



**Village of Hobart**

Village Office 2990 S. Pine Tree Rd, Hobart, WI

[www.hobart-wi.org](http://www.hobart-wi.org) - [www.buildinhobart.com](http://www.buildinhobart.com)

Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday September 25<sup>th</sup> 2024 at 5:30 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 19<sup>th</sup> day of September, 2024 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

**MEETING NOTICE – SITE REVIEW COMMITTEE**

**Date/Time: Wednesday September 25<sup>th</sup> 2024 (5:30 P.M.)**

**Location: Village Office, 2990 South Pine Tree Road**

**ROUTINE ITEMS TO BE ACTED UPON:**

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the July 24<sup>th</sup> 2024 meetings (Page 2)
4. Public Comment on Non-Agenda Items

**ACTION ITEMS**

**5. DISCUSSION AND ACTION - 582 Larsen Orchard Pkwy, HB-3260; New 4-story 25,380 Square Foot Mixed Use Commercial/Retail/Residential Building (Page 3)**

This property located along both Larsen Orchard Parkway and Founders Terrace is currently undeveloped, and the proposed project will consist of a new 4-story, 25,380 Square Foot Mixed Use Commercial/Retail/Residential Building with underground parking and associated site improvements.

**6. ADJOURN**

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg, Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



Village of Hobart Site Review Committee Minutes  
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI  
Wednesday, July 24, 2024 – 5:30 pm

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- 1. Call to Order, Roll Call:** The meeting was called to order by Dave Dillenburg at 5:30 pm. Roll call: Dave Baranczyk, Steve Riley, Tom Tengowski, and Dave Dillenburg were present. Excused: Peter Zobro and Rick Nuetzel. Absent: Tammy Zittlow.
- 2. Verify/Modify/Approve Agenda:** Motion Tom Tengowski, seconded by Steve Riley to approve the agenda as presented. Motion carried 4-0.
- 3. Approval of Site Review Minutes:** Motion by Dave Dillenburg, seconded by Dave Baranczyk to approve the June 19, 2024 minutes. Motion carried 4-0.
- 4. Public Comment on Non-Agenda Items:** None.

**5. DISCUSSION AND ACTION - Revised landscape plan for Fire Station (2703 S. Pine Tree Rd., HB-83-1)**

The Village Fire Station, located at 2703 S. Pine Tree Rd., was recently constructed and Village Staff has been working with adjoining property owners to provide a landscape buffer between the new Fire Station complex and the adjoining residential properties. This request is for the review of the revised landscape plan for the west complex.

Motion by Dave Dillenburg to suspend the rules of regular meeting order, seconded by Dave Baranczyk. Motion carried 4-0.

Appearing before the committee: Kevin Gannon, 2870 Dream Lake Road; Phillip Smith, 860 Florist Drive; Beth Smith, 860 Florist Drive

Motion by Dave Dillenburg to return to the rules of regular meeting order, seconded by Steve Riley. Motion carried 4-0.

Motion by Dave Baranczyk to table the vote on the revised landscape plan, seconded by Steve Riley. Motion failed 2-2.

Motion Dave Dillenburg, seconded by Tom Tengowski to approve the revised landscape plan. Dave Dillenburg withdrew the motion, Tom Tengowski withdrew the second.

Motion by Dave Dillenburg to suspend the rules of regular meeting order, seconded by Steve Riley. Motion carried 4-0.

Kevin Gannon, 2870 Dream Lake Road; Phillip Smith, 860 Florist Drive

Motion by Dave Dillenburg to return to the rules of regular meeting order, seconded by Steve Riley. Motion carried 4-0.

Motion by Dave Dillenburg to suspend the rules of regular meeting order, seconded by Tom Tengowski. Motion carried 4-0.

Beth Smith, 860 Florist Drive; Phillip Smith, 860 Florist Drive

Motion by Dave Dillenburg to return to the rules of regular meeting order, seconded by Dave Baranczyk. Motion carried 4-0.

Motion by Dave Dillenburg to approve the revised landscape plan as submitted with the total number of arborvitae being planted along a portion of the west property line varying slightly to comply with the total lineal distance of plant area and the planting spacing as noted on the submitted plan, seconded by Tom Tengowski. Motion carried 3-0, abstain Baranczyk.

- 6. Adjourn:** Motion by Dave Dillenburg, seconded by Dave Baranczyk to adjourn. Motion carried 4-0. Adjourned at 6:53pm.

Respectfully submitted by Lisa Vanden Heuvel, Village Clerk

**TO:** Site Review Committee

**RE:** 582 Larsen Orchard Pkwy, HB-3260; New 4-story 25,380 Square Foot Mixed Use Commercial/Retail/Residential Building

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** September 25, 2024

**ISSUE:** Discussion and action on a new 4-story 25, 380 Square Foot Mixed Use Commercial/Retail/Residential Building and associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval of this new development along with any conditions the Committee may identify.

### **GENERAL INFORMATION**

1. Developer: Bayland Buildings
2. Applicant: Robert E. Lee & Associates
3. Address/Parcel: 582 Larsen Orchard Pkwy / HB-3260
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: Mixed Use Commercial/Retail/Residential

### **BACKGROUND**

This property located along both Larsen Orchard Parkway and Founders Ter is currently undeveloped, and the proposed project will consist of a new 4-story 25, 380 Square Foot Mixed Use Commercial/Retail/Residential Building with underground parking and associated site improvements.

### **SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST**

#### **Section 1, Site Plan Approval**

- A. Zoning:** PDD #1: Centennial Centre at Hobart District
- B. Green Space:** 15% green space proposed (10-25% required by code).
- C. Setbacks:** Per the PDD #1 zoning district, “minimum setbacks will be established per the design of the structure”. Front setback along Larsen Orchard Pkwy – 21’ (front of building), 12.5’ to east property line (second building front facing Founders Ter.), 71’ to west property line, and 65’ to north property line. All comply with zoning requirements.
- D. Parking:** 159 standard spaces proposed (93 surface and 66 underground) and 6 ADA spaces (3 surface and 3 underground) for a total of 165 spaces. 159 spaces are required per code of 1 and half for each dwelling unit (66 units) plus 1 space for each 4 units for guests 116 required), and 1 space for each 300 square feet of business space (9,714 square feet of business area) plus 1 space for each staff member of a business (estimated at 2 staff members per business) (43 required).
- E. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Department and Fire Department. Fire Chief is reminding that any future expansion to this complex (such as a second building) will require a private fire hydrant to be installed between the structures at a location

approved by the Fire Chief. Additionally, the FD connection and lock box(s) locations shall be approved by the Fire Chief prior to installation. Developer to discuss door access and locking with Police Chief during construction to ensure that access to portions of building are not available to all patrons.

