metal wall panels. This door will only be utilized to gain access to the new building addition area during construction only and will not be used for business activity following building completion. Additionally, there will be two new dock doors along the south elevation of new addition.
5. **Mechanical equipment:** No mechanical equipment is shown on the plans, however, should such equipment being installed on the roof it shall be screened from view by materials compatible with those used for the principal structure. Any such equipment located on the ground shall be screen from view by landscaping or fencing to compliment the building and overall landscaping.

**Section 5, Landscaping Plan:** With this building addition still being set back a fair distance from Packerland Dr., the large open area to the front of the building towards Packerland Dr. will remain natural and undeveloped with the plan to construct another building addition in this area in the not so distant future. As per the conditional approval of the original plan, 6 new trees are proposed along Camber Ct. where this new addition will be located. This will be a continuation from the 6 trees proposed along Camber Ct. in the area where the existing building was constructed. Staff would recommend that any additional trees required along Camber Ct. and Packerland Dr. not be planted at this time as they would be in the way for any future building expansion. Staff would recommend that should the possible building addition not be constructed within 5 years (by December 31, 2026), the remaining trees required to comply with the 50' spacing ordinance be planted by June 30, 2027. Additionally, Village Staff would recommend that additional landscaping be implemented around the street sides of the new wet detention pond to make it more of a landscape feature due to its close proximity to the public roadways.

**Section 6, Lighting:** The lighting plan is approved by Staff as submitted, continuation of wall mounted fixture to match existing.

**Section 7, Signage:** No signage is included with this submittal. Formal signage submittal is required prior to signage installation.

**Section 8, Driveway-Curb Cut:** Existing driveway access points from Packerland Dr. and Camber Ct. to remain. The developer is requesting from Brown County for an increase of 16 feet for the access along Packerland Dr. Staff supports the wider driveway at this location due to the use of larger trucks entering and exiting the site.

**RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval, subject to the following in addition to any conditions the Site Review may identify:

1. Any proposed refuse / recycling containers placed on site, they shall be located away from the public roadways and be enclosed and screened from view;
2. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground;
3. Coordinate with Village Fire Chief regarding the number and location of lock box(s);
4. East elevation (facing Packerland Dr.) of proposed building shall be required to comply with the minimum 35% masonry requirement prior to June 30, 2027 should the possible building addition not be constructed within 5 years (by December 31, 2026);
5. Any additional trees required along Camber Ct. and Packerland Dr. should not be planted at this time as they would be in the way for any future building expansion. Should the possible building addition not be constructed within 5 years (by December 31, 2026), the remaining trees required to comply with the 50' spacing ordinance be planted by June 30, 2027;
6. Submit a more detailed landscape plan to Staff for approval of the landscape areas around the street sides of the new wet detention pond to make it more of a landscape feature due to its close proximity to the public roadways.;
7. Any proposed signage shall come back to the Committee for approval.

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Integrity Warehousing development, South of Camber Court

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 13.42 Acres

Size of facility(square footage): 55,500 SF

Type of facility: Facility expansion

Developer: Integrity Warehousing LLC

Address: P.O. Box 28527, Green Bay, WI 54324 Phone: 920-347-9348

Engineer: Robert E. Lee and Associates - Michael Leidig

Address: 1250 Centennial Centre Blvd. Phone: 920-622-9641

Contractor: Bayland Buildings - David O'Brien

Construction Firm: Bayland Buildings Inc.

Address: P.O. Box 13571 Green Bay WI, 54307 Phone: 920-371-6200

3. SITE PLAN APPROVAL

A. Industrial \_\_\_ Business Park \_\_\_ Commercial X

Multi-Family \_\_\_

Current Zoning: I-1 Limited Industrial

Other - Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES X NO

% of Green Space: 62.24%

B. Orientation - Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: Front = 40'  
Side = 15'  
Rear = 20' Complies with Ordinance: Yes

D. # of parking stalls ( Include Handicapped parking): 36 stalls

E. Show the following Utilities and all easements including but not limited to the following facilities types:

- 1) Electric underground  overhead
- 2) Natural Gas
- 3) Telephone
- 4) Water / Fire Hydrants
- 5) Fiber Optic Lines
- 6) Other transmission lines \_\_\_\_\_
- 7) Ingress - egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance X YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: X YES \_\_\_\_\_ NO



- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_ YES X NO
  - 2) Not applicable \_\_\_\_\_

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:

on Plan set

J. Sidewalks, walkways, and driveways:

K. Off street loading areas and docks:

L. Fences and retaining walls or berms:

M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

N/A

N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

N/A

#### 4. ARCHITECTURAL PLAN APPROVAL

A. Exterior construction information:

- 1) Type of Construction Materials: Steel
- 2) Exterior Materials: Metal Wall Panel, Insulated Split-Faced Block
- 3) Height of Facility: 27'
- 4) Compatibility with existing adjacent structure: Yes (Attach Photos)
- 5) Other unique characteristics: \_\_\_\_\_

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

REL Sheet 2

Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

Identify Buffering -Type – Quantity: \_\_\_\_\_

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

See cut sheets

REL Sheet 2

Identify Parking Lighting – Quantity – Wattage – Location :

Identify other Lighting – Quantity – Wattage – Location:

7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion:                                 N/A                                

\_\_\_\_\_

\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut:                 N/A                (county approval pending)

Radius / Flare: \_\_\_\_\_

Apron Dimensions: \_\_\_\_\_

Culvert Size (End-walls Required) \_\_\_\_\_



**Robert E. Lee & Associates, Inc.**

Engineering, Surveying, Environmental Services

**Green Bay Office**  
1250 Centennial Centre Blvd.  
Hobart, WI 54155  
920-662-9641  
FAX 920-662-9141

March 3, 2021

Mr. Aaron Kramer, Village Administrator  
VILLAGE OF HOBART  
2990 S Pine Tree Road  
Hobart, WI 54155

RE: Integrity Warehouse Expansion  
Storm Water Management Summary

Dear Mr. Kramer:

Robert E. Lee & Associates, Inc., is submitting the following Storm Water Management summary for the proposed Integrity Warehouse Expansion off of Camber Court. Storm water running off of the proposed building addition and loading areas will be collected by on-site storm sewer before being discharged to a wet detention pond on the east side of the site. Here, the stormwater will be treated for TSS removal and peak discharge to meet the Village of Hobart and WDNR regulations.

If you have any questions or need any additional information, please do not hesitate to call.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.

Michael R. Leidig, E.I.T.

Catalog # :

Project :

Prepared By :

Date :

## WPSLS Series Small LED Slim Wall Pack



The Slim Wall Light Series has a slim, low profile design with attractive architectural styling. A quick and easy mounting system is bottom hinged to prevent leakage. The LED placement and mounting position results in a glare free design.

### Features & Specifications

#### Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

#### Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating

#### Controls

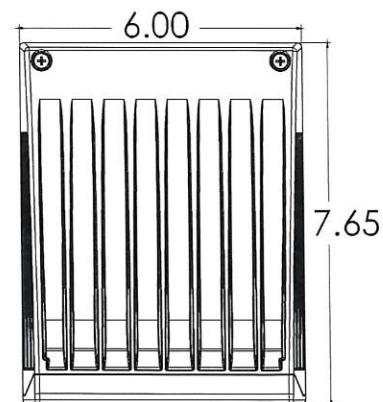
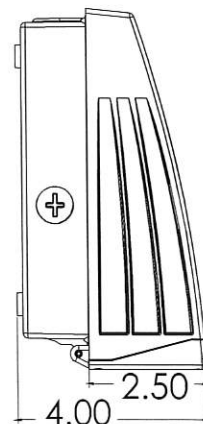
- Optional 120V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.



Dimmable



### Dimensions





# WPSLS Series Small LED Slim Wall Pack

## Features & Specifications (Cont.)

### Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory
- Shipping weight: 3.8 lbs in carton.

### Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.
- 1 Year warranty on optional Button Photocell.

### Listings

- Listed to UL 1598 and UL 8750.
- CSA Listed
- RoHS Compliant.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- American Recovery and Reinvestment Act Funding Compliant.
- Suitable For Wet Locations.

## Performance

Lumens	3000K		4000K		5000K		Wattage
	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	
1L	1206	97.79	1206	97.79	1366	111.11	12
2L	2125	107.2	2125	107.2	2418	121.97	20
4L	3712	100.18	3712	100.18	4394	116.21	40

## Energy Savings

LED		HID			
Wattage	Annual Cost	Source Wattage	Total Wattage Used	Annual Cost	Annual Savings
12	\$5	50	72	\$52	\$47
		70	90	\$59	\$54
20	\$9	50	72	\$52	\$43
		70	90	\$59	\$50
		100	129	\$77	\$68
40	\$18	100	129	\$77	\$59
		150	185	\$100	\$82
		175	210	\$112	\$94

## Luminaire Ordering Guide

TYPICAL ORDER EXAMPLE: **WPSLS LED 1L UNV DIM 30 PC120 BZA**

Family Prefix	Lumen Package	Color Temp	Controls	Finishes
WPSLS - Small Slim Wall Pack	1L - 1000 Lumens 2L - 2000 Lumens 4L - 4000 Lumens	30 - 3000K 40 - 4000K 50 - 5000K	PC120 - 120V Photocontrol PM208-277 - 208-277V Photocontrol	BZA - Bronze WHT - White BLK - Black

Part of Brown County WI

LEGEND / KEY

- Parcel Boundary
- Condominium
- Gap or Overlap
- "hooks" indicate parcel ownership crosses a line
- Parcel line
- Right of Way line
- Meander line
- Lines between deeds or lots
- Historic Parcel Line
- Vacated Right of Way

SC-190-2 Parcel ID Number  
 2880257 Document Number  
 0.814 AC Area of parcel  
 279.8' Line Distance  
 3547 Address

A complete map legend (map key) is available at:  
<https://tinyurl.com/BrownDogKey>

Map printed  
 3/11/2021



1:2,400

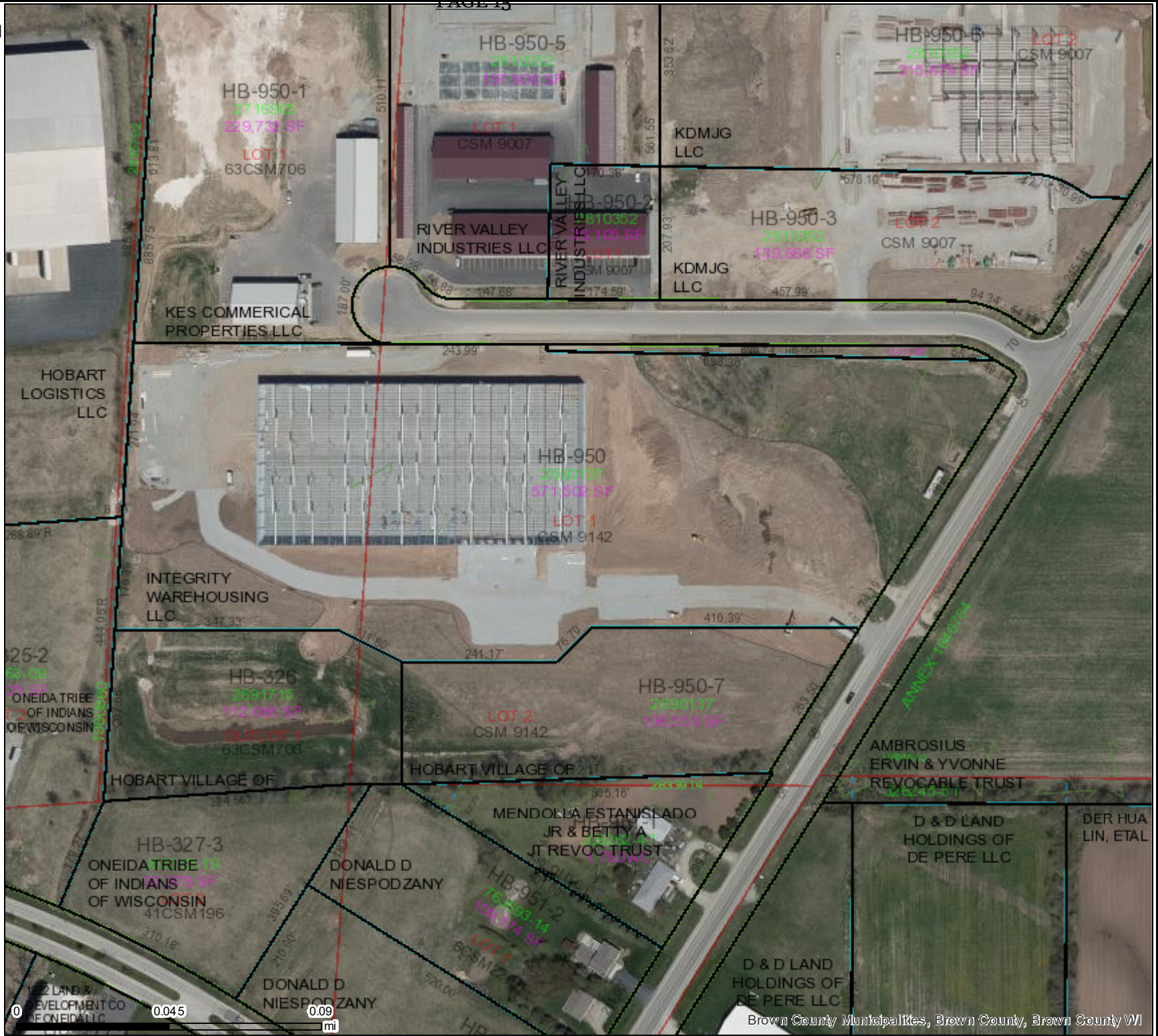
1 inch = 200 feet\*  
 1 inch = 0.0379 miles\*  
 \*original page size is 8.5" x 11"  
 Appropriate format depends on zoom level

This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin Planning & Land Services Department**



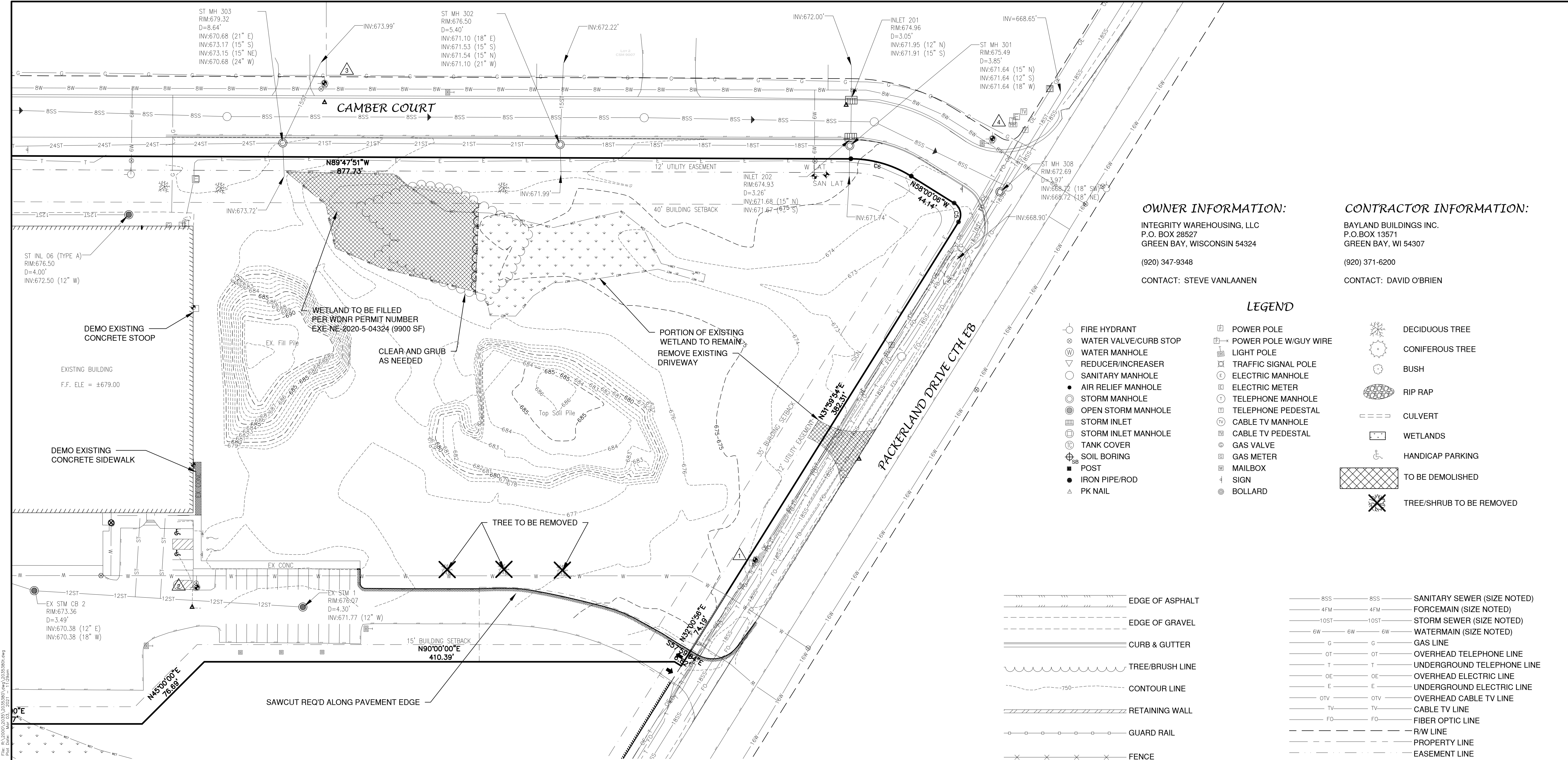
(920) 448-6480  
[maps.gis.co.brown.wi.us](http://maps.gis.co.brown.wi.us)



0 0.045 0.09 mi







**OWNER INFORMATION:**  
 INTEGRITY WAREHOUSING, LLC  
 P.O. BOX 28527  
 GREEN BAY, WISCONSIN 54324  
 (920) 347-9348  
 CONTACT: STEVE VANLAANEN

**CONTRACTOR INFORMATION:**  
 BAYLAND BUILDINGS INC.  
 P.O. BOX 13571  
 GREEN BAY, WI 54307  
 (920) 371-6200  
 CONTACT: DAVID O'BRIEN

**LEGEND**

- FIRE HYDRANT
- ⊗ WATER VALVE/CURB STOP
- ⊙ WATER MANHOLE
- ▽ REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- ⊙ STORM MANHOLE
- ⊙ OPEN STORM MANHOLE
- ⊙ STORM INLET
- ⊙ STORM INLET MANHOLE
- ⊙ TANK COVER
- ⊙ SOIL BORING
- POST
- IRON PIPE/ROD
- ▲ PK NAIL
- ⊠ POWER POLE
- ⊠ POWER POLE W/GUY WIRE
- ⊠ LIGHT POLE
- ⊠ TRAFFIC SIGNAL POLE
- ⊙ ELECTRIC MANHOLE
- ⊙ ELECTRIC METER
- ⊙ TELEPHONE MANHOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ CABLE TV MANHOLE
- ⊙ CABLE TV PEDESTAL
- ⊙ GAS VALVE
- ⊙ GAS METER
- ⊙ MAILBOX
- ⊙ SIGN
- ⊙ BOLLARD
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE
- ⊙ BUSH
- ⊙ RIP RAP
- CULVERT
- WETLANDS
- ♿ HANDICAP PARKING
- ⊠ TO BE DEMOLISHED
- ✂ TREE/SHRUB TO BE REMOVED

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- 8SS --- 8SS --- SANITARY SEWER (SIZE NOTED)
- 4FM --- 4FM --- FORCEMAIN (SIZE NOTED)
- 10ST --- 10ST --- STORM SEWER (SIZE NOTED)
- 6W --- 6W --- WATERMAIN (SIZE NOTED)
- G --- G --- GAS LINE
- OT --- OT --- OVERHEAD TELEPHONE LINE
- T --- T --- UNDERGROUND TELEPHONE LINE
- OE --- OE --- OVERHEAD ELECTRIC LINE
- E --- E --- UNDERGROUND ELECTRIC LINE
- OTV --- OTV --- OVERHEAD CABLE TV LINE
- TV --- TV --- CABLE TV LINE
- FO --- FO --- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

**DEMOLITION NOTES**

- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.