- F. Storm Water:** Storm water running off the proposed building and parking areas will be collected by the proposed on-site storm sewer and will be discharged to the existing Centennial Centre regional storm water wet detention pond on the property to the north which is owned by the Village of Hobart and design for such storm water purposes.
- G. Utilities:** Any new sewer/water taps into the public system that are required for this development shall be reviewed and approved by the Village Public Works Department prior to excavating and installation.
- H. Refuse Collection:** The Refuse/recycling is proposed to be stored in the underground parking area and brought out on day of collection. Any future plan to locate the storage outdoors would require submittal and approval by the SRC prior to construction.

## **Section 2, Architectural Plan Approval**

### **A. Exterior Construction Information:**

- 1. Exterior Materials:** Proposed building materials consist of a mixture of brick and stone veneer and horizontal lap LP Smart siding. These materials will be consistent on all four building elevations.
- 2. Height:** 149' to top of parapet wall
- 3. Overhead doors:** Only overhead door will be on the north elevation to access the underground parking area.
- 4. Mechanical equipment:** Mechanical equipment to be screened by parapet walls where roof mounted. Dwelling units will have individual furnaces with only a vent grill will be visible from the exterior. This vent grill shall be required to match the building colors.

**Section 3, Landscaping Plan:** Landscape plan is not completed as of yet and if not presented at the meeting, it will be required to be submitted for review by the SRC at a later date and prior to installation.

**Section 4, Lighting:** Parking and drive areas are proposed to have 5 pole light poles (2 will have double light fixtures) that are 28' above grade (25' pole and 3' base). Additionally, there is proposed wall mounted lighting around the perimeter of the structure to illuminate the overall structure, but also the ingress/egress points

**Section 5, Signage:** No signage plan or details are attached so any proposed signage shall be submitted for approval prior to installation.

**Section 6, Driveway-Curb Cut:** Access to this site will be through two separate driveways. The driveway from Larsen Orchard Pkwy will be 25' with a curb cut of 30'. The second driveway from Founders Ter. will be 24' with a curb cut of 30' This driveway from Founders Ter. will require an easement from the adjoining property owner prior to installation.

## **RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any conditions the Site Review may identify:

- 1. HVAC grills shall be colored to match the building façade where they are located.
- 2. Obtaining easement from adjoining property owner for installation of driveway from Founders Ter.
- 3. Any additional mechanical equipment, if located on the roof or ground, shall be screened from view by materials compatible with the building or landscaping.
- 4. Location of FD connection and lock box(s) shall be approved by the Fire Chief prior to installation.
- 5. Developer shall discuss door access and locking with the Police Chief during construction to ensure that access to portions of building are not available to all patrons.

6. Landscape plan shall be submitted for approval prior to installation.
7. Signage details shall be submitted for approval prior to installation.
8. Any new sewer/water taps into the public system that are required for this development shall be reviewed and approved by the Village Public Works Department prior to excavating and installation.

September 12, 2024

Mr. Gerbers  
VILLAGE OF HOBART  
2990 South Pine Tree Road  
Hobart, WI 54155

RE: Larsen Orchard Apartments Site Plan Application

Dear Mr. Gerbers:

On behalf of Bayland Buildings, Robert E. Lee & Associates, Inc. is submitting the attached Site Plan Permit application and associated documentation for the proposed apartment building at Northwest the corner of Larsen Orchard parkway and Founder Terrace. The proposed project includes a four-story apartment building with commercial and retail multi-tenant spaces located on the first floor, underground parking, surface parking, and a patio area.

Please do not hesitate to contact me regarding any questions.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Michael R. Leidig, E.I.T.  
Project Engineer

MRL/NJM

ENC.

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

**LARSEN ORCHARD APARTMENTS SITE DEVELOPMENT , NORTHWEST CORNER OF  
LARSEN ORCHARD PARKWAY AND FOUNDERS TERRACE**

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 2.01 Acres, 87,556 S.F.

Size of facility(square footage): 25,380 S.F.

Type of facility: COMMERCIAL AND RETAIL FIRST FLOOR/ MULTIFAMILY ON FLOORS 2-4

Developer: BAYLAND BUILDINGS

Address: 3323 Bay Ridge Court, Green Bay, WI 54155 Phone: 920-498-9300

Engineer: Robert E Lee and Associates, Inc. – MICHAEL LEIDIG

Address: 1250 Centennial Centre Blvd, Hobart, WI 54155 Phone: 920-662-9641

Contractor: Bayland Buildings, Inc.

Construction Firm: General Contractor

Address: 3323 Bay Ridge Court, Green Bay, WI 54155 Phone: 920-498-9300

Revised 1-23-08

3. **SITE PLAN APPROVAL**

A. Industrial \_\_\_ Business Park \_\_\_ Commercial  X   
Multi-Family  X

Current Zoning:  PUD #1 – CENTENNIAL CENTRE AT HOBART DISTRICT

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES  X  NO

% of Green Space:  15%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information:  TBD  Complies with Ordinance:  Yes

D. # of parking stalls ( Include Handicapped parking):  91 regular surface stalls and 63 regular underground stalls, 3 Handicap surface stalls and 3 handicap underground stalls

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground  X  overhead  X

2) Natural Gas  X

3) Telephone  X

4) Water / Fire Hydrants  X

5) Fiber Optic Lines  X

6) Other transmission lines \_\_\_\_\_

7) Ingress – egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance  X  YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: \_\_\_\_\_ YES  X  NO



- H. Adjacent streets and street rights-of-ways and fire lanes:  
 1) Fire Chief has reviewed and approved: \_\_\_\_ YES  X  NO  
 2) Not applicable \_\_\_\_\_
- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.  
 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts  
 2) Name and address and phone# of engineer of project plan:  
MICHAEL LEIDIG – Robert E Lee and Associates, Inc.  
1250 Centennial Centre Blvd, Hobart, WI 54155
- J. Sidewalks, walkways, and driveways: X
- K. Off street loading areas and docks: X
- L. Fences and retaining walls or berms: X
- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):  
Detail in progress to be provided as soon as possible
- N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

4. **ARCHITECTURAL PLAN APPROVAL**

- A. Exterior construction information:
- 1) Type of Construction Materials: VA/1A Wood Frame Protected
- 2) Exterior Materials: horizontal and vertical siding, glass, fascia trims and soffits, stone, and brick
- 3) Height of Facility: 49'
- 4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)
- 5) Other unique characteristics: \_\_\_\_\_

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5” caliper or greater of the tree at 12” above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc: LANDSCAPE PLAN IN PROGRESS

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Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

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Identify Buffering -Type – Quantity:

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6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

LIGHTING PLAN IN PROGRESS

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Identify Parking Lighting – Quantity – Wattage – Location :

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Identify other Lighting – Quantity – Wattage – Location:

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7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: SIGN TBD

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Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut: 24.0'

Radius / Flare: 3' FLAIR

Apron Dimensions: 30' at road, 24' at property line

Culvert Size (End-walls Required) NA



# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2990 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3809

### A. Applicant

Applicant Name: Michael Leidig Owner Name Larsen Orchard Apartments LLC (Chad Calmes)

Address: 1250 Centennial Centre Blvd Address: P.O. Box 13571

City: Hobart State: WI Zip: 54155 City: Green Bay State: WI Zip: 54307

Phone: (920) 662-9641 Phone: (920) 498-9300

Email: mleidig@releeinc.com Email: ccalmes@baylandbuildings.com

### B. Parcel – Site Information

Site Address: NW Corner of Founders Ter. and Larsen Orchard Prkwy. Parcel ID: HB-3260

Project Description: Larsen Orchard Appartments

#### Residential ERU Calculations

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			66
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
<b>Total ERU's</b>			<b>39.6</b>

#### Nonresidential Uses - Impervious Surface Calculation

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
<b>Building/Structure Foot Prints</b>	0		25,380		25,380	
<b>Paved/Gravel Areas</b>	0		49,085		49,085	
<b>Totals</b>	<b>0</b>		<b>106,423</b>		<b>106,423</b>	

ERU Calculation: 106,423 / 4000 sf / ERU = 26.61 + 39.6 = 66.21 ERU's

## Centennial Centre at Hobart

### Site Plan Review Checklist

#### Project: Larsen Orchard Multi-Family Development

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(P.S) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
a. Name of project/development;	REL Sheet 1	Y	
b. Location of project/development by street address, or CSM	REL Sheet 2	Y	
c. Name and mailing address of developer/owner;	REL Sheet 1	Y	
d. Name and mailing address of engineer/architect;	REL Sheets 1	Y	
e. A written statement describing how the development will be consistent with the land use and design guidelines as identified in the Centennial Centre Master Plan.			
f. <b>A written statement from the Owner acknowledging the Village's Restrictive Covenants for the District set forth on Appendix A and agreeing:</b>			
i. to subject the real estate that is subject to the Site to the Restrictive Covenants if said property has not been previously subjected to the Restricted Covenants; and			
ii. to be individually bound by the terms of the Restrictive Covenants, including the waiver of sovereign immunity set forth therein.			
g. North point indicator;	REL Sheet 1-4	Y	
h. Scale;	REL Sheet 1-4	Y	

## Centennial Centre at Hobart

### Site Plan Review Checklist

#### Project: Larsen Orchard Multi-Family Development

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
i. Boundary lines of property, with dimensions;	REL Sheet 1-4	Y	
<b>j. Location identification, and dimensions of existing and proposed:</b>			
i. Topographic contours at a minimum interval of two feet, and key spot elevations;	REL Sheets 1,4	Y	
ii. Adjacent streets and street right of ways, respective to the elevation of building first floor;	REL Sheet 2	Y	
iii. On site streets and street right of ways, and fire lanes;	REL Sheet 2	Y	
iv. Utilities and any easements including but not limited to the following types;	REL Sheets 1,3	Y	
v. All buildings and structures, existing & proposed to consider maximum development of the parcel if more than one structure could be located on the parcel;	REL Sheet 2-4	Y	
k. A statement of the total acreage of the property to be developed;	REL Sheet 2	Y	
l. Significant physical features within the tract, watercourses, ponds, lakes, rain gardens, and wetlands; and proposed major changes in those features;	REL Sheet 1-4	Y	
m. All contemplated land uses;	REL Sheets 1-4	Y	
n. An indicator of the contemplated intensity of use: i.e., gross density in residential development;	N/A	N/A	

## Centennial Centre at Hobart

### Site Plan Review Checklist

#### Project: Larsen Orchard Multi-Family Development

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
o. Existing buildings that will be removed and the proposed location of all principal structures and associated parking areas;	N/A	N/A	
p. Proposed circulation systems (pedestrian, bicycle, auto) by type, their connection to the existing network outside the site;	REL Sheet 2	Y	
q. Existing rights-of-way and easements that may affect the project;	REL Sheets 1,2	Y	
r. The location of sanitary and storm sewer lines and water mains;	REL Sheets 3	Y	
s. The location of recreational and open space areas;	REL Sheet 2	Y	
<b>t. Description of proposed system for drainage and a storm water plan showing existing and final grades.</b>	REL Sheet 3	Y	Drains to regional pond
i. Parking facilities;	REL Sheet 2	Y	
ii. Water bodies and wetlands;	REL Sheet 1,2	Y	
iii. Surface water holding <b>ponds</b> , drainage ditches, and drainage patterns, location and size of culverts and any drainage sewers servicing the site	REL Sheets 1-4	Y	
u. Sidewalks, walkways, and driveways;	REL Sheet 2	Y	
v. Off street loading areas and docks;	REL Sheet 2	Y	
w. Fences and retaining walls;	REL SHEET 2	Y	
x. All signs;	REL SHEET 2	Y	Sign Permits and details by others