**UTILITY INFORMATION:**

UTILITIES PRESENT:  
 --VILLAGE OF HOBART-- VILLAGE OF ASHWAUBENON WATER, --GBMSD--, --VILLAGE OF WRIGHTSTOWN WATER--  
 --AT&T DISTRIBUTION--, --TIME WARNER CABLE-- AND --WISCONSIN PUBLIC SERVICE--.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBER --#20210501032 AND 20210501030 & DATE 02/04/2021--, VISIBLE OBSERVATION (-02/01/2021--) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

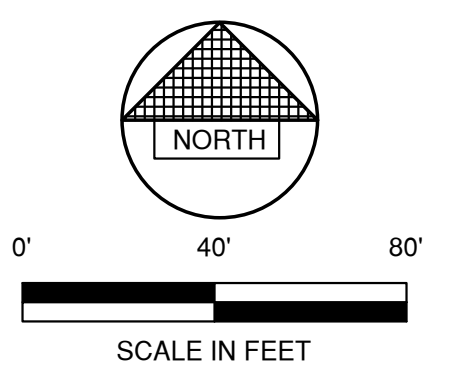
WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS VILLAGE OF HOBART 2990 S. PINE TREE RD. HOBART, WI 54155 (920) 869-3807	WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS VILLAGE OF ASHWAUBENON 2155 HOLMGREN WAY ASHWAUBENON, WI 54304 (920) 492-2308	SANITARY SEWER: GBMSD 2231 N. QUINCY ST. GREEN BAY, WI 54302 (920)432-4893	WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS VILLAGE OF WRIGHTSTOWN 101 WASHINGTON ST. WRIGHTSTOWN, WI 54180 (920) 532-0434	TELECOMMUNICATIONS: AT & T / SBC 205 S. JEFFERSON ST. GREEN BAY, WI 54301 (920) 433-4147	TELECOMMUNICATIONS: TIME WARNER CABLE 2580 W. MASON ST. GREEN BAY, WI 54303 (920) 944-1581	GAS & ELECTRIC: WISCONSIN PUBLIC SERVICE CORP. 700 N. ADAMS ST. GREEN BAY, WI 54307 (800) 797-7434
---	---	--	--	--	--	--

Curve Table							
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C5	90°00'00"	12.00'	18.85'	N13°00'06"W	16.97'	N31°59'54"E	N58° 00' 06"W
C6	31°47'45"	100.00'	55.49'	N73°53'59"W	54.78'	N58°00'06"W	N89° 47' 51"W

BENCHMARK		
BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	NAIL IN PP	674.93
2	TAG BOLT ON FIRE HYDRANT	678.75
3	TAG BOLT ON FIRE HYDRANT	680.63
4	TAG BOLT ON FIRE HYDRANT	674.89



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
 WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL
1				4				CHECKED
2				5				AJB
3				6				DESIGNED
								MRL

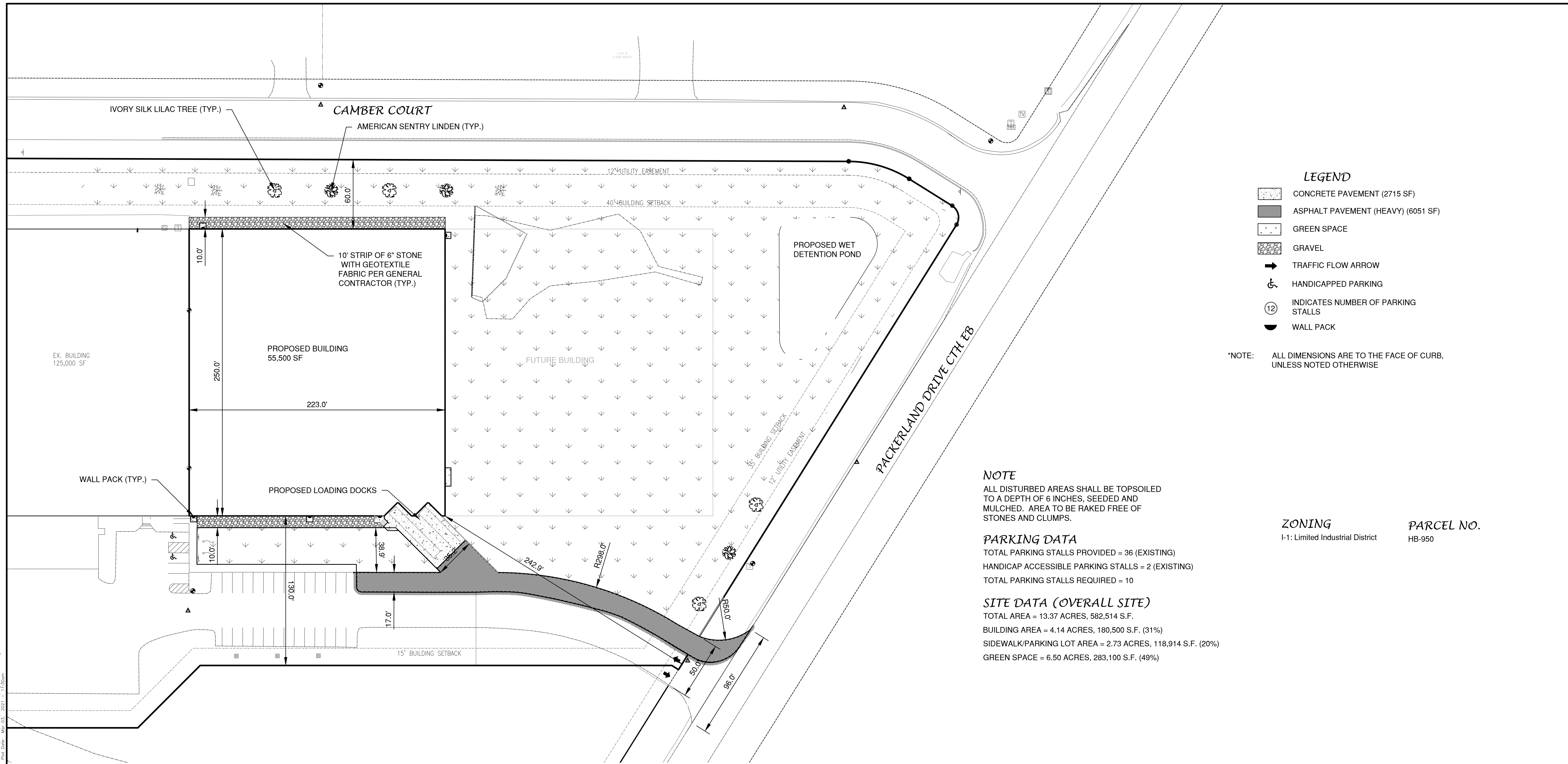
INTEGRITY WAREHOUSE EXPANSION FOR  
 BAYLAND BUILDINGS INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

DATE	01/2021
FILE	2035380T
JOB NO.	2035380

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 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.releinc.com

SHEET NO.  
**1**



- LEGEND**
- CONCRETE PAVEMENT (2715 SF)
  - ASPHALT PAVEMENT (HEAVY) (6051 SF)
  - GREEN SPACE
  - GRAVEL
  - TRAFFIC FLOW ARROW
  - HANDICAPPED PARKING
  - INDICATES NUMBER OF PARKING STALLS
  - WALL PACK

\*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

**NOTE**  
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

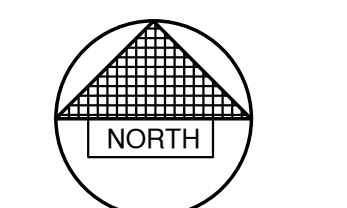
**PARKING DATA**  
TOTAL PARKING STALLS PROVIDED = 36 (EXISTING)  
HANDICAP ACCESSIBLE PARKING STALLS = 2 (EXISTING)  
TOTAL PARKING STALLS REQUIRED = 10

**SITE DATA (OVERALL SITE)**  
TOTAL AREA = 13.37 ACRES, 582,514 S.F.  
BUILDING AREA = 4.14 ACRES, 180,500 S.F. (31%)  
SIDEWALK/PARKING LOT AREA = 2.73 ACRES, 118,914 S.F. (20%)  
GREEN SPACE = 6.50 ACRES, 283,100 S.F. (49%)

**ZONING**  
I-1: Limited Industrial District

**PARCEL NO.**  
HB-950

File: R:\2020\2020\2020\2020\443\2020\2020.dwg  
Plot Date: Mar 23, 2021 11:50am  
LAYOUT: SITE



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

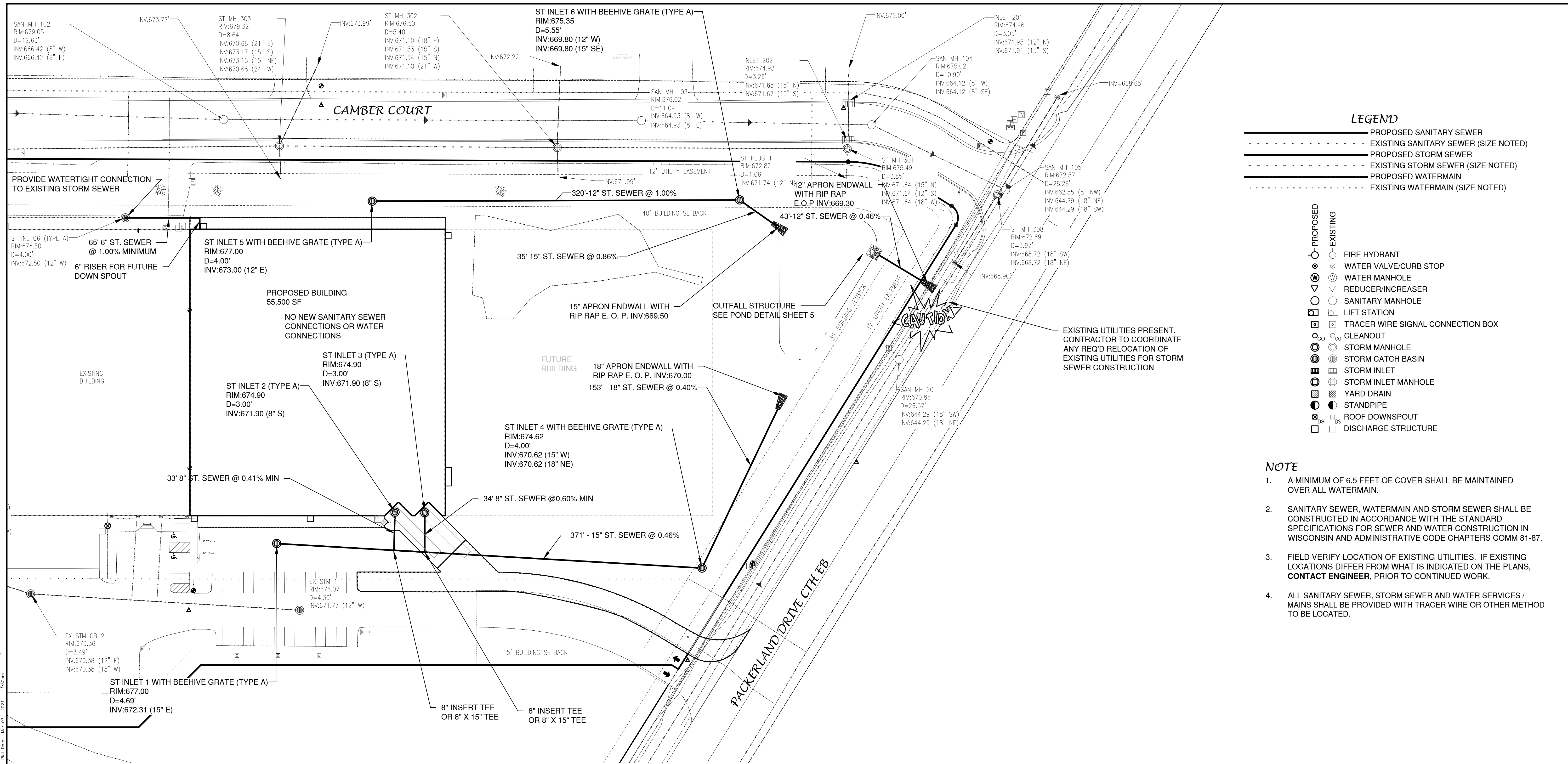
INTEGRITY WAREHOUSE EXPANSION FOR  
BAYLAND BUILDINGS INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

SITE PLAN

DATE  
01/2021  
FILE  
2025380D  
JOB NO.  
2025380

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SHEET NO.  
**2**

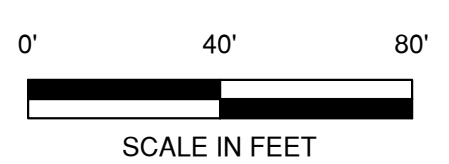
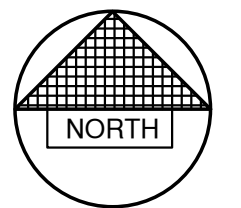


**LEGEND**

- PROPOSED SANITARY SEWER
  - - - EXISTING SANITARY SEWER (SIZE NOTED)
  - PROPOSED STORM SEWER
  - - - EXISTING STORM SEWER (SIZE NOTED)
  - PROPOSED WATERMAIN
  - - - EXISTING WATERMAIN (SIZE NOTED)
- 
- PROPOSED
  - EXISTING
  - FIRE HYDRANT
  - ⊗ WATER VALVE/CURB STOP
  - ⊙ WATER MANHOLE
  - ▽ REDUCER/INCREASER
  - SANITARY MANHOLE
  - LIFT STATION
  - ⊠ TRACER WIRE SIGNAL CONNECTION BOX
  - CLEANOUT
  - ⊙ STORM MANHOLE
  - ⊙ STORM CATCH BASIN
  - ⊙ STORM INLET
  - ⊙ STORM INLET MANHOLE
  - ⊙ YARD DRAIN
  - ⊙ STANDPIPE
  - ⊙ ROOF DOWNSPOUT
  - DISCHARGE STRUCTURE

**NOTE**

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



File: R:\2020\20353800\443\20353800.dwg  
 Plot Date: Mar 23, 2021 11:30am  
 Utility  
 Layout

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
DRAWN MRL				CHECKED AUB			
DESIGNED MRL							

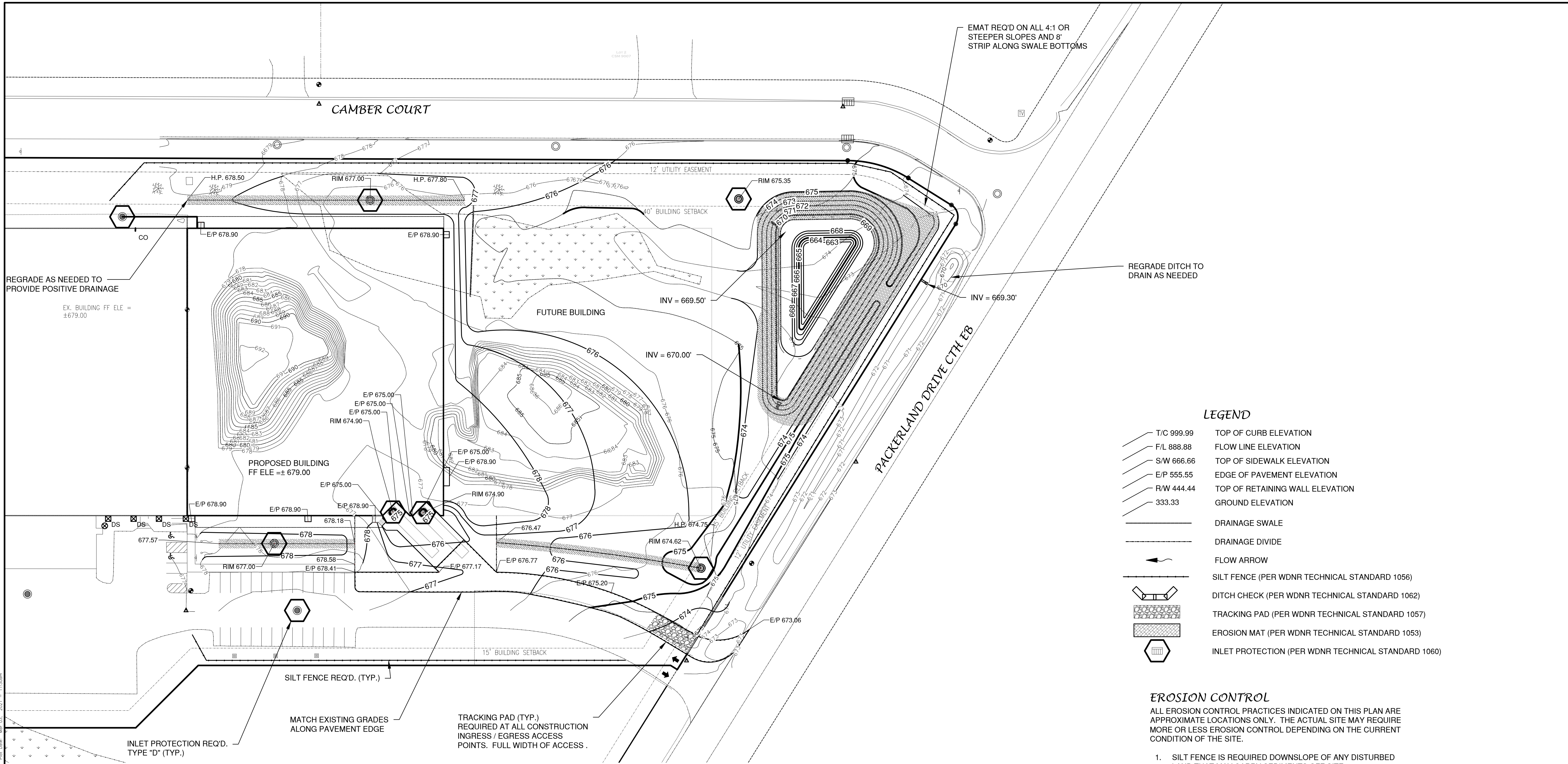
**INTEGRITY WAREHOUSE EXPANSION FOR  
BAYLAND BUILDINGS INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN**

**UTILITY PLAN**

DATE: 01/2021  
FILE: 20353800  
JOB NO.: 2035380

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SHEET NO. **3**



**LEGEND**

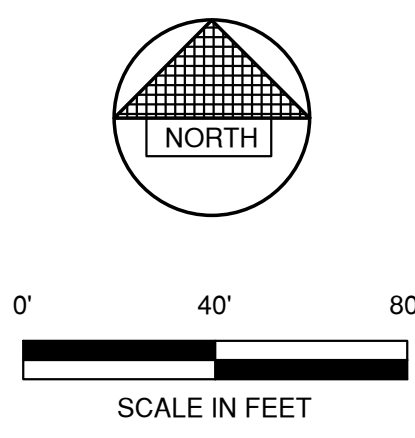
- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