## Centennial Centre at Hobart

### Site Plan Review Checklist

#### Project: Larsen Orchard Multi-Family Development

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
y. Exterior refuse collection areas and the required enclosure(s);	REL Sheets 2	Y	Detail in progress. Will submit once complete.
z. Exterior lighting;	REL Sheets 3	Y	
aa. Traffic flow on and off site.	REL Sheet 2	Y	
bb. Location of open space/green space;	REL Sheet 2	Y	
<b>cc. Site statistics, including:</b>			
i. Sq. Footage	REL Sheet 2	Y	
ii. Percent site coverage;	REL Sheet 2	Y	
iii. Percent open space; and green space	REL Sheet 2	Y	
iv. Floor area ratio (FAR)	REL Sheet 2	Y	
dd. Location and dimensions of proposed outdoor display areas;	N/A	N/A	
<b>ee. Architectural rendering of the proposed structures and buildings, including:</b>	REL SHEET T1.0		
i. All dimensions;	LS1.0		
ii. Gross square footage of existing and proposed buildings and structures; and	REL Sheet 2	Y	
iii. Description of all exterior finish materials.	T1.0	Y	
ff. Erosion control plans;	REL Sheet 4	Y	
gg. Landscaping plan	Attached landscape plan	Y	To be provided at a later date



*Centennial Centre at Hobart*

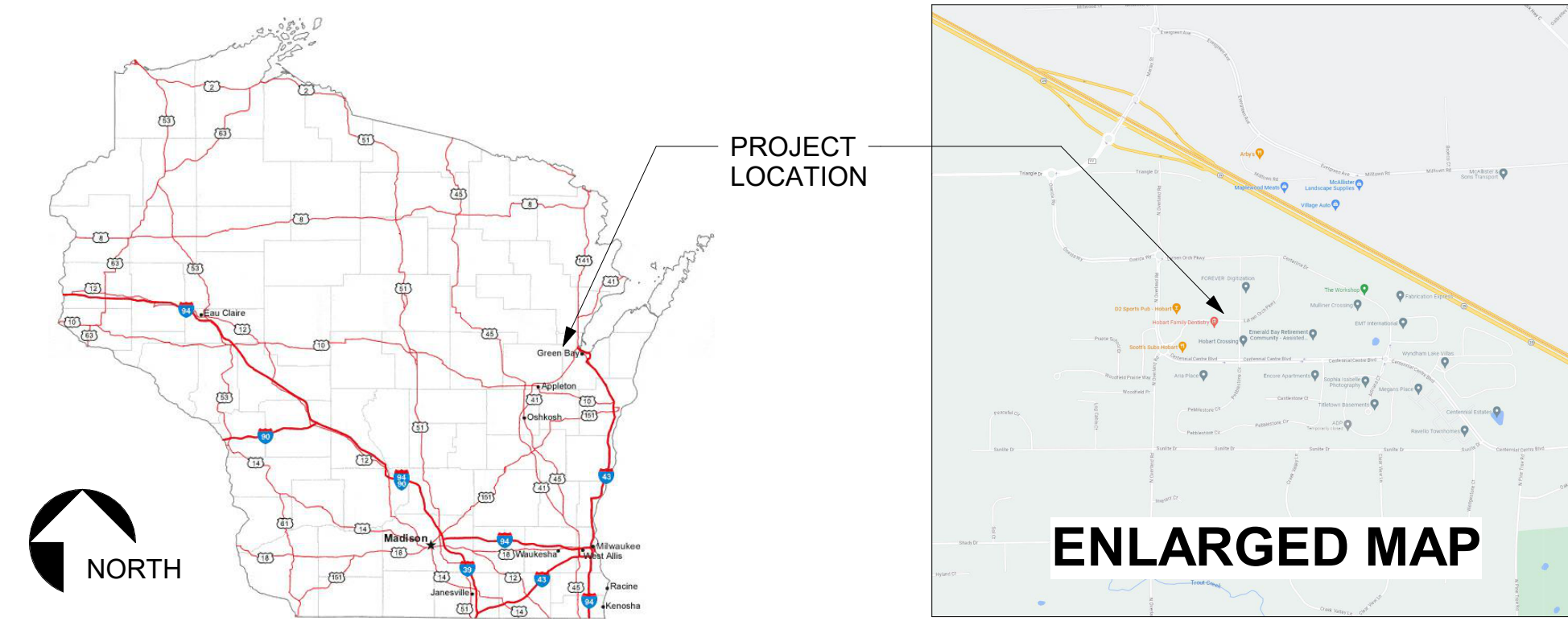
Site Plan Review Checklist

Project: Larsen Orchard Multi-Family Development

PDD ORDINANCE, SITE PLAN REQUIREMENT	LOCATION, PLAN SHEET(PS) or MAP	PRESENT AND SATISFIES REQUIREMENT?	COMMENTS
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# PROPOSED MULTI-FAMILY DEV. FOR: LARSEN ORCHARD APARTMENTS HOBART, WISCONSIN

## PROJECT LOCATION MAP



**BAYLAND**  
BAYLAND BUILDINGS  
P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com  
DESIGN & BUILD GENERAL CONTRACTOR