**EROSION CONTROL**

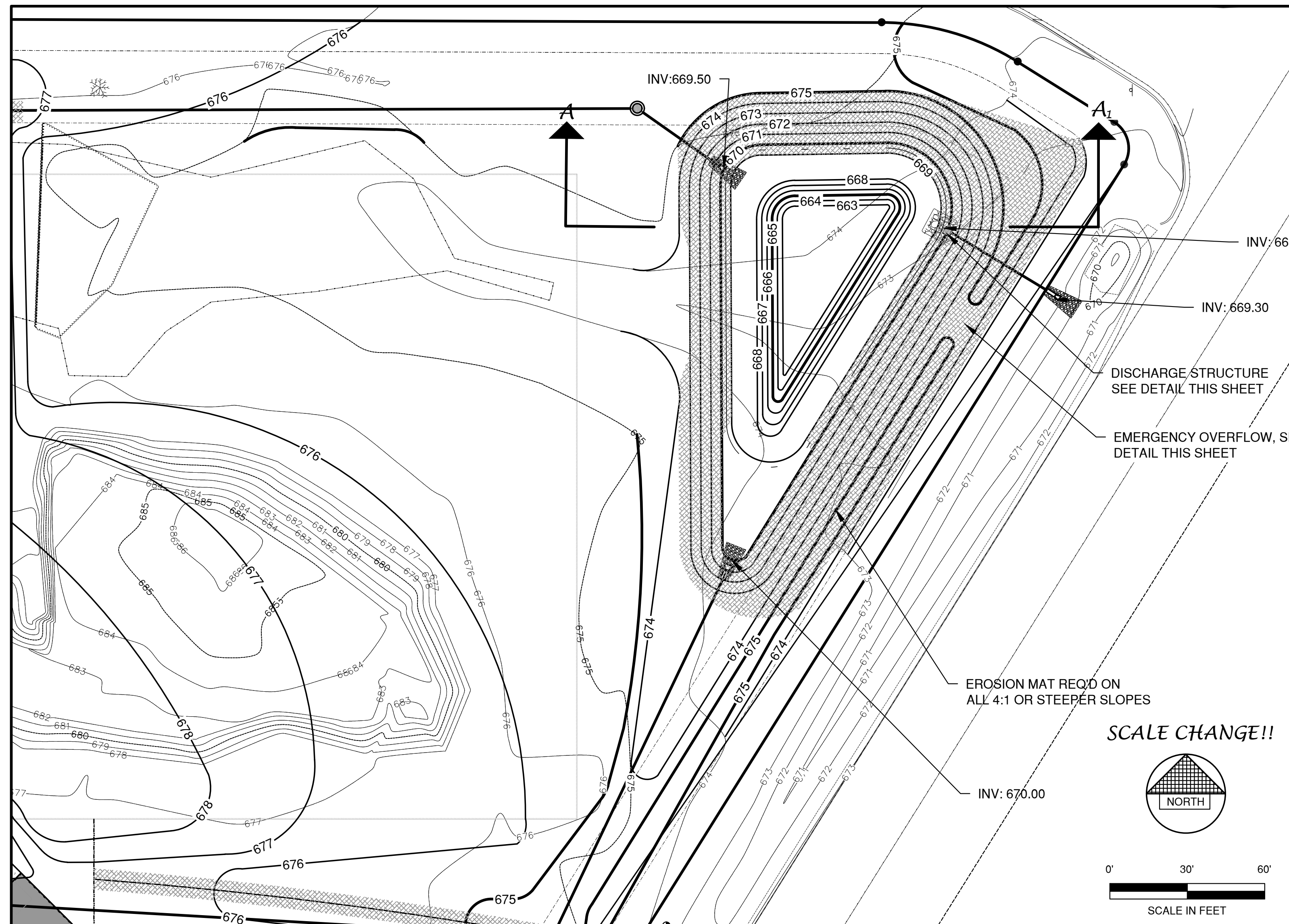
ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

File: R:\3000\3035\3035.dwg  
 Job: 3035 - 01  
 Date: 01/2021  
 Scale: 1" = 100'  
 LAYOUT: GRADING AND EROSION



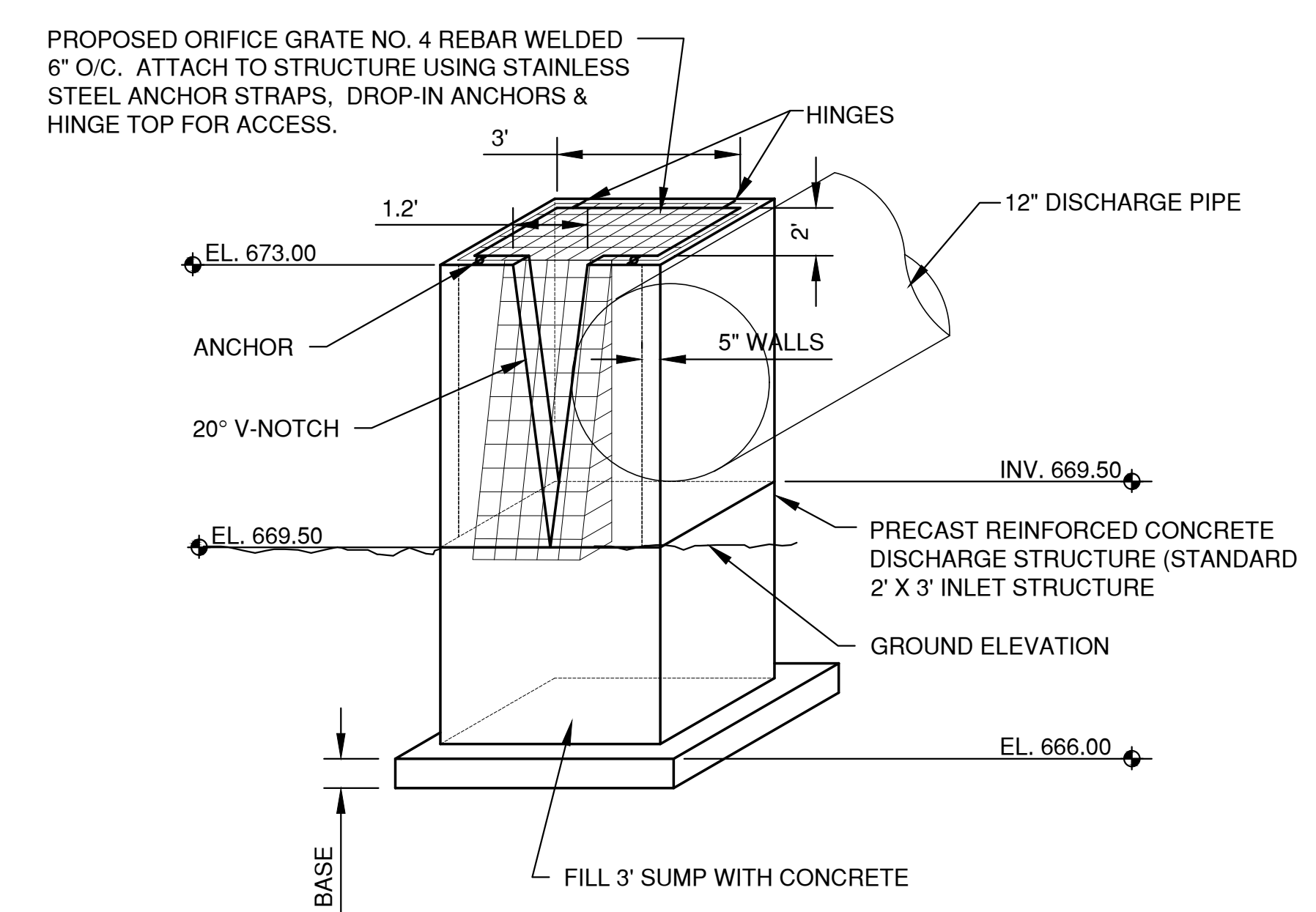
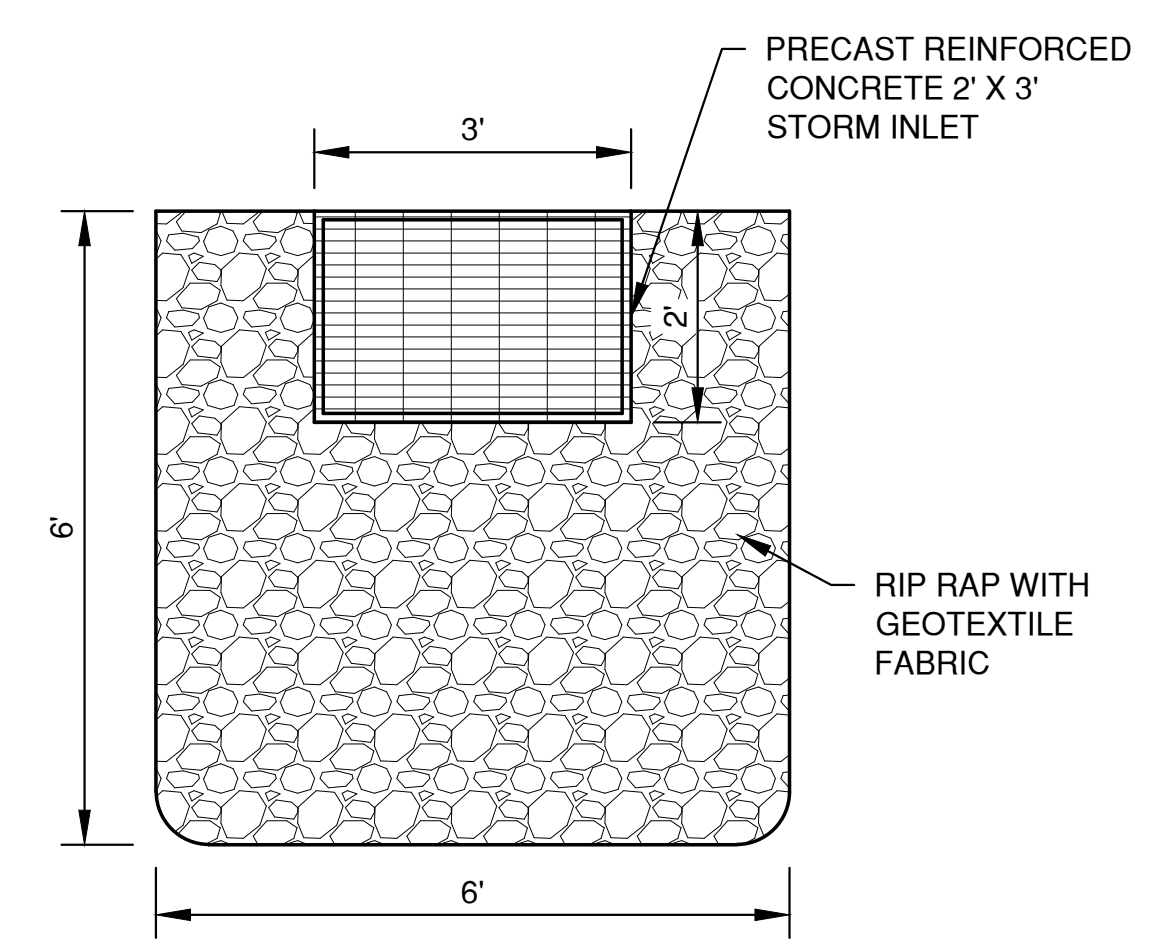
NO.		DATE		APPROV.		REVISION		DRAWN MRL		INTEGRITY WAREHOUSE EXPANSION FOR BAYLAND BUILDINGS INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	GRADING AND EROSION CONTROL PLAN		DATE 01/2021 FILE 2035380D JOB NO. 2035380	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releecinc.com	SHEET NO. 4
NO.		DATE		APPROV.		REVISION		CHECKED AUB							
NO.		DATE		APPROV.		REVISION		DESIGNED MRL							
NO.		DATE		APPROV.		REVISION									



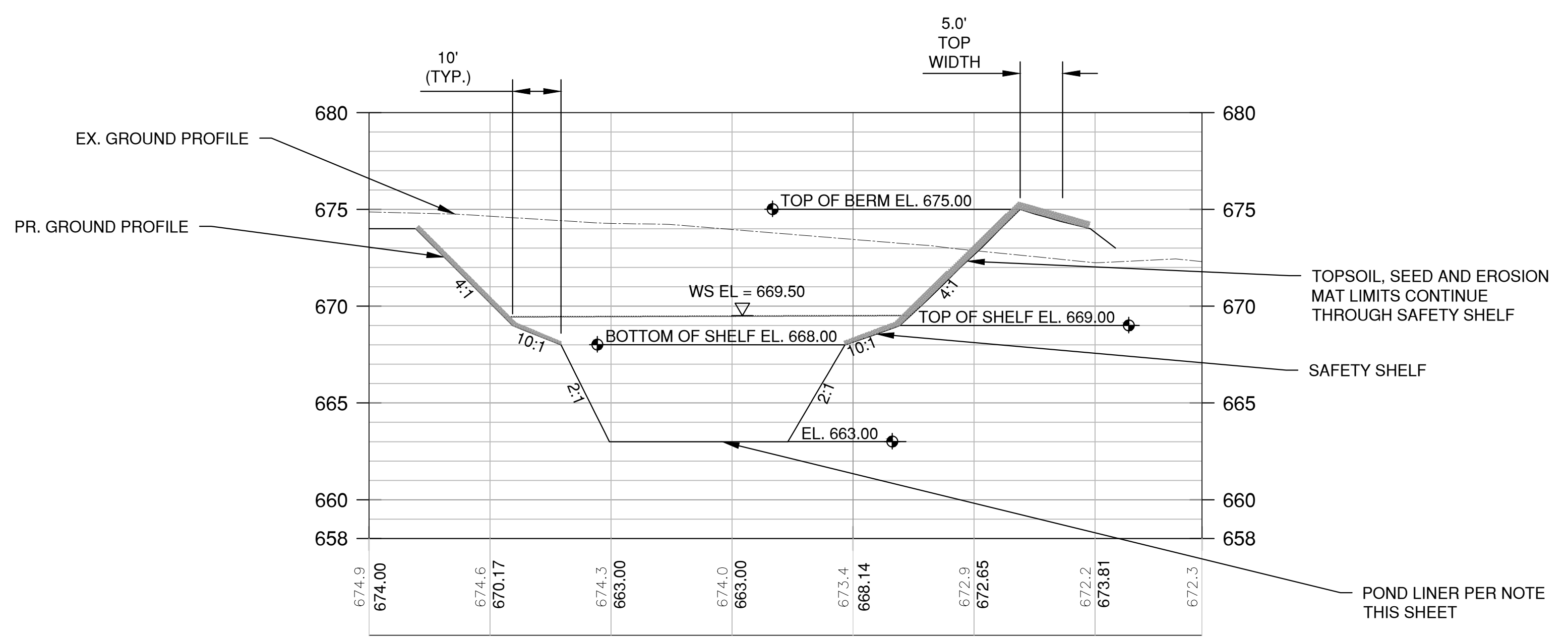
POND FLOOD ELEVATION SUMMARY

YEAR STORM	PEAK WATER SURFACE ELEVATION
1-YEAR	670.71
2-YEAR	670.93
10-YEAR	671.71
100-YEAR	672.53

EMERGENCY OVERFLOW STRUCTURE DETAIL

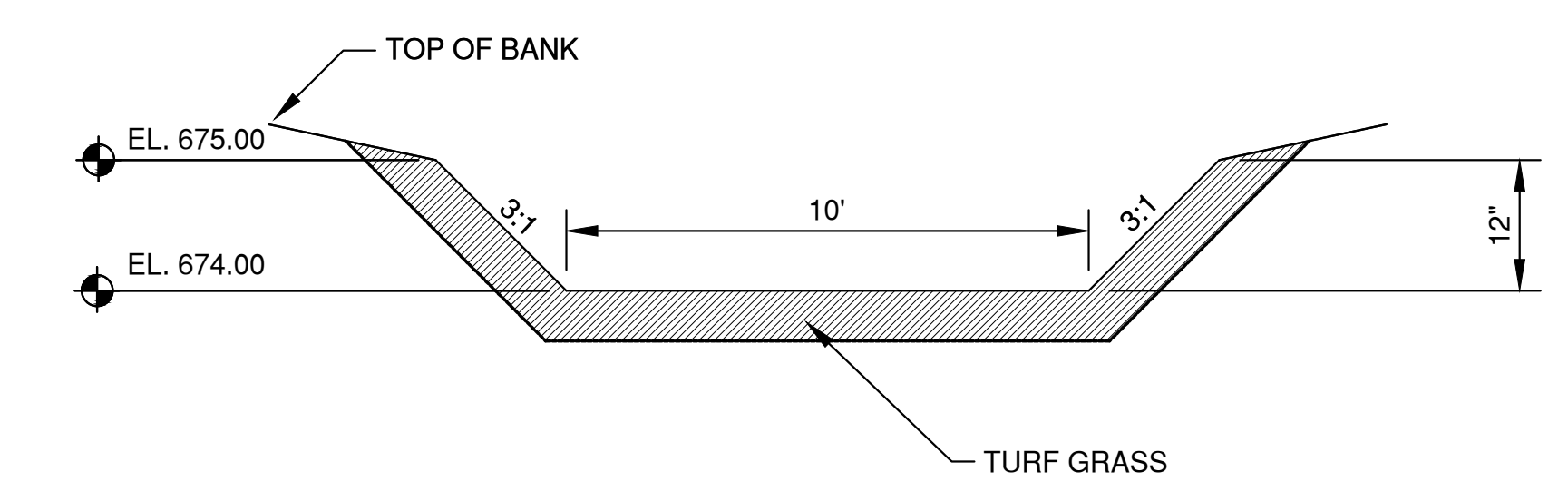


DISCHARGE STRUCTURE DETAIL



SECTION A-A1  
HORIZ. SCALE: 1" = 20'  
VERT. SCALE: 1" = 5'

**POND LINER NOTE**  
CONTRACTOR TO VERIFY EXISTING SOILS WITHIN POND EXCAVATION. IF SOILS OTHER THAN CLAY WITH A HYDRAULIC CONDUCTIVITY OF  $1 \times 10^{-7}$  cm/sec OR LESS ARE ENCOUNTERED, A TWO FOOT CLAY LINER WILL BE REQUIRED AND INSTALLED PER WDNR TECHNICAL STANDARD 1001.



EMERGENCY OVERFLOW STRUCTURE DETAIL

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

INTEGRITY WAREHOUSE EXPANSION FOR  
BAYLAND BUILDINGS INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

POND PLAN

DATE	01/20/21
FILE	2035380D
JOB NO.	2035380

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SHEET NO. **5**



**INLET PROTECTION NOTES:**

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**MAINTENANCE NOTES:**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:  
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**TYPE "D"**

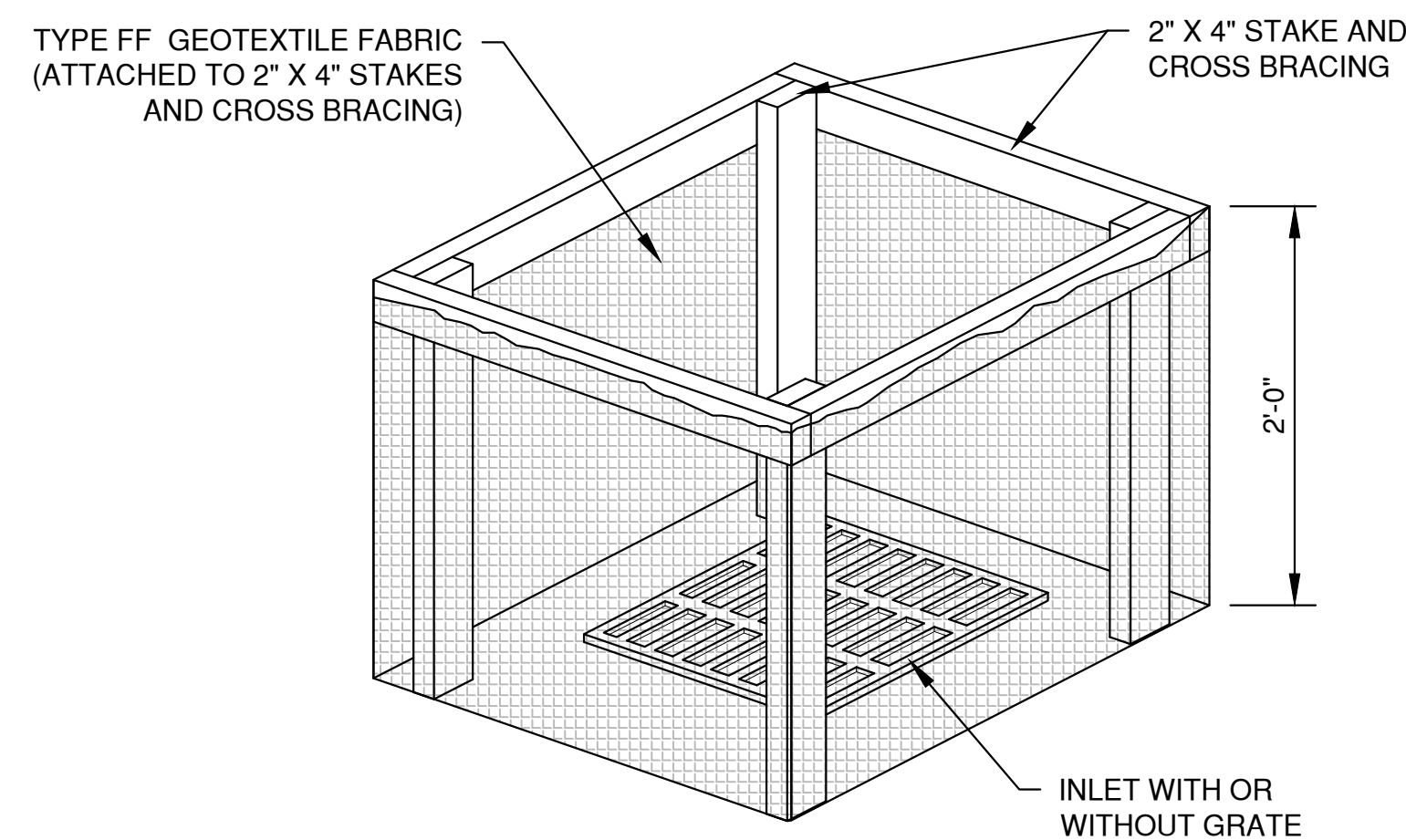
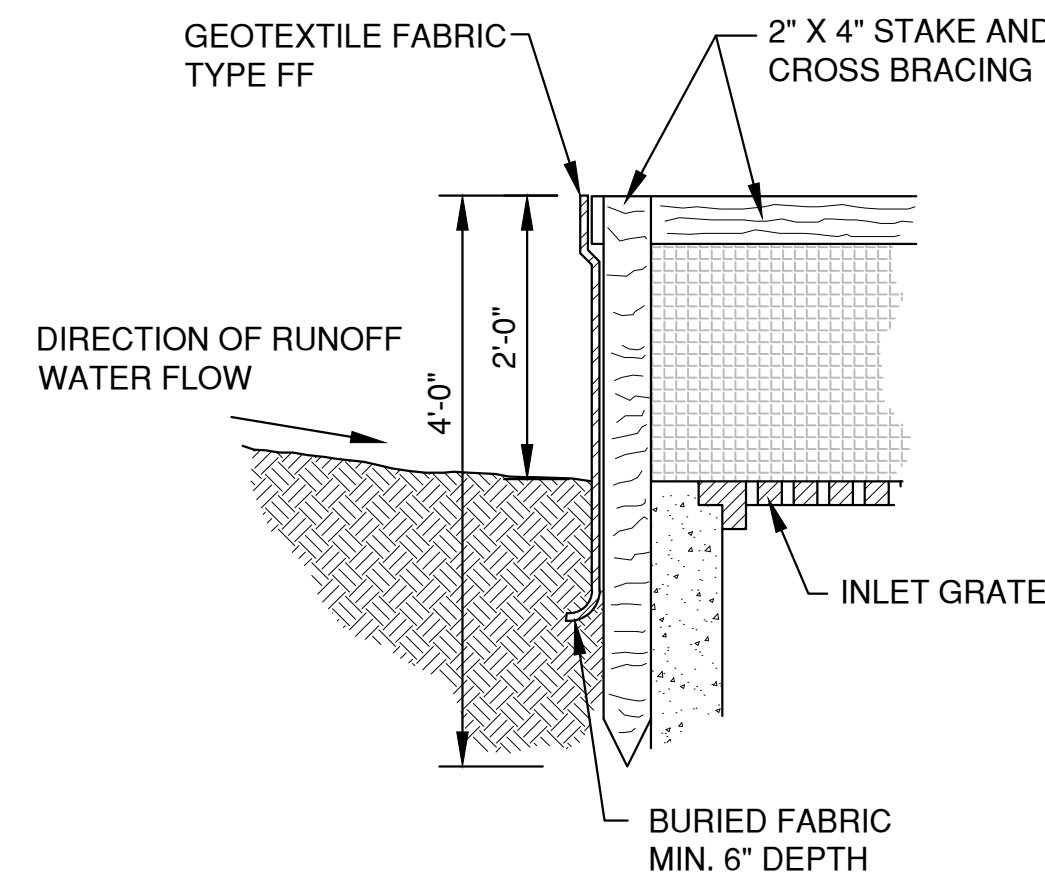
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

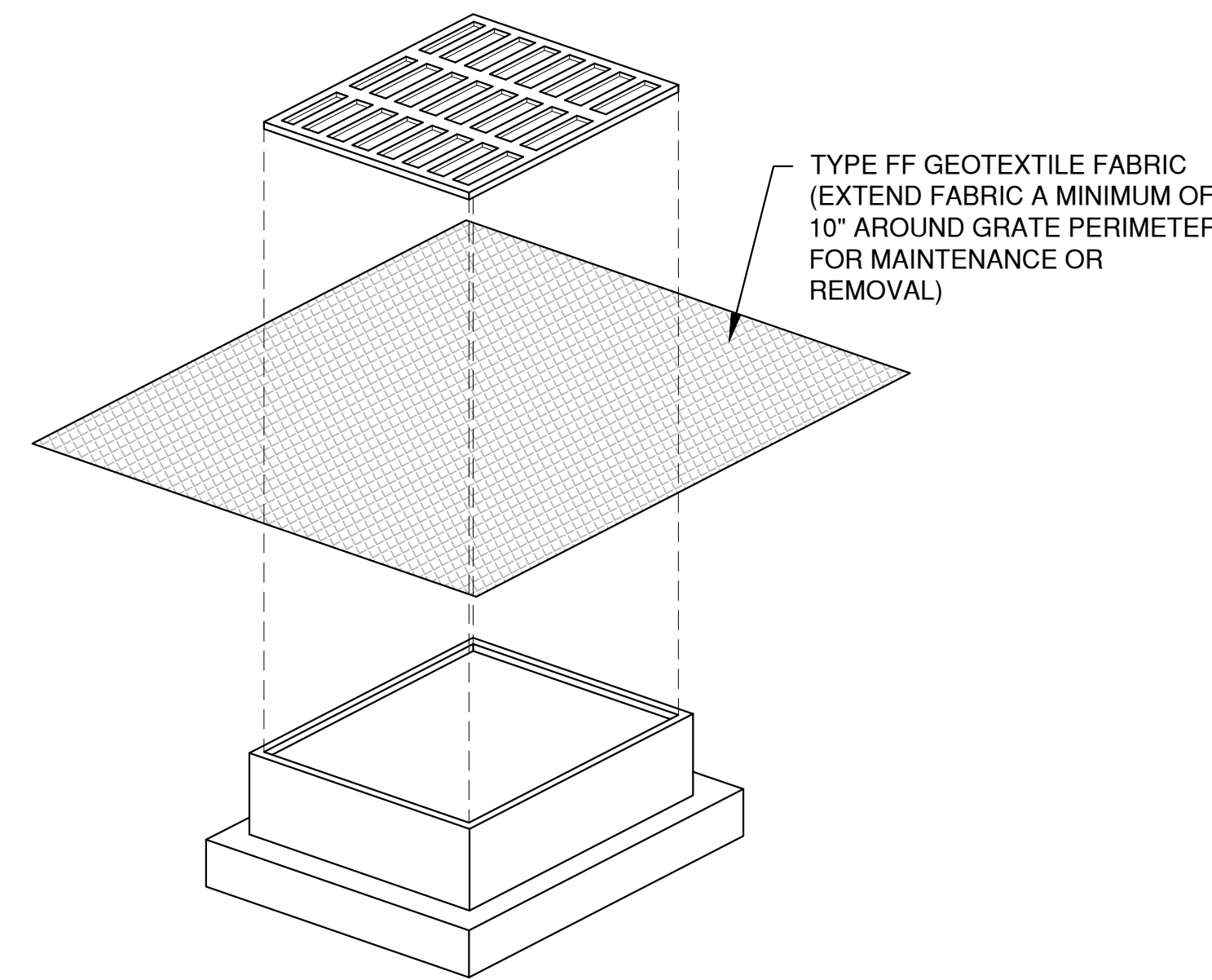
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**NOTES:**

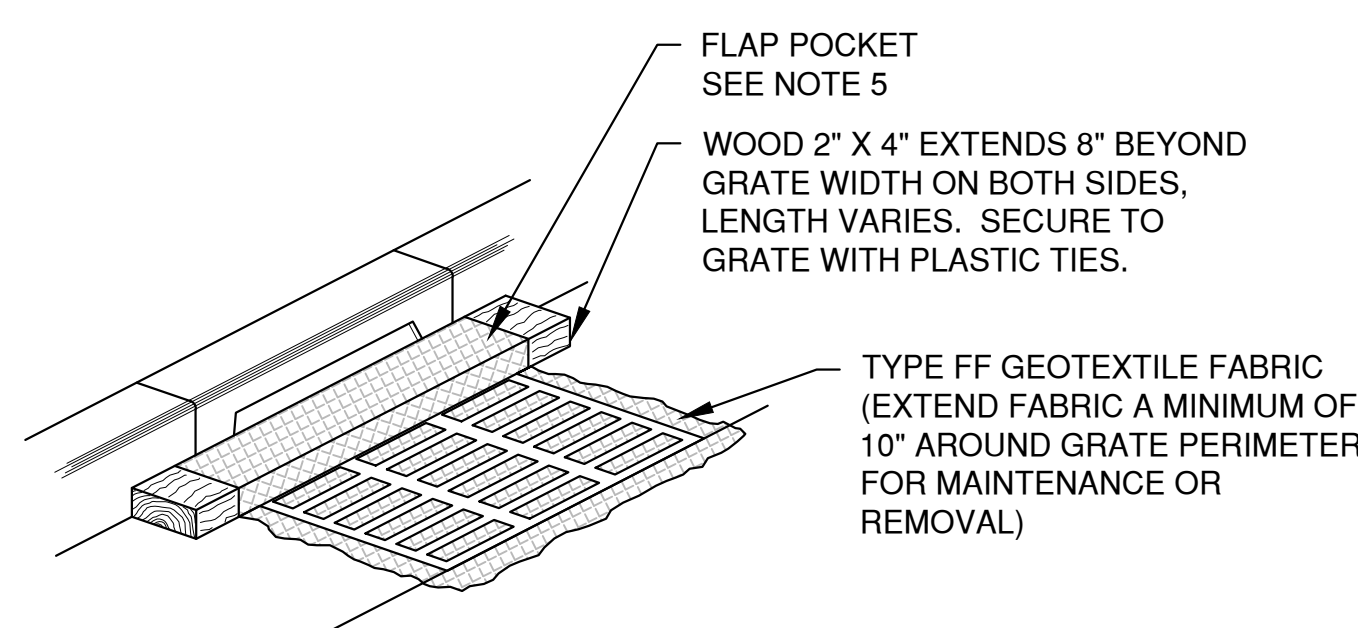
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



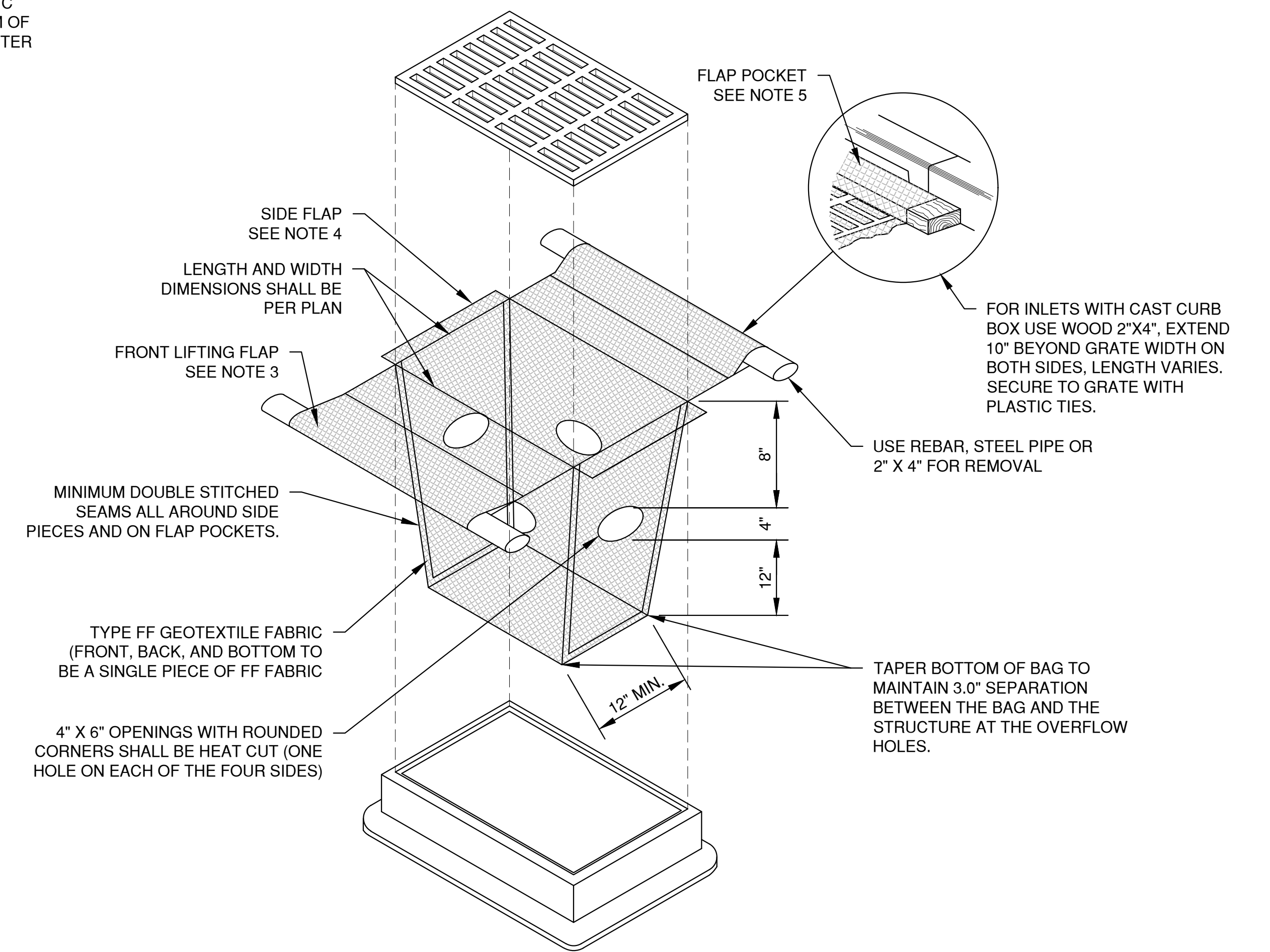
**INLET PROTECTION, TYPE A**



**INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)**



**INLET PROTECTION, TYPE C  
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

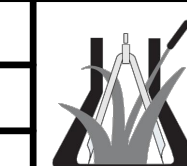
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PLOT DATE: Feb 28, 2021 10:13 am  
LAYOUT: I\_INLET PROTECTION

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	MRL
								CHECKED	
								DESIGNED	MRL

INTEGRITY WAREHOUSE EXPANSION FOR  
BAYLAND BUILDINGS INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
INLET PROTECTION TYPES A, B, C AND D

DATE	01/2021
FILE	EROSION CONTROL
JOB NO.	2055369



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**NOTES:**

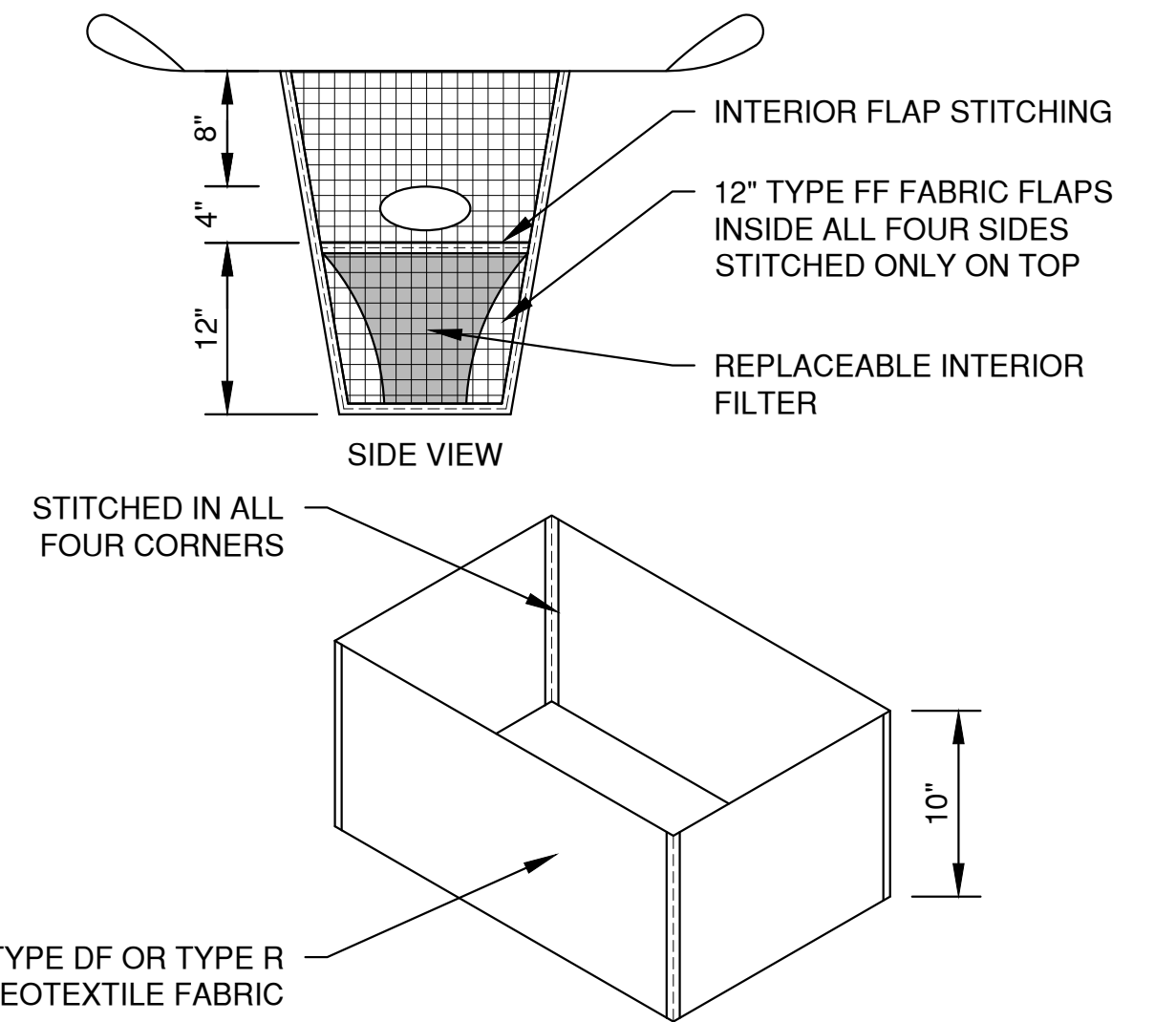
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