PROJECT PERSPECTIVE (NTS) - FOR CONCEPTUAL PROPOSES ONLY!  
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION



## SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001	TITLE			
T1.0	TITLE SHEET	9-3-24	JRG	1
004	LIFE SAFETY			
LS1.0	LIFE SAFETY PLAN			
005	ARCHITECTURAL			
A0.1	PLAN NOTES			
A0.2	PLAN NOTES			
A0.4	RATED ASSEMBLIES			
A0.5	RATED ASSEMBLIES & WALL LEGEND			
A1.0	LOWER LEVEL (PARKING) FLOOR PLAN	9-3-24	JRG	1
A1.1	1ST FLOOR PLAN	9-3-24	JRG	1
A1.2	2ND FLOOR PLAN	9-3-24	JRG	1
A1.3	3RD FLOOR PLAN	9-3-24	JRG	1
A1.4	4TH FLOOR PLAN	9-3-24	JRG	1
A1.5	ENLARGED UNIT PLANS	9-3-24	JRG	1
A1.6	ENLARGED UNIT PLANS	9-3-24	JRG	1
A1.7	ENLARGED UNIT PLANS	9-3-24	JRG	1
A1.8	ENLARGED PLANS			
A2.0	EXTERIOR ELEVATIONS			
A3.0	BUILDING SECTIONS	9-3-24	JRG	1
A3.1	BUILDING SECTIONS	9-3-24	JRG	1
A4.0	WALL SECTIONS			
A4.1	ELEVATOR SECTIONS	9-3-24	JRG	1
A5.0	STAIR SECTIONS			
A6.0	DOOR SCHEDULES & WINDOW LEGEND			
A7.0	REFLECTED CEILING PLAN	9-3-24	JRG	1
A7.1	REFLECTED CEILING PLAN			
A7.2	REFLECTED CEILING PLAN			
A8.0	ROOF PLAN	9-3-24	JRG	1

## PROJECT INFORMATION

**OWNER INFORMATION:**  
OWNER  
ADDRESS  
CITY, STATE ZIP  
CONTACT:  
TENANT:  
DIS NO:

**ARCHITECTURAL DATA:**  
BUILDING CODES:  
IBC 2015  
WECBC SPS 361-366  
IEBC 2015  
SCOPE OF WORK: NEW CONSTRUCTION  
BUILDING USE: MULTI-FAMILY APT.

**FIRE PROTECTION SYSTEM:**  
BUILDING IS PROTECTED BY AN AUTOMATIC FIRE  
SPRINKLER SYSTEM PER NFPA 13

**FIRE & SMOKE PROTECTION FEATURES:**  
ALLOWABLE AREA DETERMINED BY IBC 508.4 FIRE  
BARRIER USED TO SEPARATE OCCUPANCIES

**BUILDING AREA:**  
LOWER LEVEL:  
OCCUPANCY: S-1 AREAS  
25,507 SQ. FT.

FIRST FLOOR  
OCCUPANCY: B AREAS  
9,714 SQ. FT.

FIRST FLOOR  
OCCUPANCY: R-2 AREAS  
15,667 SQ. FT.

FIRST FLOOR  
EXT. COVERED AREA:  
615 SQ. FT.

**TOTAL FIRST FLOOR AREA:**  
25,996 SQ. FT.

SECOND FLOOR  
OCCUPANCY: R-2 AREAS  
25,200 SQ. FT.

SECOND FLOOR  
EXT. COVERED AREA:  
1,000 SQ. FT.

**TOTAL SECOND FLOOR AREA:**  
26,200 SQ. FT.

THIRD FLOOR  
OCCUPANCY: R-2 AREAS  
25,200 SQ. FT.

THIRD FLOOR  
EXT. COVERED AREA:  
1,000 SQ. FT.

**TOTAL THIRD FLOOR AREA:**  
26,200 SQ. FT.

FOURTH FLOOR  
OCCUPANCY: R-2 AREAS  
24,716 SQ. FT.

FOURTH FLOOR  
EXT. COVERED AREA:  
865 SQ. FT.

**TOTAL FOURTH FLOOR AREA:**  
25,581 SQ. FT.

**TOTAL BUILDING AREA (INTERIOR):**  
126,0004 SQ. FT.

**TOTAL BUILDING AREA (EXTERIOR):**  
3,480 SQ. FT.

**TOTAL BUILDING AREA**  
129,484 SQ. FT.

**OCCUPANT LOAD TABULATED**

FIRST FLOOR (EXISTING)	OCCUPANCY	XXX SQ. FT.	XXX GROSS	XXX OCC
SECOND FLOOR (EXISTING)	OCCUPANCY	XXX SQ. FT.	XXX GROSS	XXX OCC
FIRST FLOOR ADDITION	OCCUPANCY	XXX SQ. FT.	XXX GROSS	XXX OCC
SECOND FLOOR ADDITION	OCCUPANCY	XXX SQ. FT.	XXX GROSS	XXX OCC
TOTAL OCCUPANT LOAD				XXX OCC

**OCCUPANT LOAD (ACTUAL)**  
VERIFY W/ OWNER

**PROJECT LOCATION:**  
ADDRESS: 582 LARSEN ORCH PKWY  
HOBART, WISCONSIN 54155  
MUNICIPALITY: VILLAGE OF HOBART  
COUNTY: BROWN

**OCCUPANCY GROUP:**  
BUSINESS GROUP: B (1ST FLOOR)  
RESIDENTIAL GROUP: R-2 (APARTMENTS)  
STORAGE GROUP: S-1 (LOWER LEVEL PARKING)

**CONSTRUCTION TYPE:**  
FLOORS 1-4 (B&R-2): VA COMBUSTIBLE,  
PROTECTED)

**PRIMARY STRUCTURAL FRAME:** 1-HR  
EXTERIOR BEARING WALLS: 1-HR  
INTERIOR BEARING WALLS: 1-HR  
NONBEARING WALLS & PARTITIONS: N/A  
FLOOR CONST. & ASSOC. SECONDARY: 1-HR  
ROOF CONST. & ASSOC. SECONDARY: 1-HR