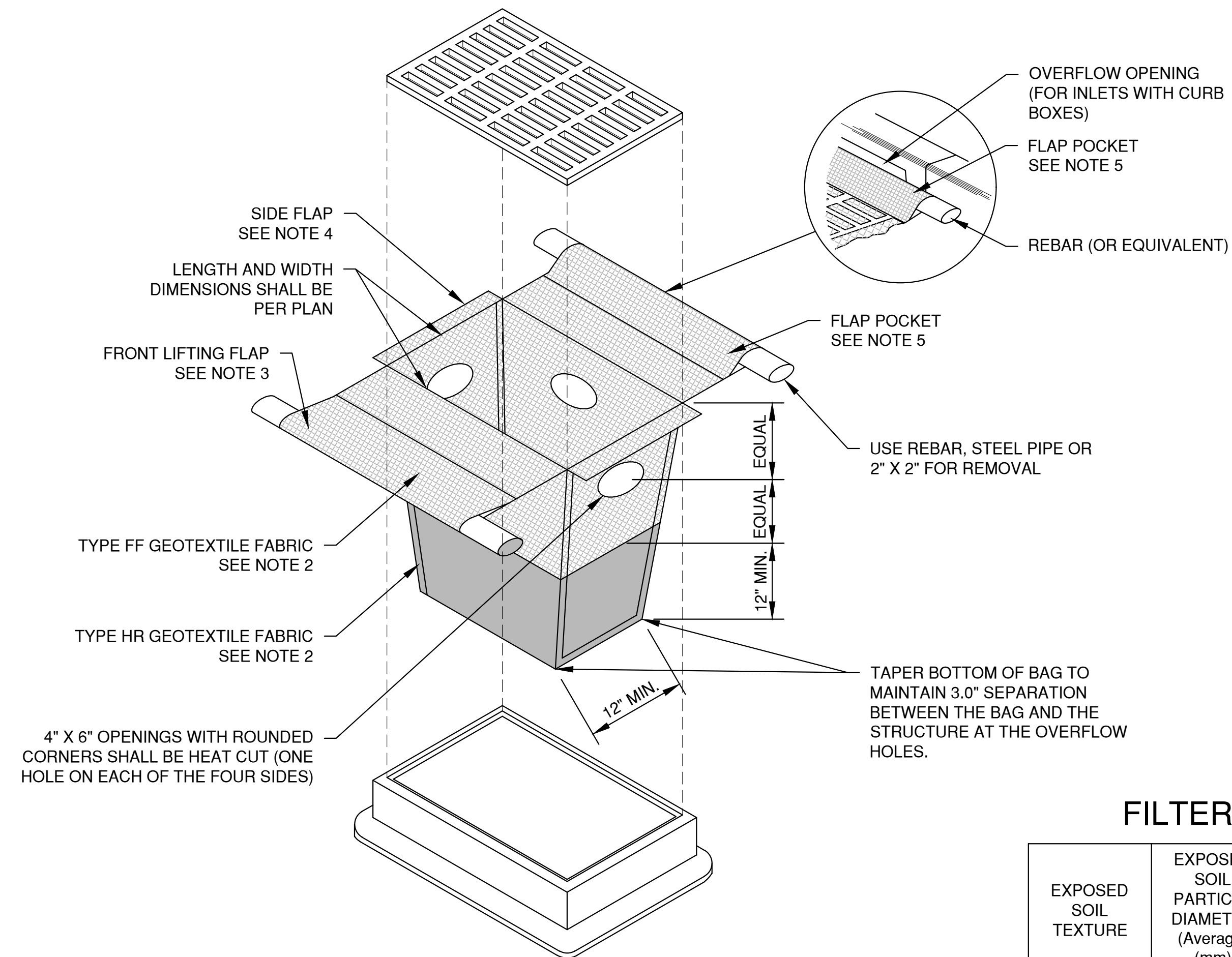
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**NOTES:**

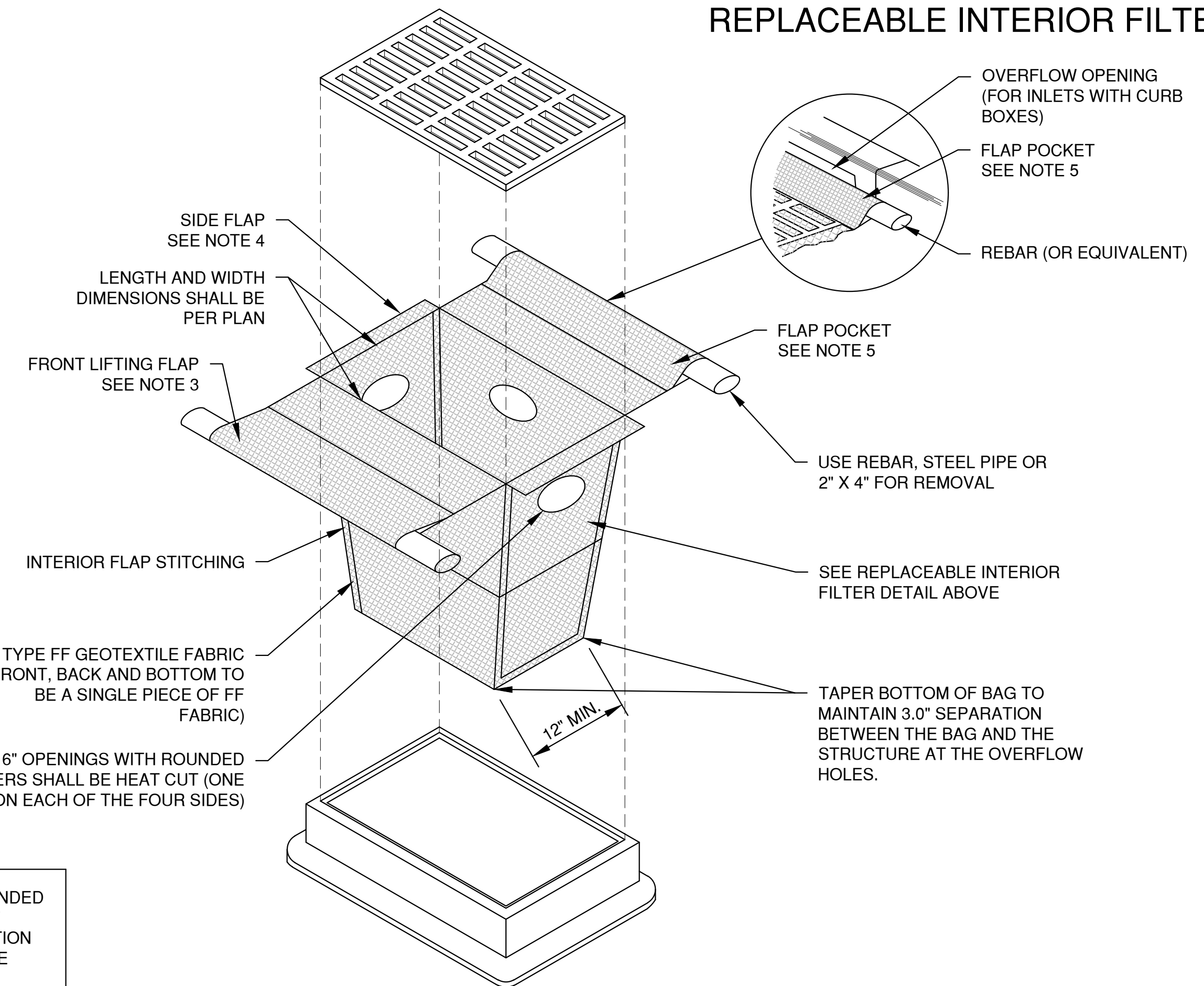
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**REPLACEABLE INTERIOR FILTER**



**INLET PROTECTION, TYPE D-HR**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**INLET PROTECTION, TYPE D-M**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

**FILTER FABRIC TYPE**

EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

LAYOUT: 2. INLET PROTECTION File: R:\2000\2010\2015\2016\445 EROSION CONTROL.dwg Plot Date: Feb 28, 2021 10:13:00am

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL
								CHECKED
								DESIGNED
								MRL

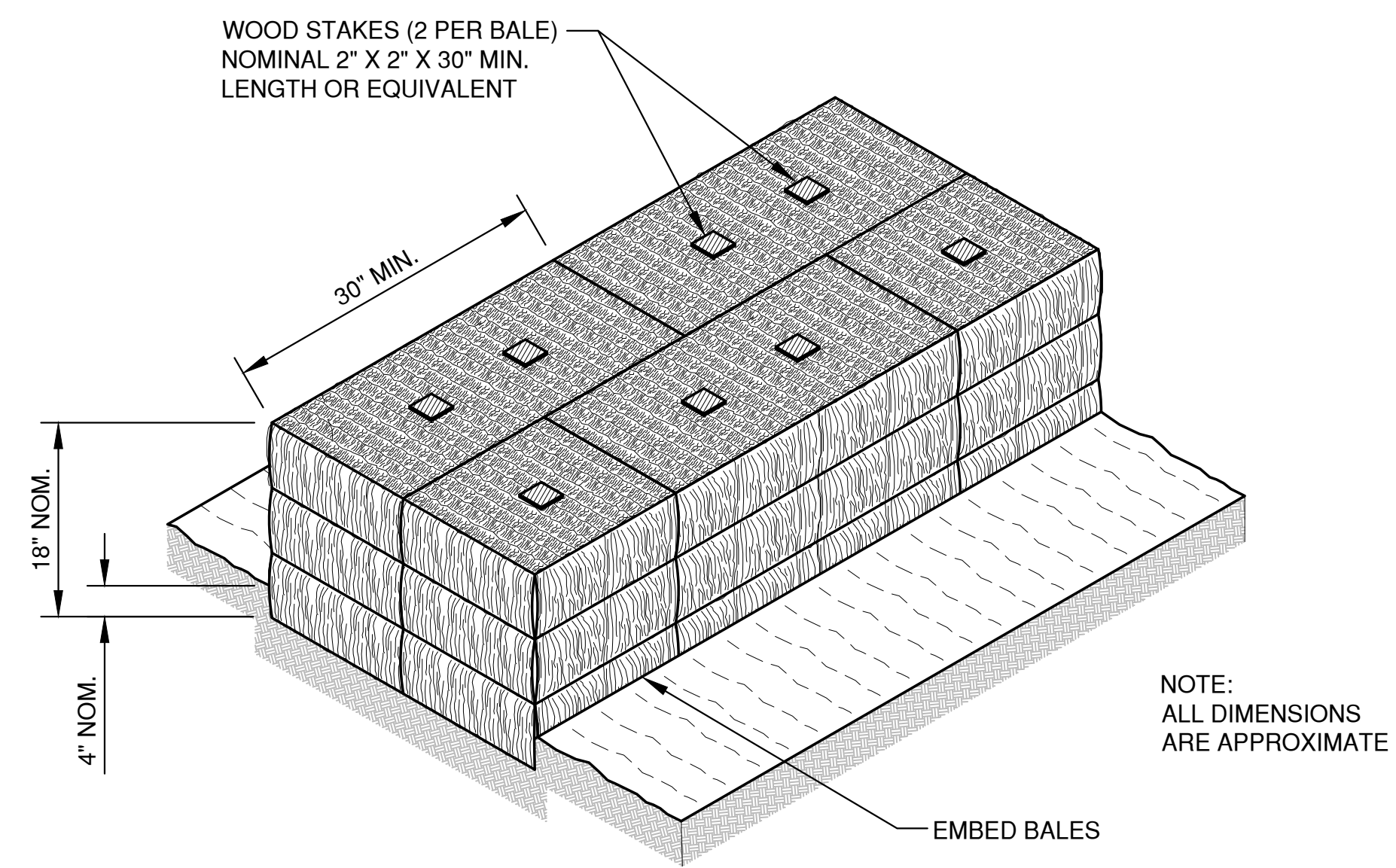
INTEGRITY WAREHOUSE EXPANSION FOR  
BAYLAND BUILDINGS INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
INLET PROTECTION  
TYPE D-HR AND TYPE D-M

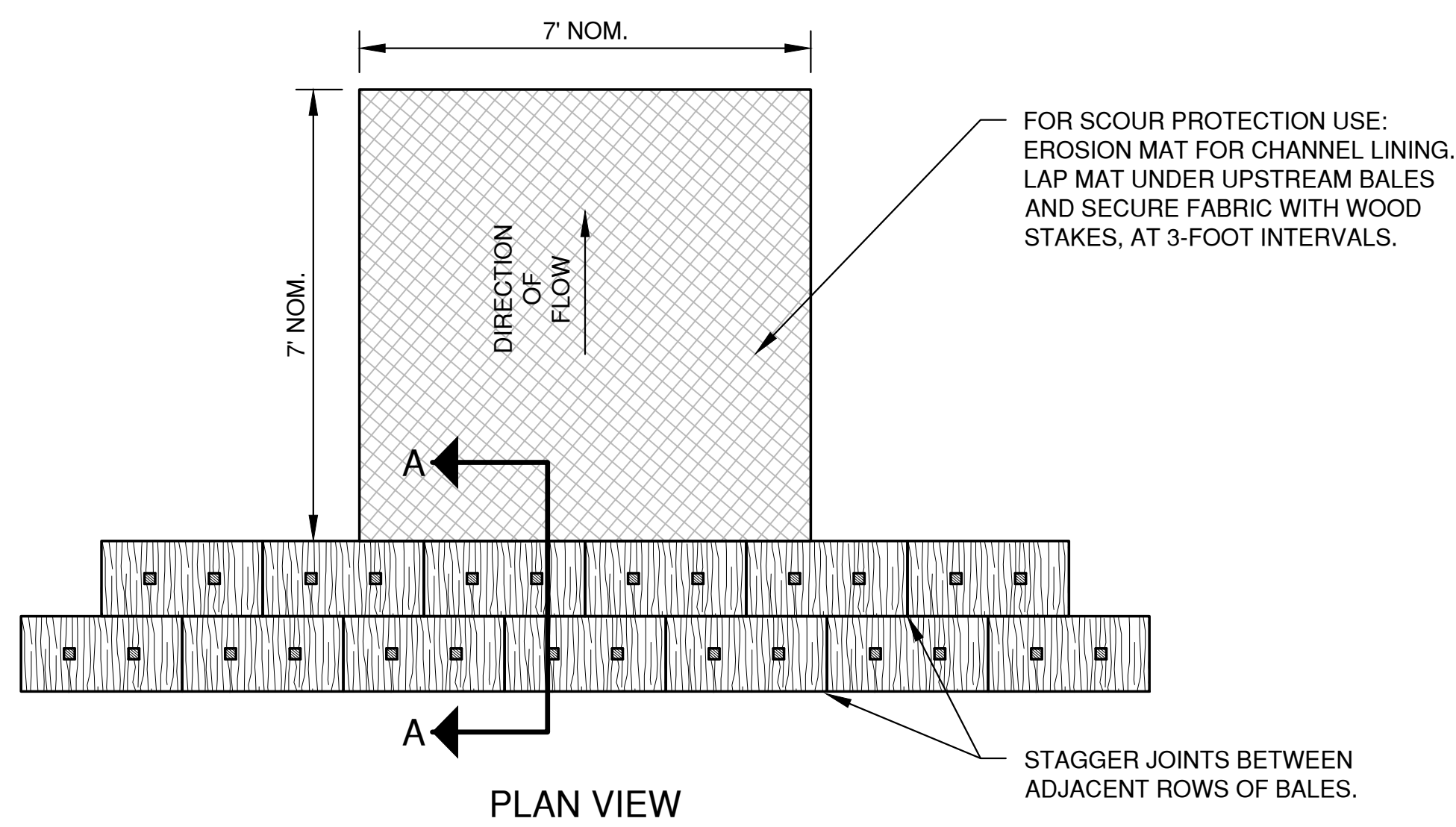
DATE	01/2021
FILE	EROSION CONTROL
JOB NO.	2055369

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1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 www.releainc.com

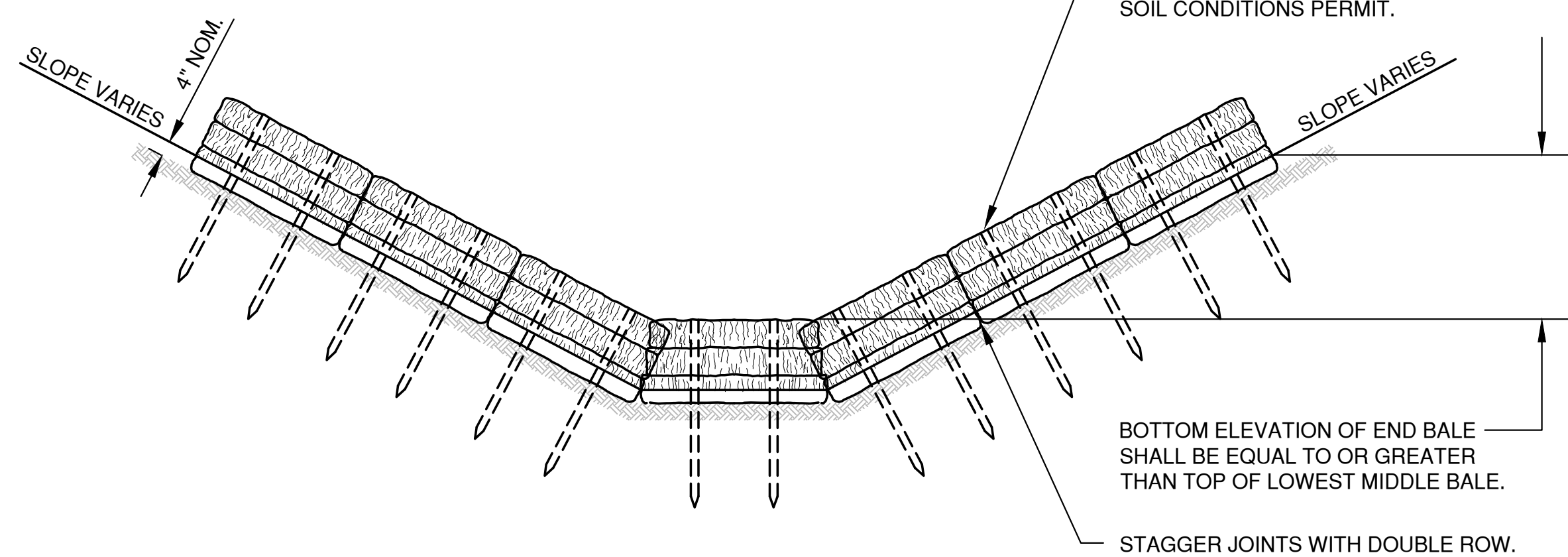




SECTION A-A

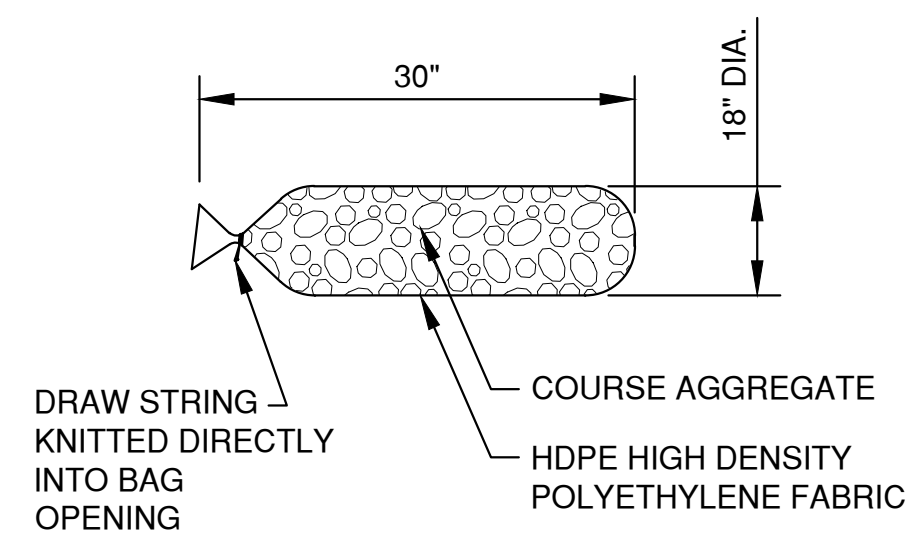


PLAN VIEW



FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES  
TYPE A



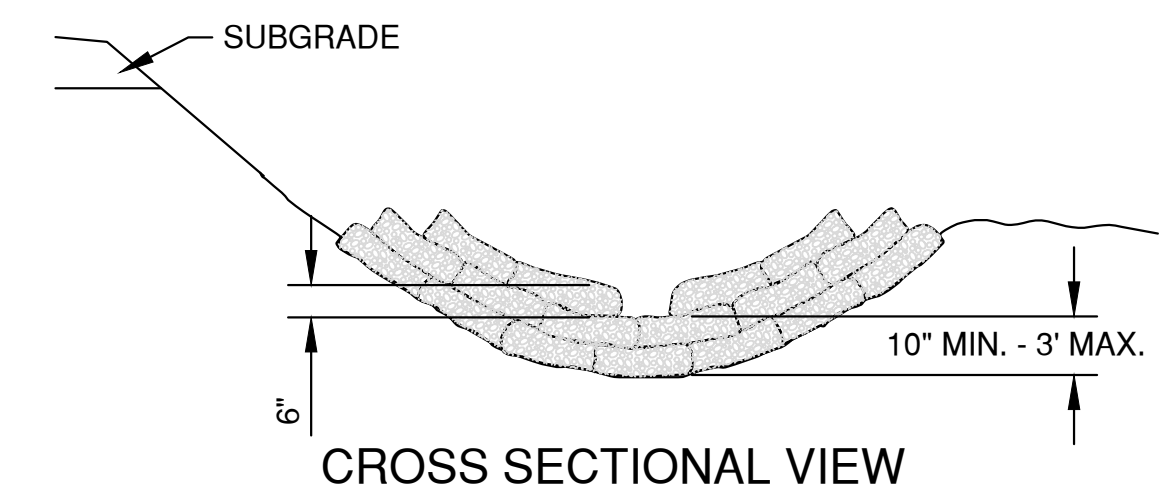
FILTER BAG DETAIL

NOTES:

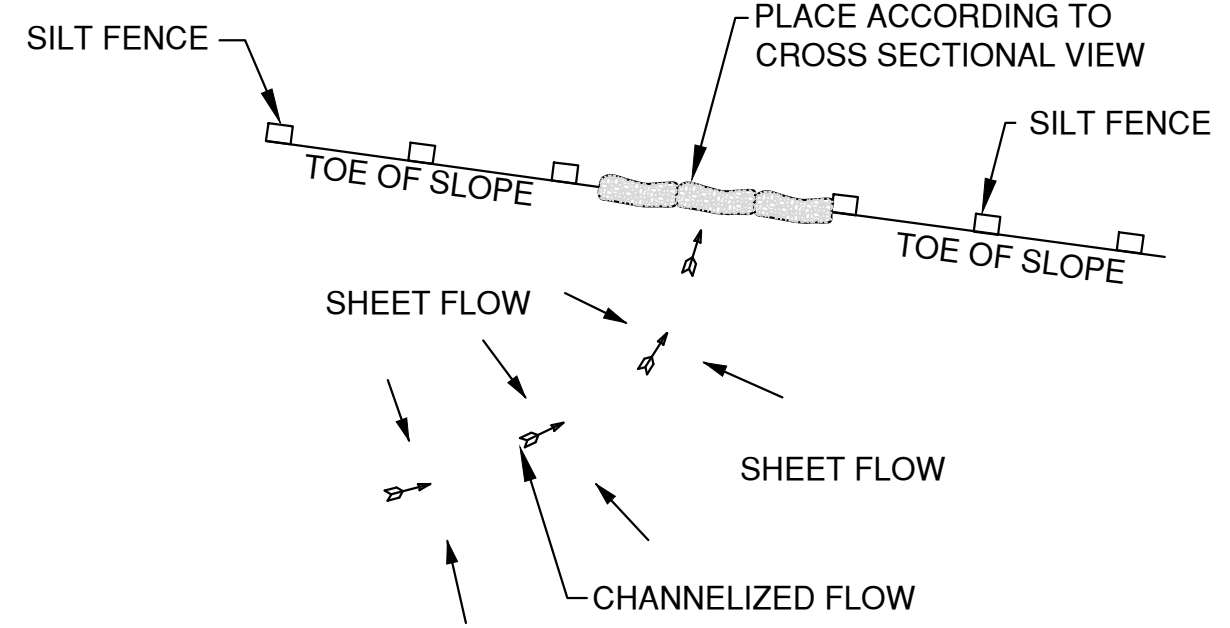
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:  
 HDPE HIGH DENSITY POLYETHYLENE  
 HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.  
 80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"  
 ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.
- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

SIEVE SIZE	SIZE NO.	AASHTO No. 67 (1)
2 INCH (50 mm)	-	-
1 1/2 INCH (37.5mm)	-	-
1 INCH (25.0 mm)	100	100
3/4 INCH (19.0mm)	90-100	90-100
3/8 INCH (9.5mm)	20-55	20-55
No. 4 (4.75mm)	0-10	0-10
No. 8 (2.36mm)	0-5	0-5

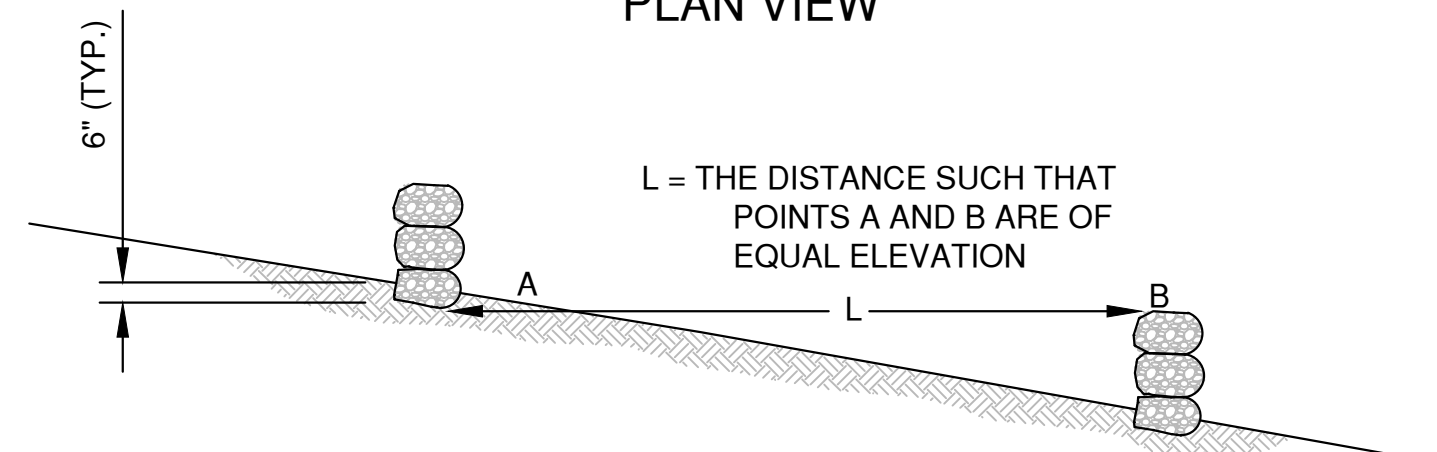
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



PLAN VIEW



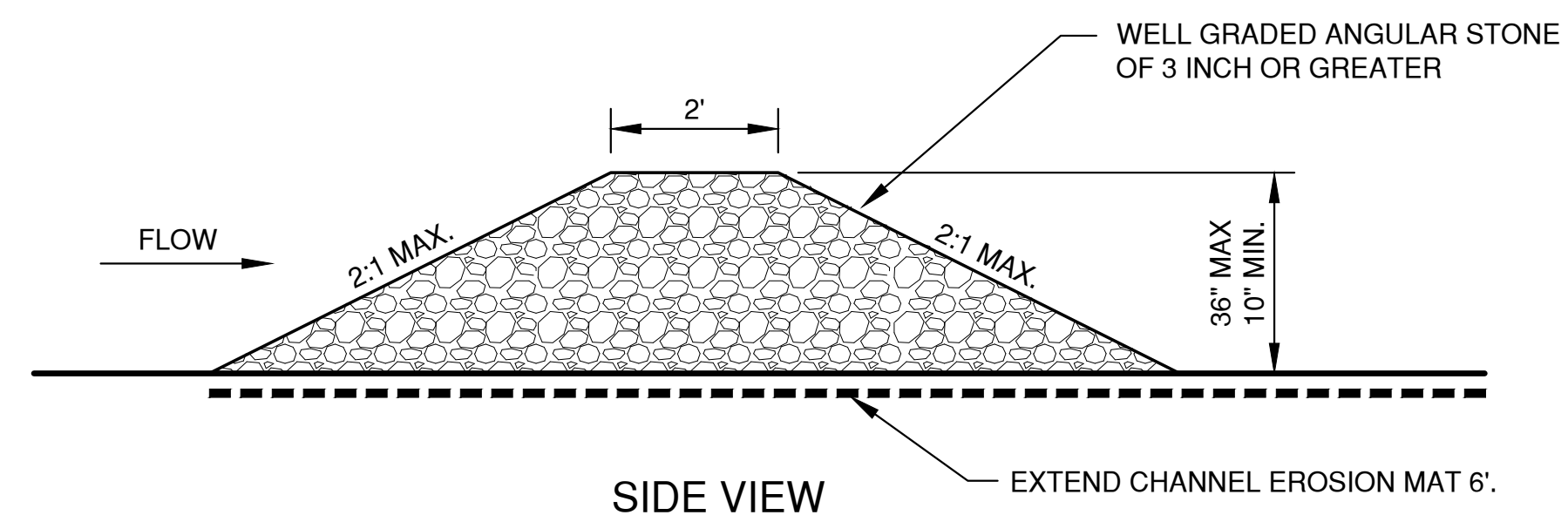
SIDE VIEW

DITCH CHECK DETAIL

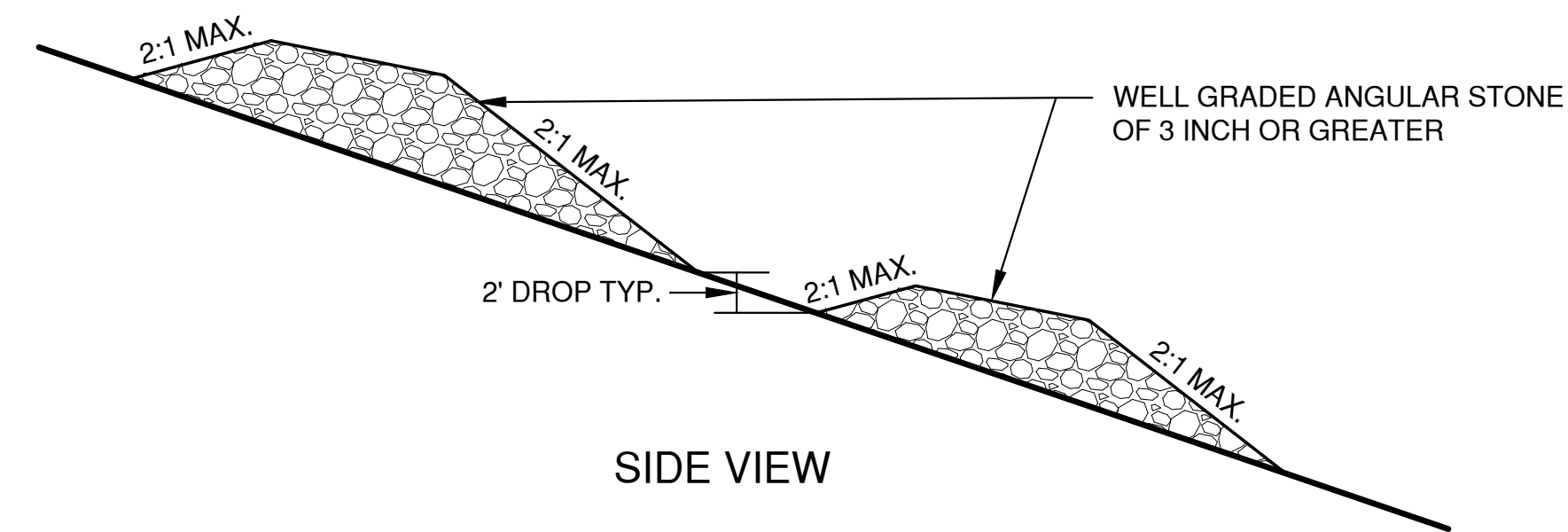
ROCK FILLED EROSION CONTROL BAGS  
TYPE B

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.



SIDE VIEW



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE  
TYPE C

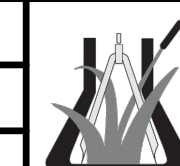
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LAYOUT: 3. DITCH CHECKS

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL
								CHECKED
								DESIGNED MRL

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BROWN COUNTY, WISCONSIN

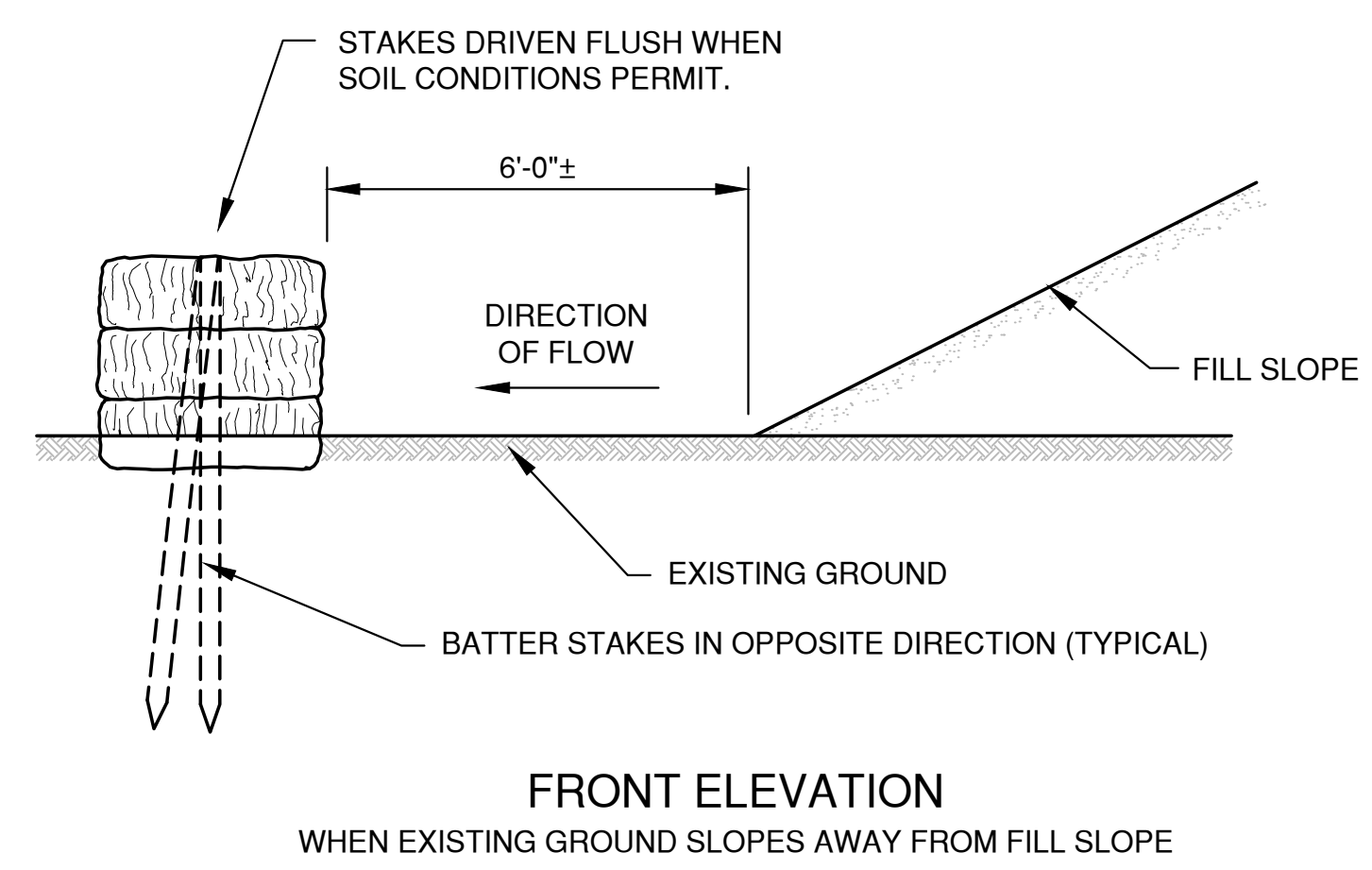
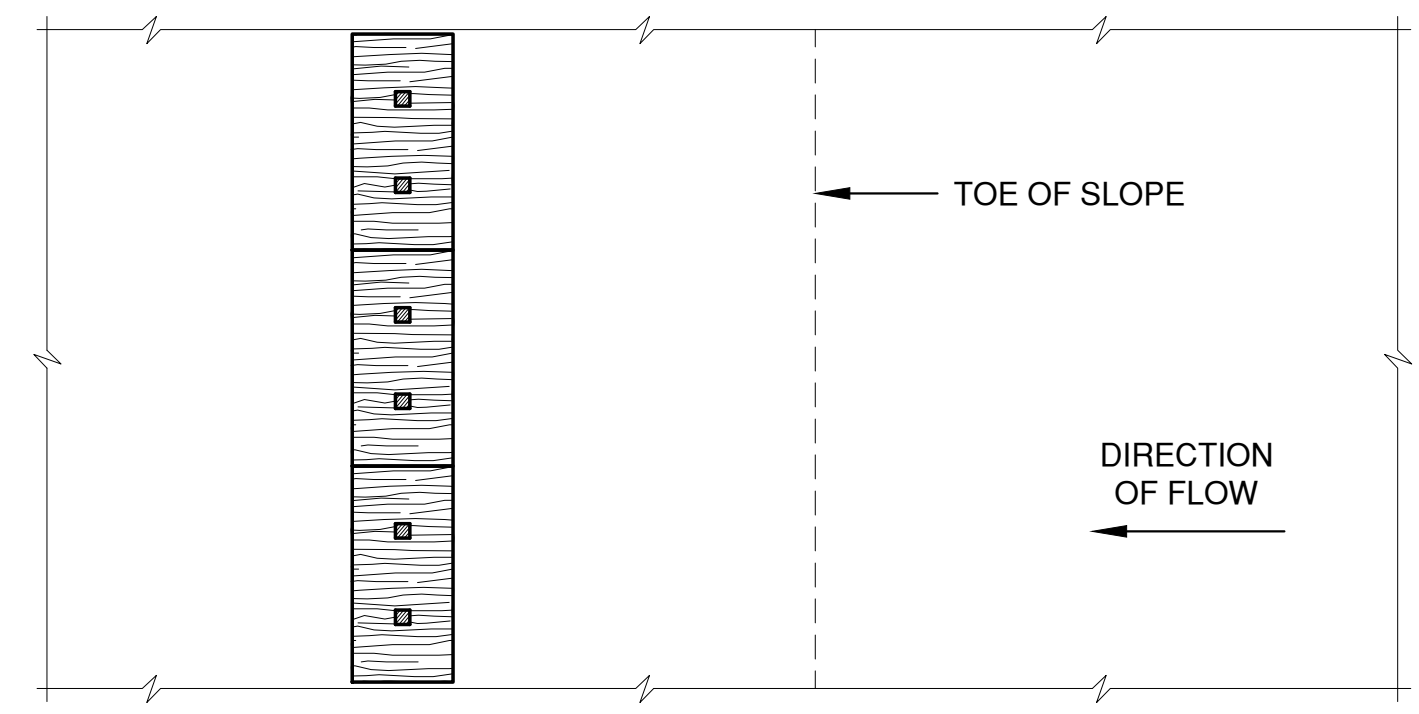
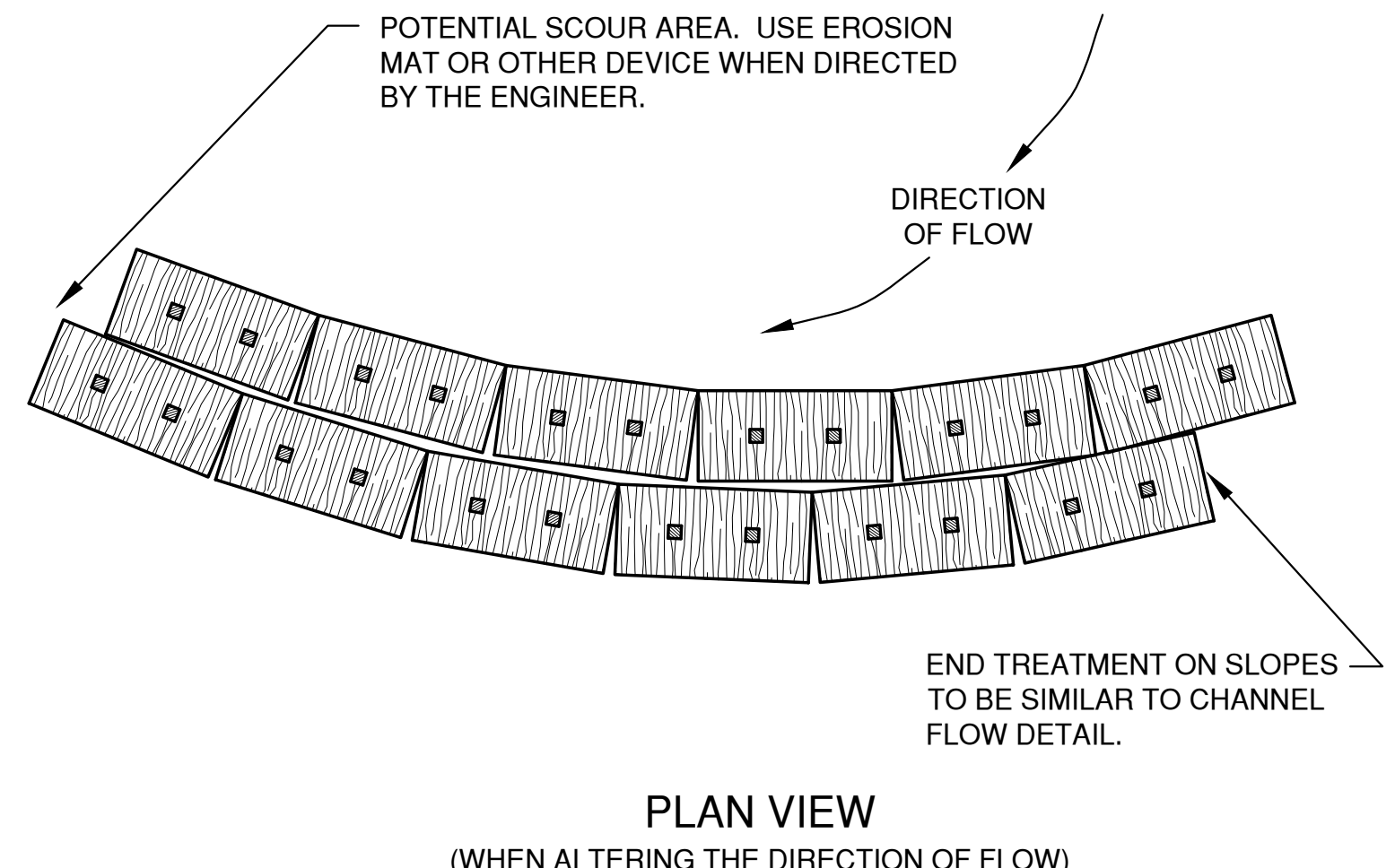
EROSION CONTROL  
DITCH CHECK DETAILS