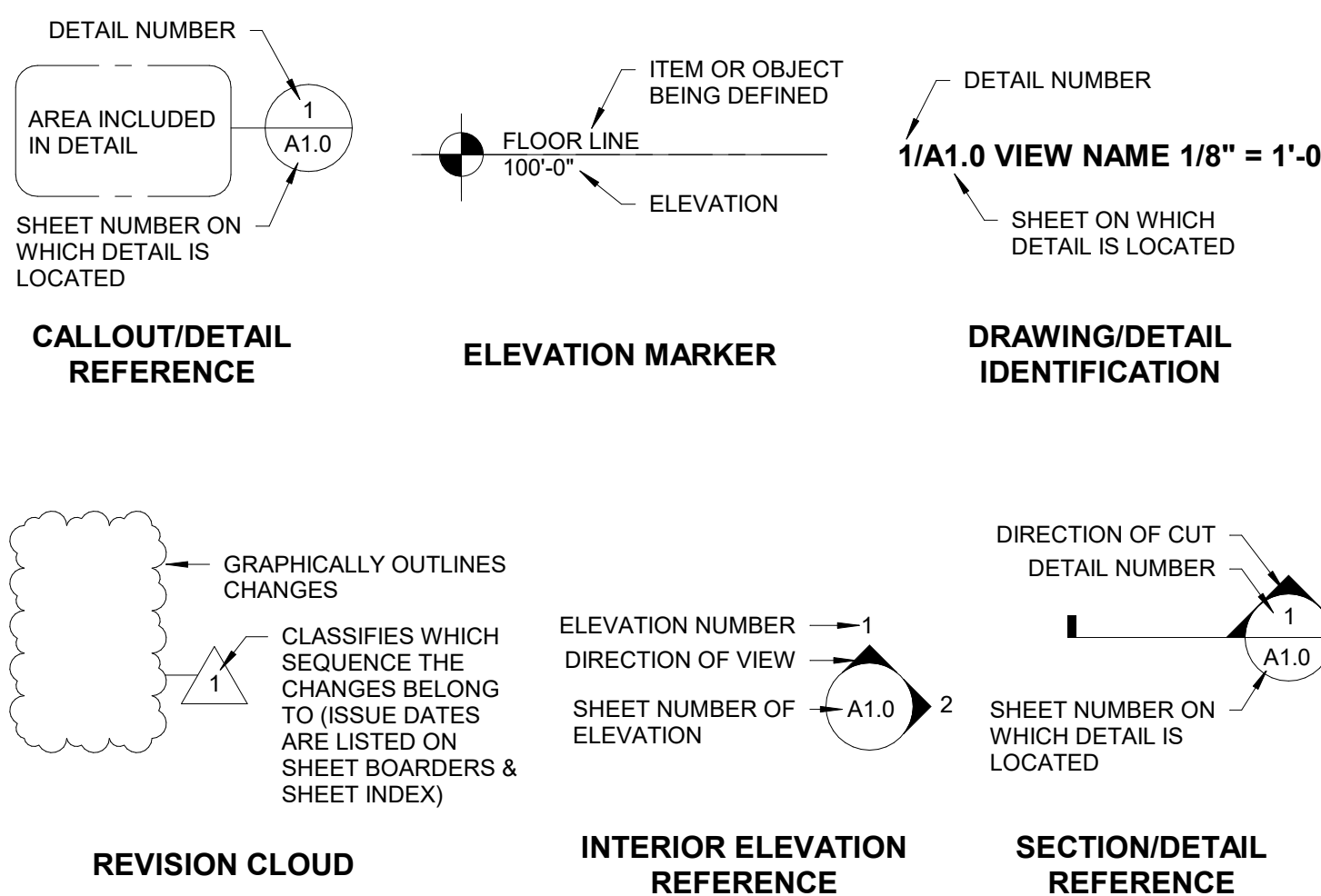
**LOWER LEVEL (S-1):** 1A (NONCOMBUSTIBLE,  
PROTECTED)

**PRIMARY STRUCTURAL FRAME:** 3-HR  
EXTERIOR BEARING WALLS: 3-HR  
INTERIOR BEARING WALLS: 3-HR  
NONBEARING WALLS & PARTITIONS: N/A  
FLOOR CONST. & ASSOC. SECONDARY: 2-HR  
ROOF CONST. & ASSOC. SECONDARY: 1.5-HR

**ALLOWABLE AREA:**  
ALLOWABLE BUILDING AREA: 36,000 SQ. FT.  
ALLOWABLE HEIGHT: 70 FT.  
ALLOWABLE STORY(S): 4

PROPOSED MULTI-FAMILY DEV. FOR:  
**LARSEN ORCHARD  
APARTMENTS**  
HOBART, WISCONSIN

## SYMBOLS LEGEND



## REVISION #1 NOTES - 9-3-2024

- ELEVATOR ELIMINATED; TRASH CHUTE AND NEARBY ROOM LAYOUTS REWORKED
- 8" CMU WALLS FOR RETAIL AREA; 8" CMU SHAFTWALL FOR STAIRS ADJACENT TO RETAIL AREA @ 1ST FLOOR ONLY
- PRECAST LID OVER RETAIL AREA; 12" IN THE CENTER, 8" ON THE SIDES
- PRECAST OVER BASEMENT IS 12" IN THE CENTER, 8" ON THE SIDES
- 2x10 JOISTS & ACT CEILING AT CORRIDORS
- STAIR & ELEVATOR SHAFTWALL CHANGES IN LOWER LEVEL; SEE A1.0
- (2) HSS 5x5x3/8 COLUMNS & W21x83 BEAM w/ (2) 2x10 RIPPED TOP PLATES FOR OPENING BETWEEN ROOMS 101 & 103
- 2x6 FURRING WALL SOUTH OF ELEVATOR SHAFT ON 1ST-4TH FLOORS
- (6) HVAC CHASES ABOVE RETAIL AREA WITH APPROX. LOCATIONS FOR LEAST AMOUNT OF DISRUPTION THROUGH UNITS

**SCALE VERIFICATION**  
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ADJUST SCALE ACCORDINGLY

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COMPENSATION TO BAYLAND BUILDINGS, INC.