DATE  
01/20/21  
FILE  
EROSION CONTROL  
JOB NO.  
2025389

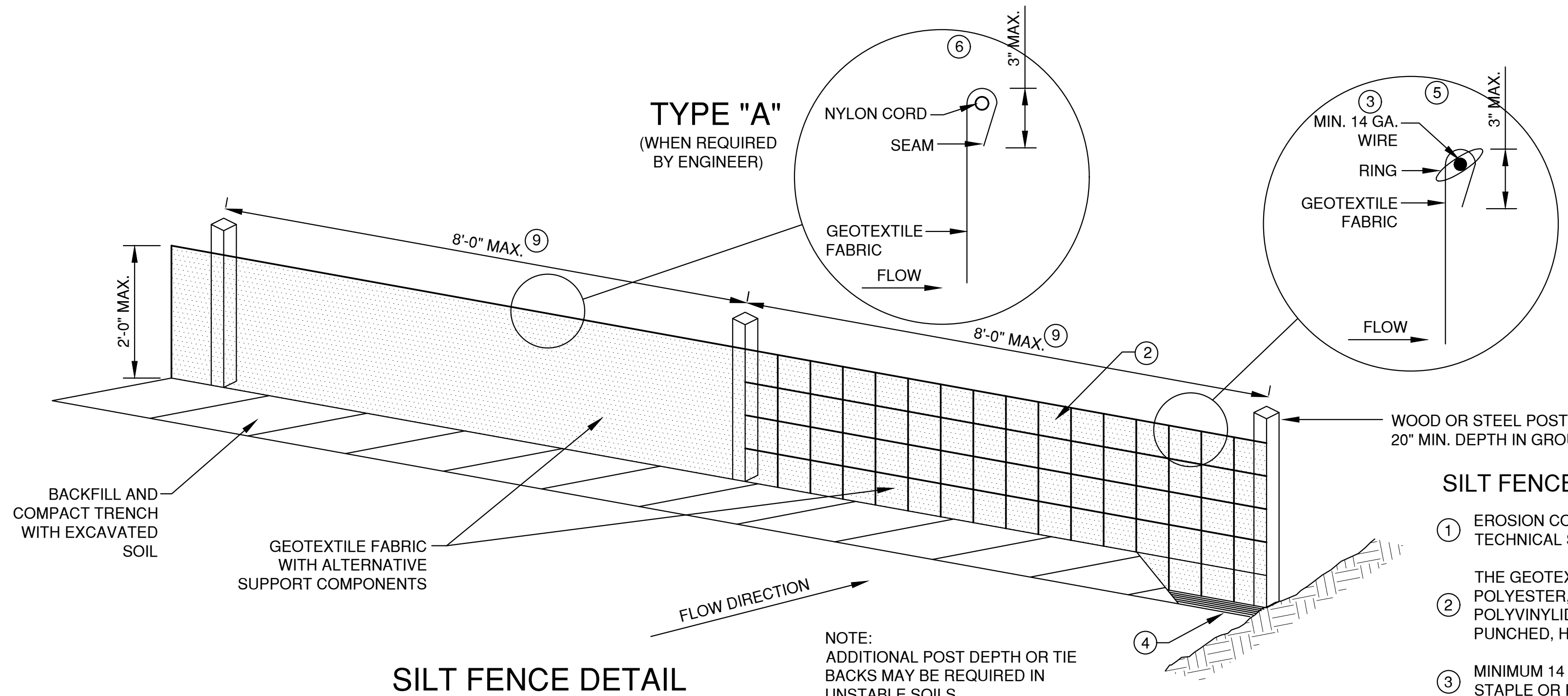


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SHEET NO.  
**9**

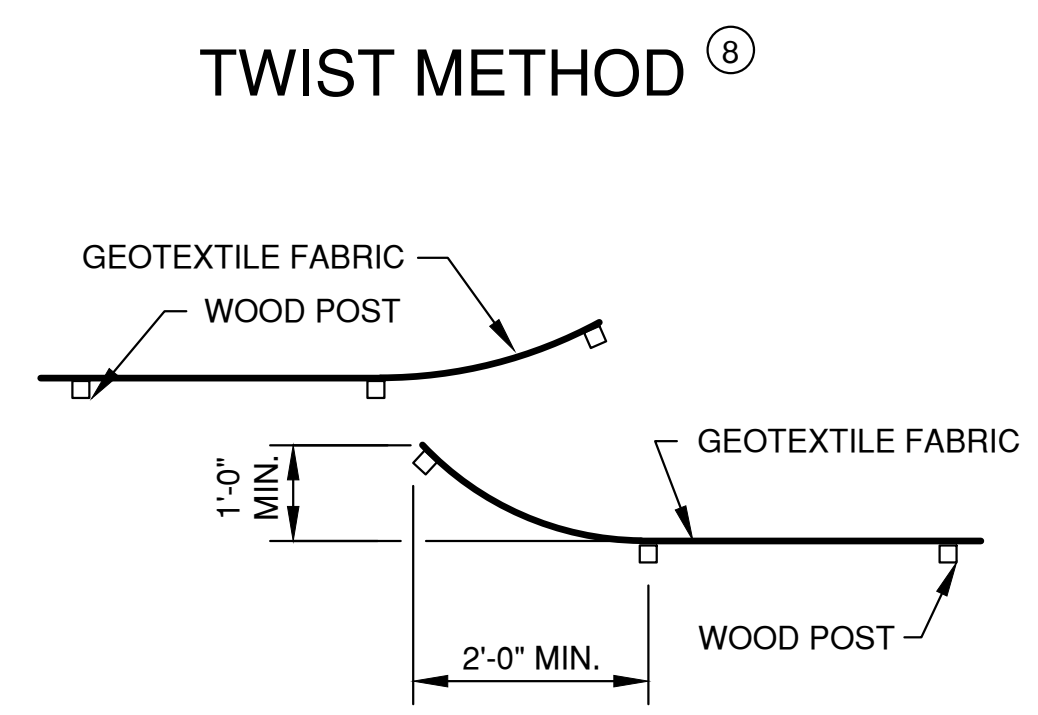
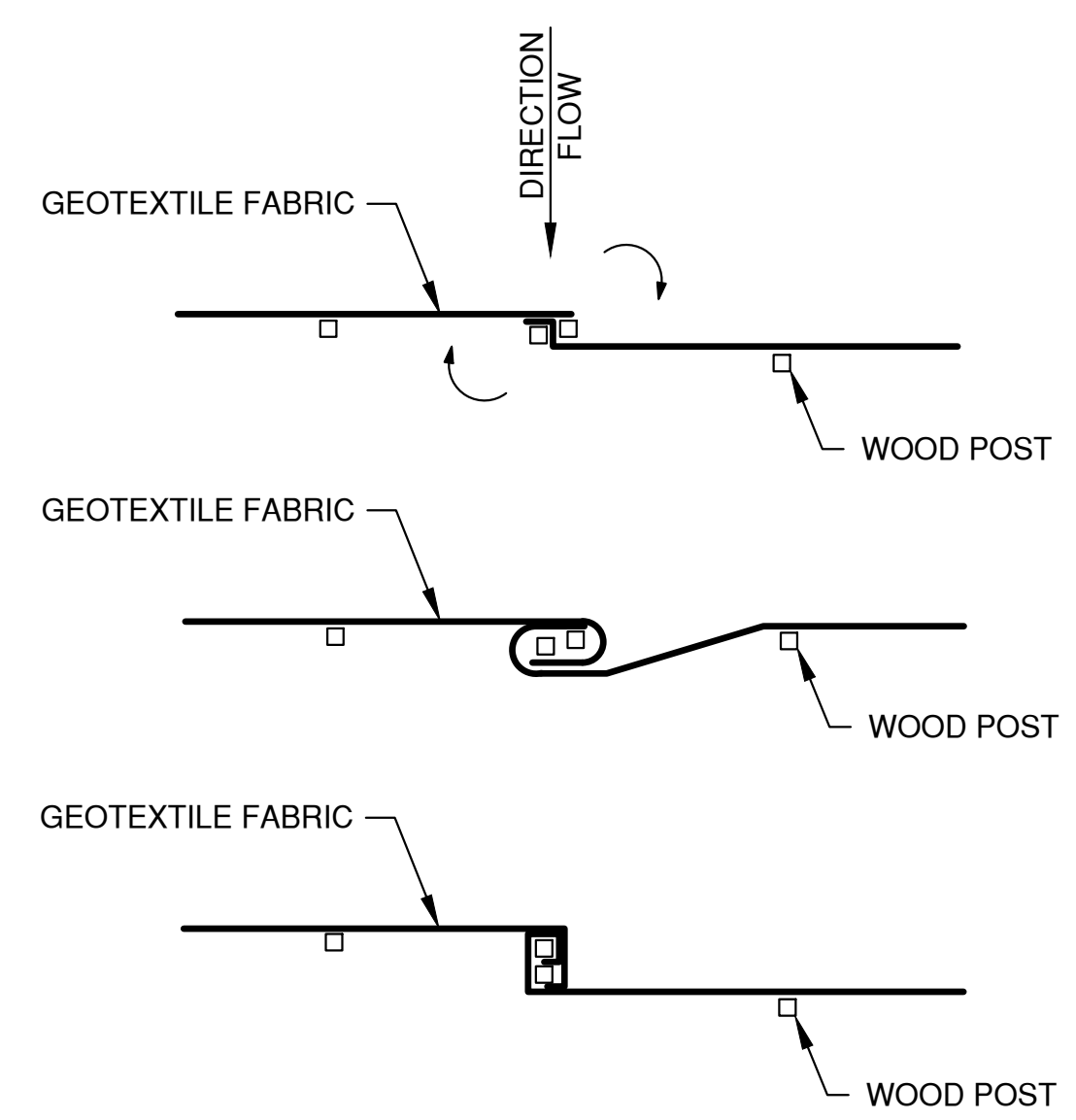


**EROSION BALES FOR SHEET FLOW**

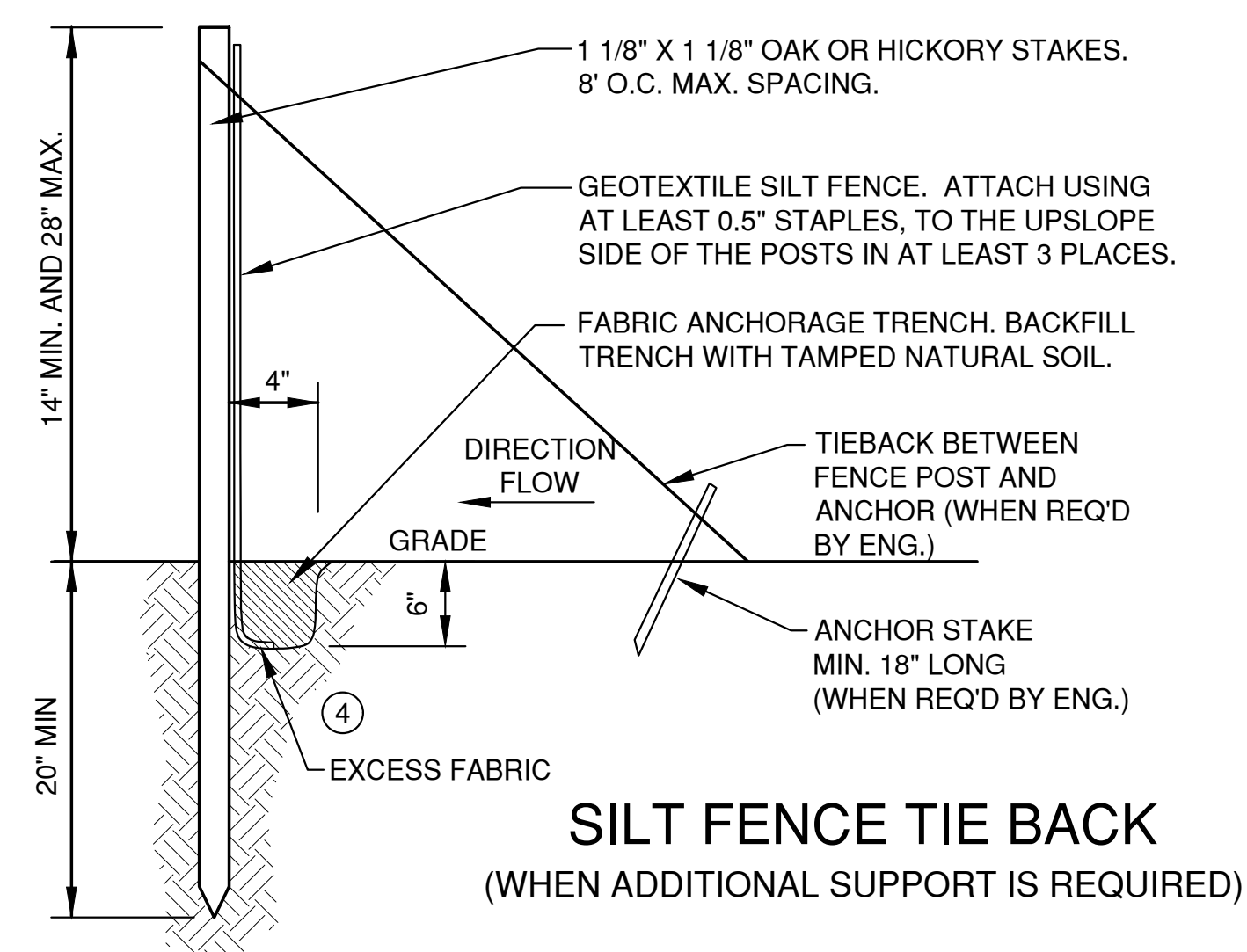


**SILT FENCE NOTES:**

- ① EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- ② THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- ③ MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- ④ EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- ⑤ WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- ⑥ GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- ⑦ STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- ⑧ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- ⑨ THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.



**JOINING TWO LENGTHS OF SILT FENCE**



**EROSION CONTROL SHEET FLOW NOTES:**

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

LAYOUT: 4. SHEET FLOW

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

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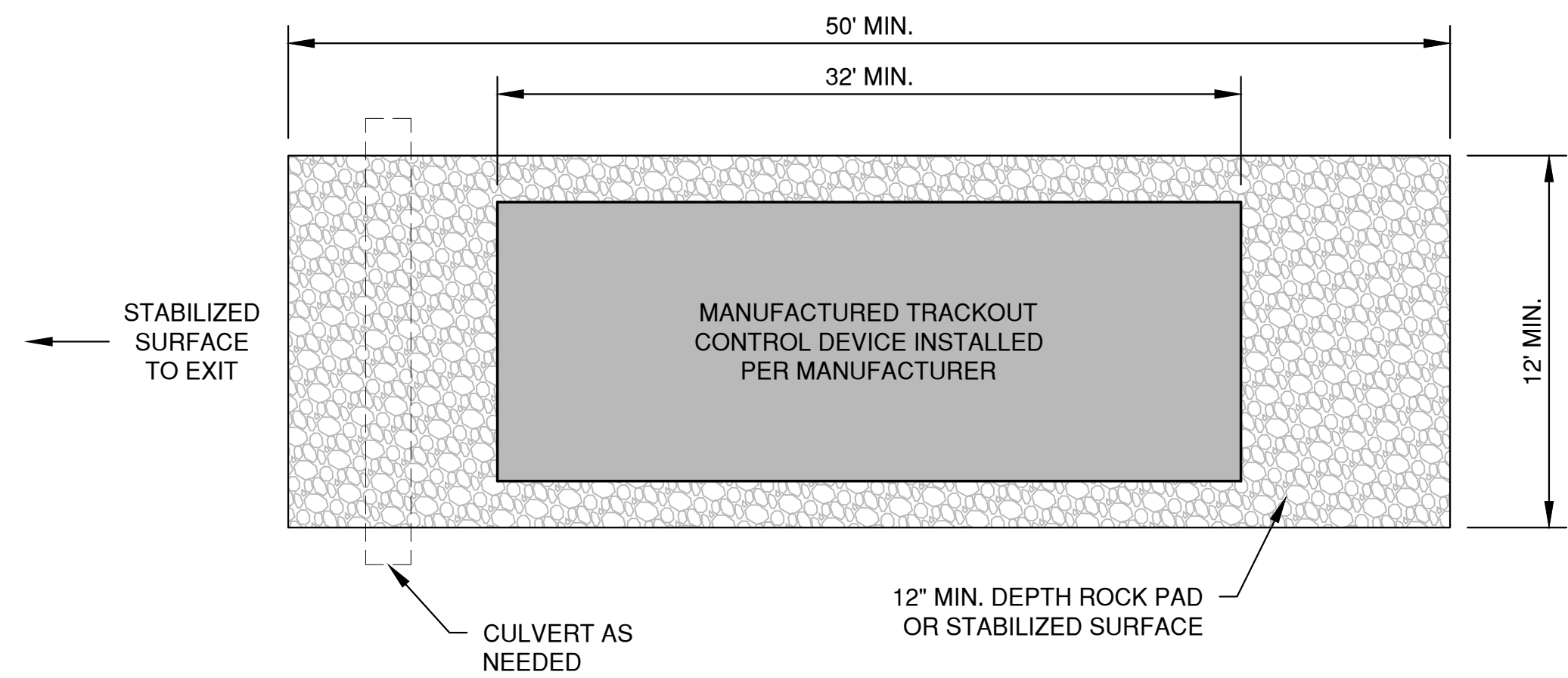
EROSION CONTROL  
SHEET FLOW DETAILS

DATE  
01/2021  
FILE  
EROSION CONTROL  
JOB NO.  
2055389

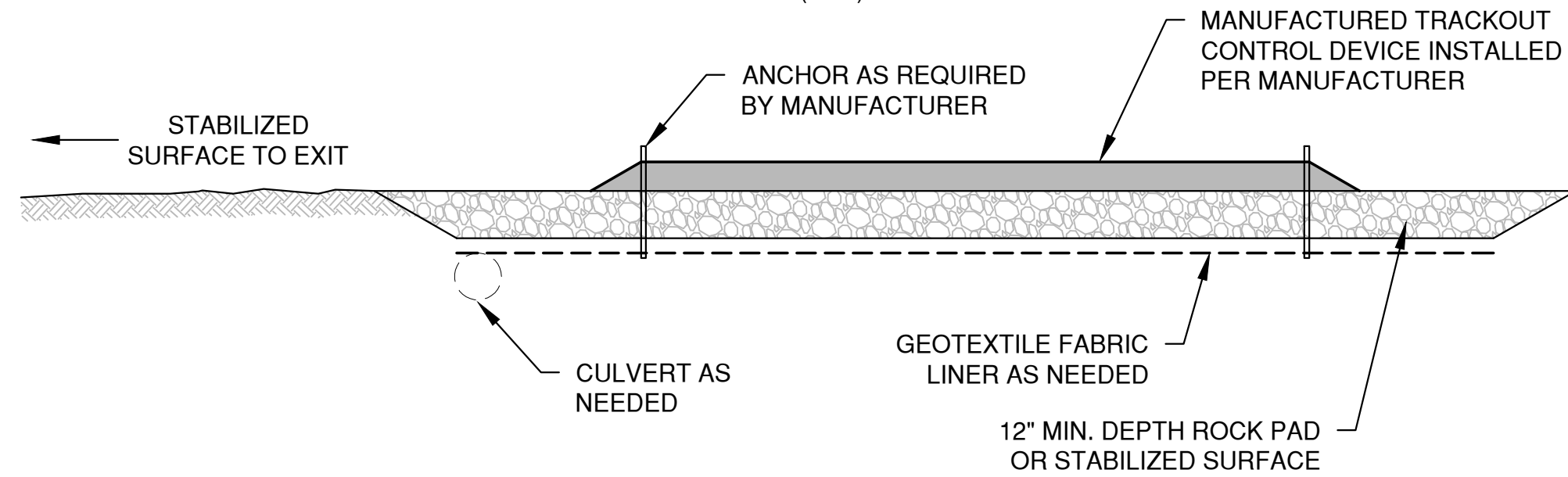
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SHEET NO.  
**10**

\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW (NTS)

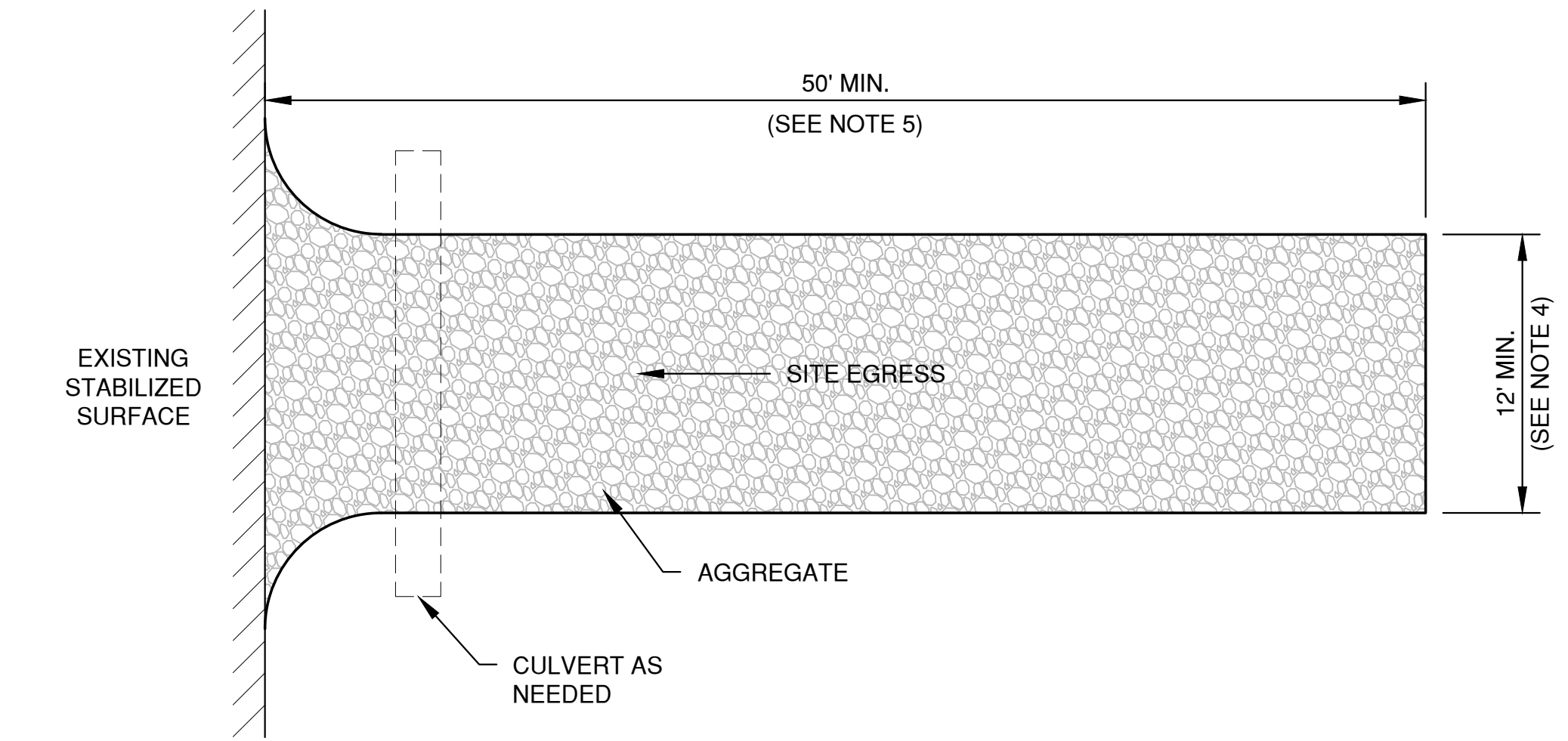


SECTION VIEW

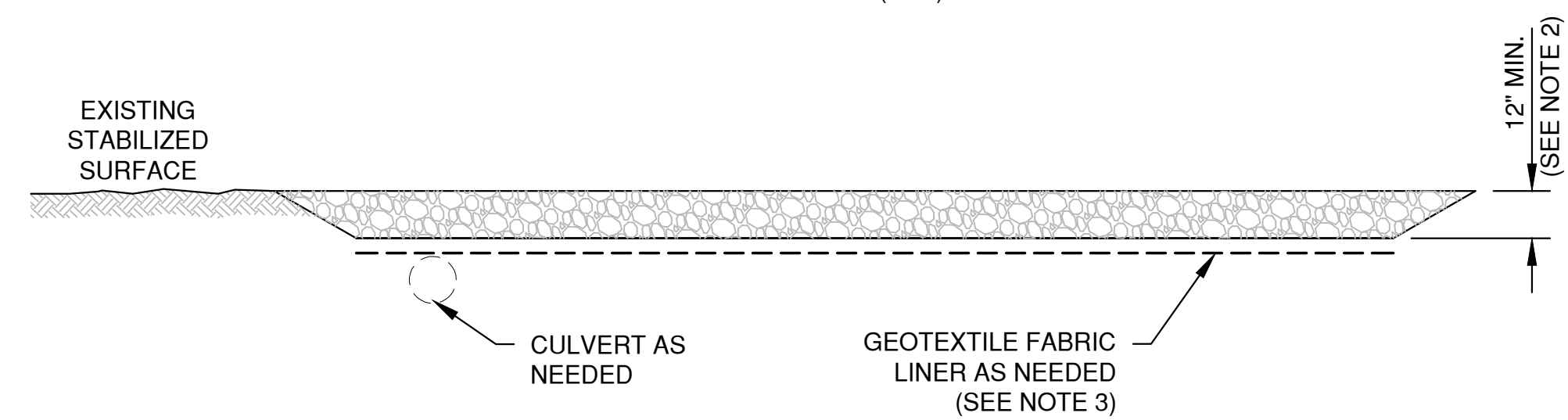
NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW (NTS)



SECTION VIEW

NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:
 

SIEVE SIZE:	PERCENT BY WEIGHT PASSING:
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

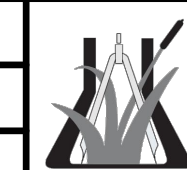
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NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MRL
								CHECKED
								DESIGNED
								MRL

INTEGRITY WAREHOUSE EXPANSION FOR  
 BAYLAND BUILDINGS INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

EROSION CONTROL  
 TRACKOUT CONTROL PRACTICES

DATE 01/2021
FILE EROSION CONTROL
JOB NO. 2055369



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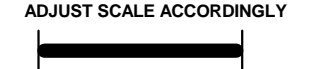
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING ADDITION FOR:

**20-1587**

GREEN BAY, WISCONSIN; COUNTY OF: BROWN

**SCALE VERIFICATION**  
THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY



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**JOB NUMBER:**

**SALES REP:** TIM AMBROSIOUS  
(920) 371-0853

**DRAWN BY:** AMA

**DATE:** 1-21-2021

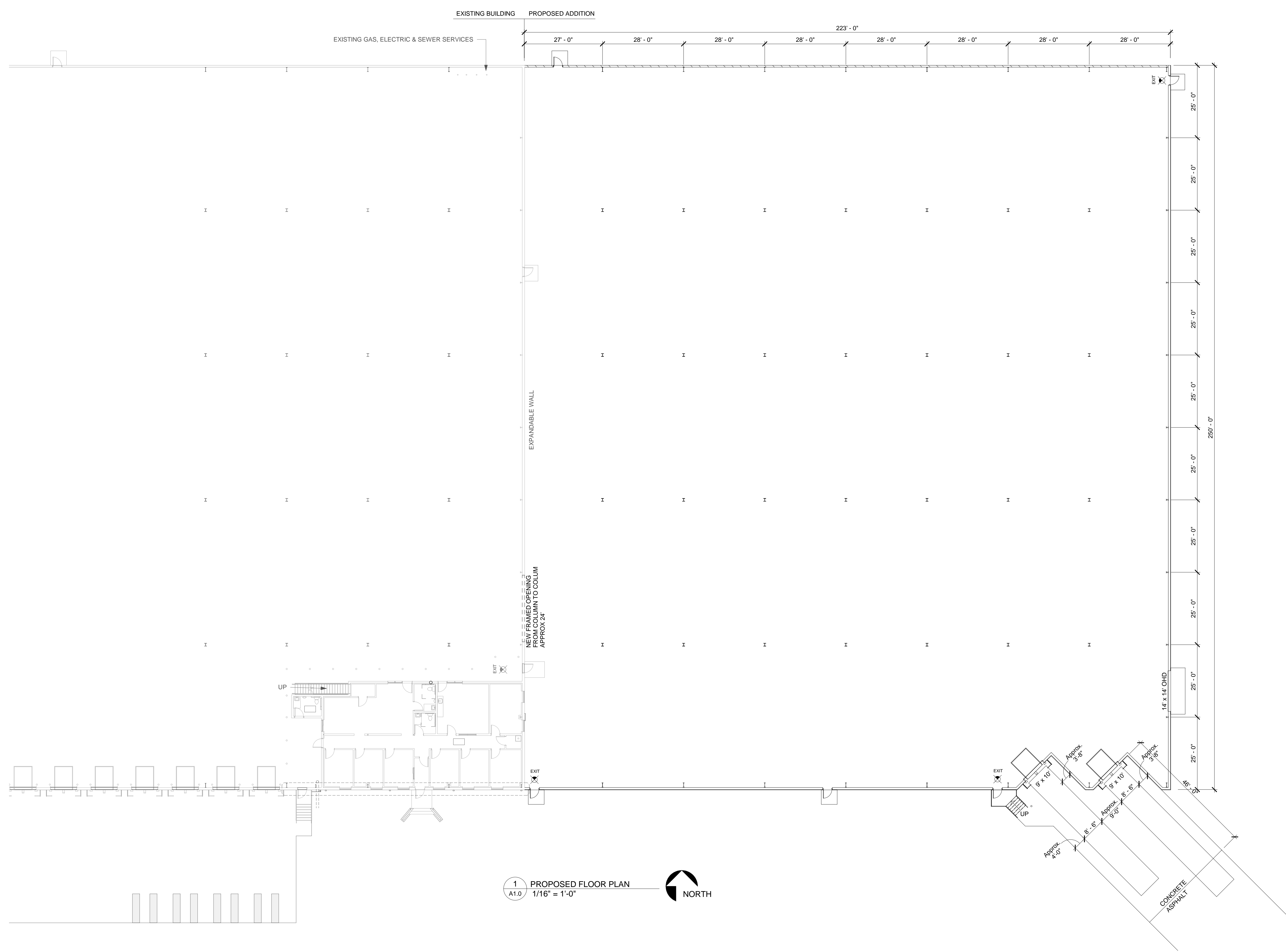
**REVISIONS:**

**ISSUED FOR: CHECKED DATE: BY:**

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

PROPOSED FLOOR PLAN

**A1.0**



**1** PROPOSED FLOOR PLAN  
A1.0 1/16" = 1'-0"

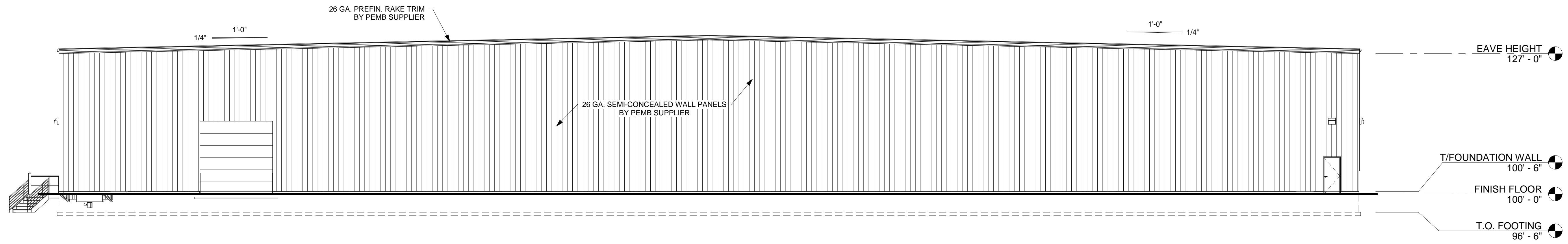




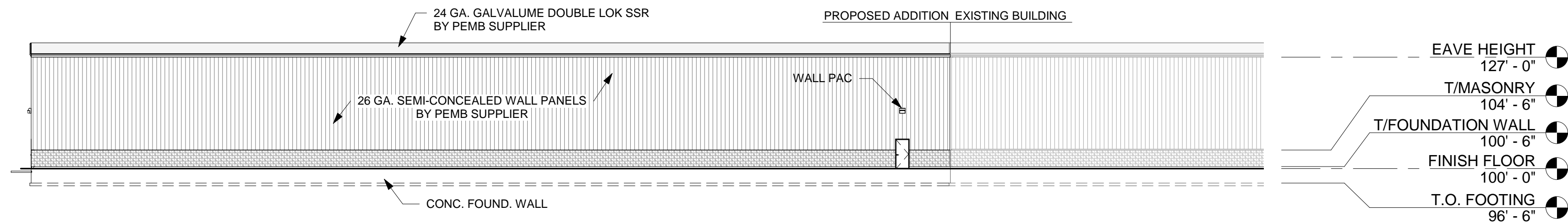
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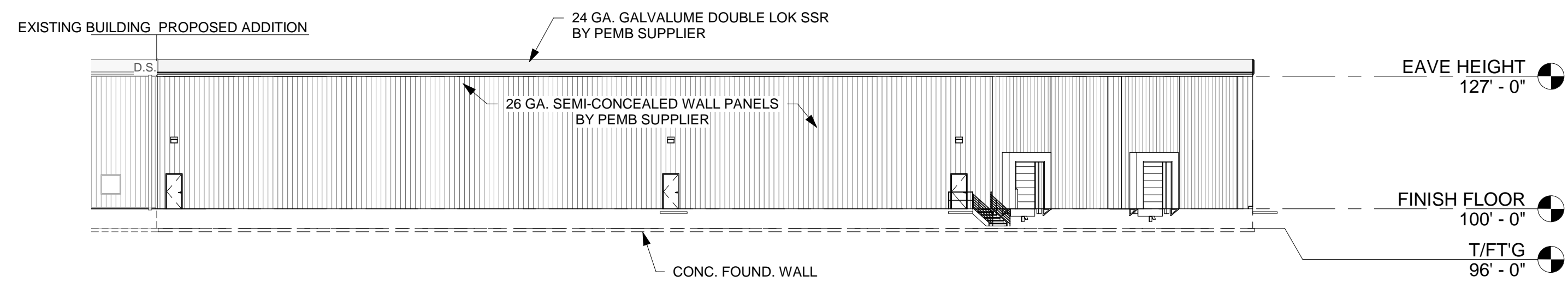
DESIGN & BUILD GENERAL CONTRACTOR



1 /A2.0 EAST ELEVATION 3/32" = 1'-0"



3 /A2.0 NORTH ELEVATION 3/64" = 1'-0"



4 /A2.0 SOUTH ELEVATION 3/64" = 1'-0"

PROPOSED BUILDING ADDITION FOR:

20-1587

GREEN BAY, WISCONSIN; COUNTY OF: BROWN

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EXTERIOR ELEVATIONS

A2.0