**JOB NUMBER:** 24-5794  
**PROJECT EXECUTIVE:** BRIAN PETERS  
**DRAWN BY:** DV  
**DATE:** 09/05/2024

Revision Schedule

Revision Number	Revision Description	Revision Date
1	BID SET REV. #1	9-3-24

**ISSUED FOR:** CHECKED DATE:  
**BY:**

PRELIMINARY  
 BID SET  
 DESIGN REVIEW  
 CHECKSET  
 CONSTRUCTION

TITLE SHEET

T1.0

PROPOSED BUILDING FOR:  
**LARSEN ORCHARD APARTMENTS**  
HOBART, WISCONSIN

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DATE: 09/05/2024

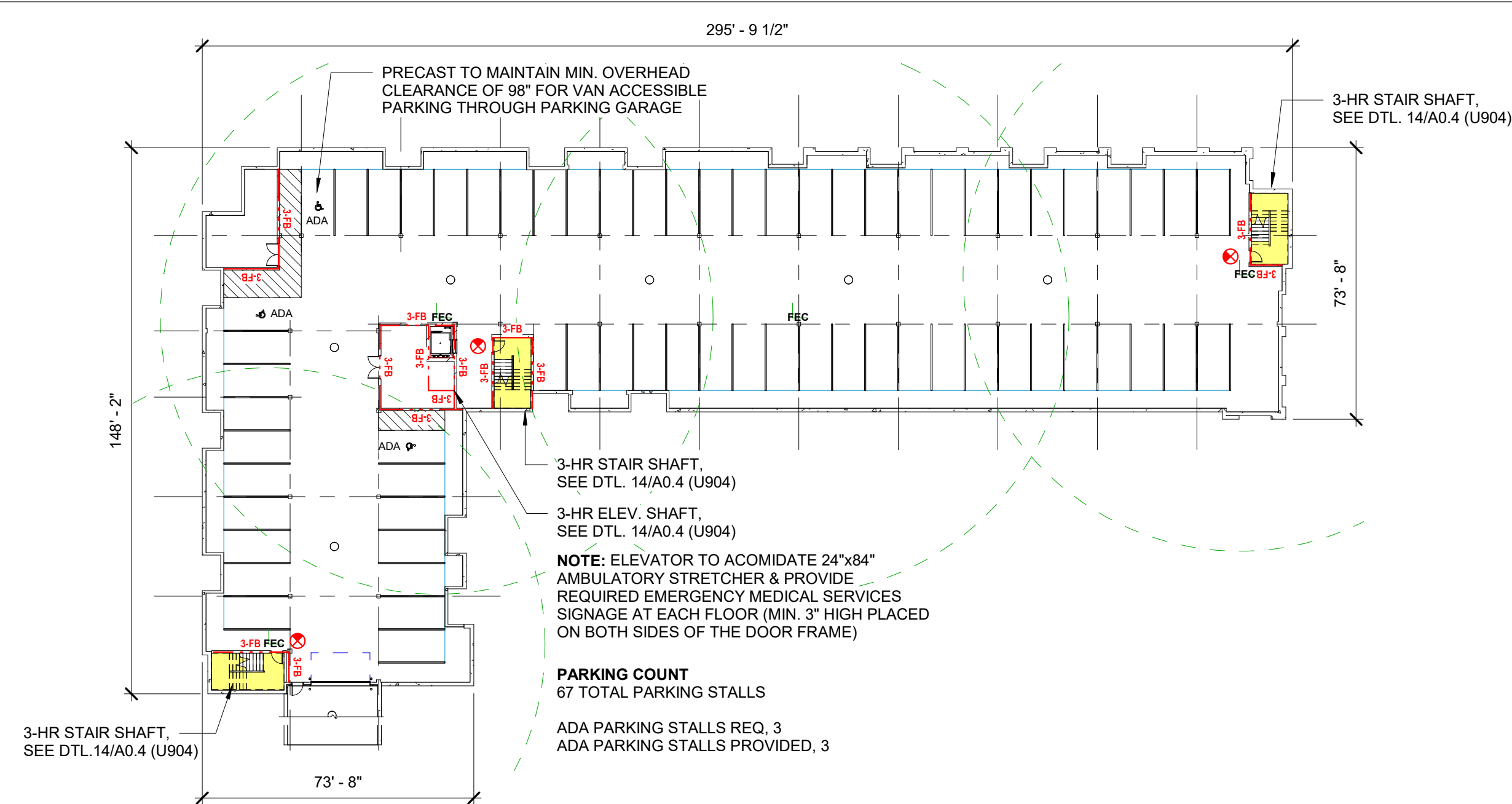
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BY:

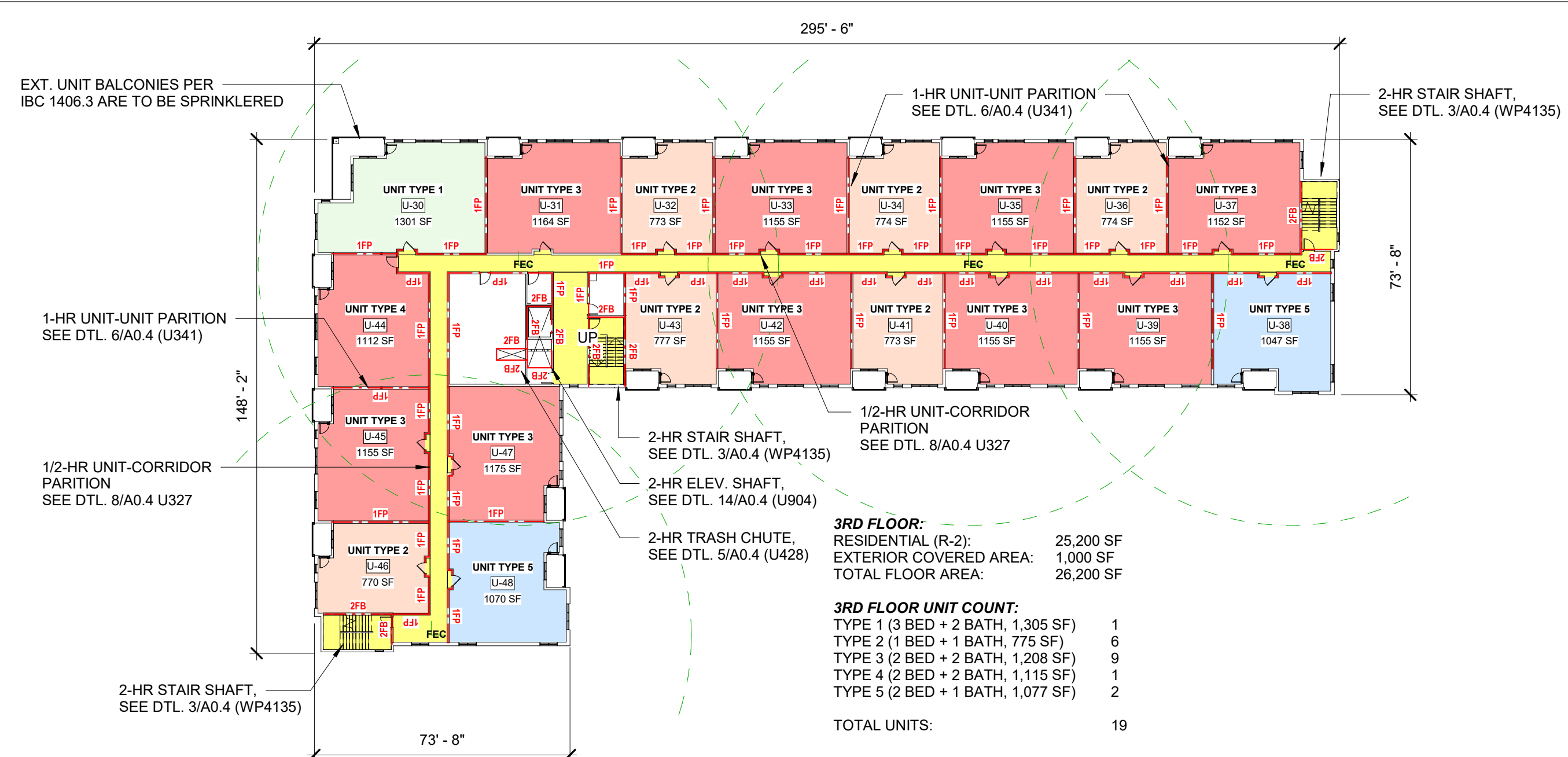
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LIFE SAFETY PLAN

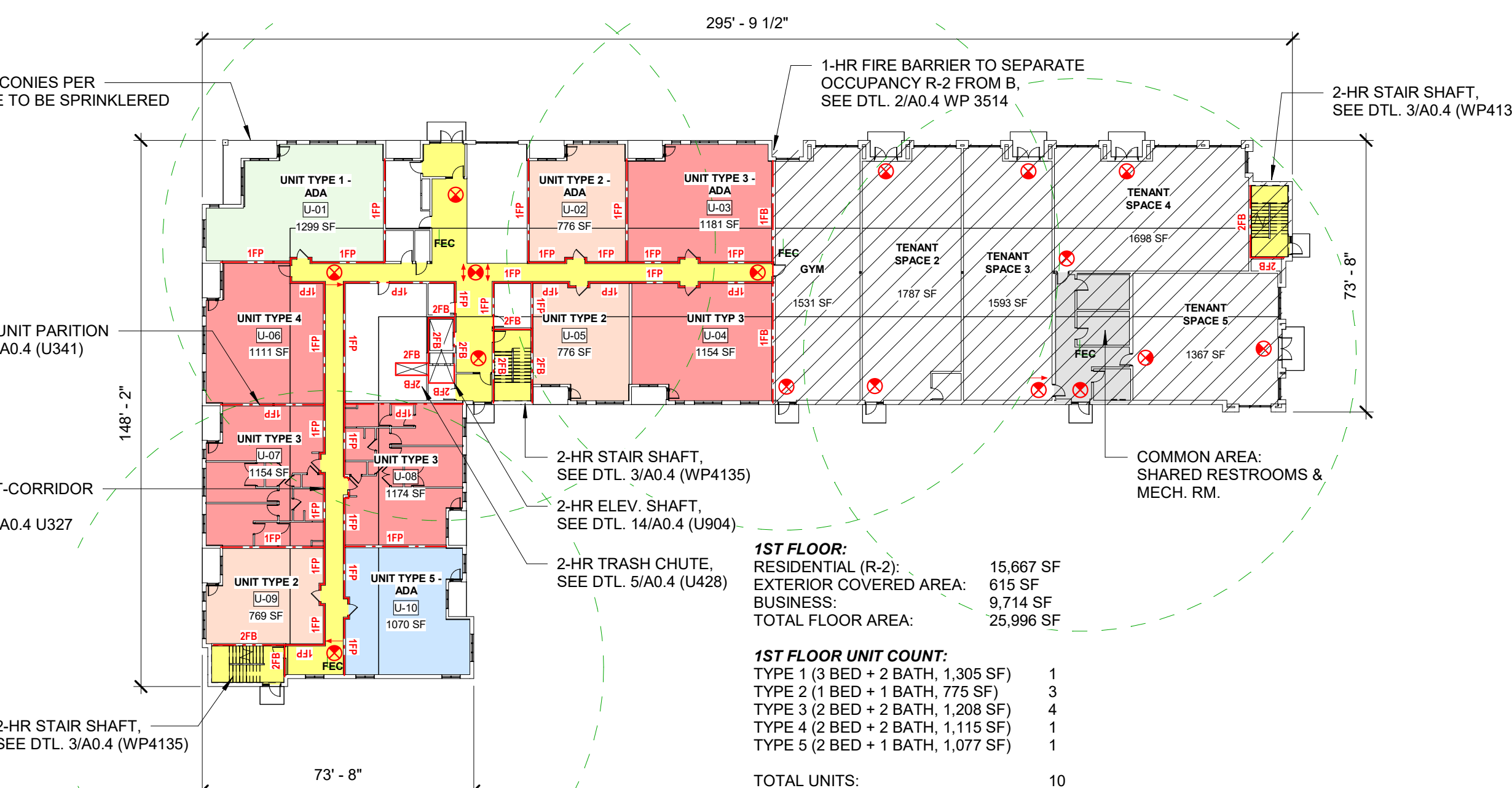
**LS1.0**



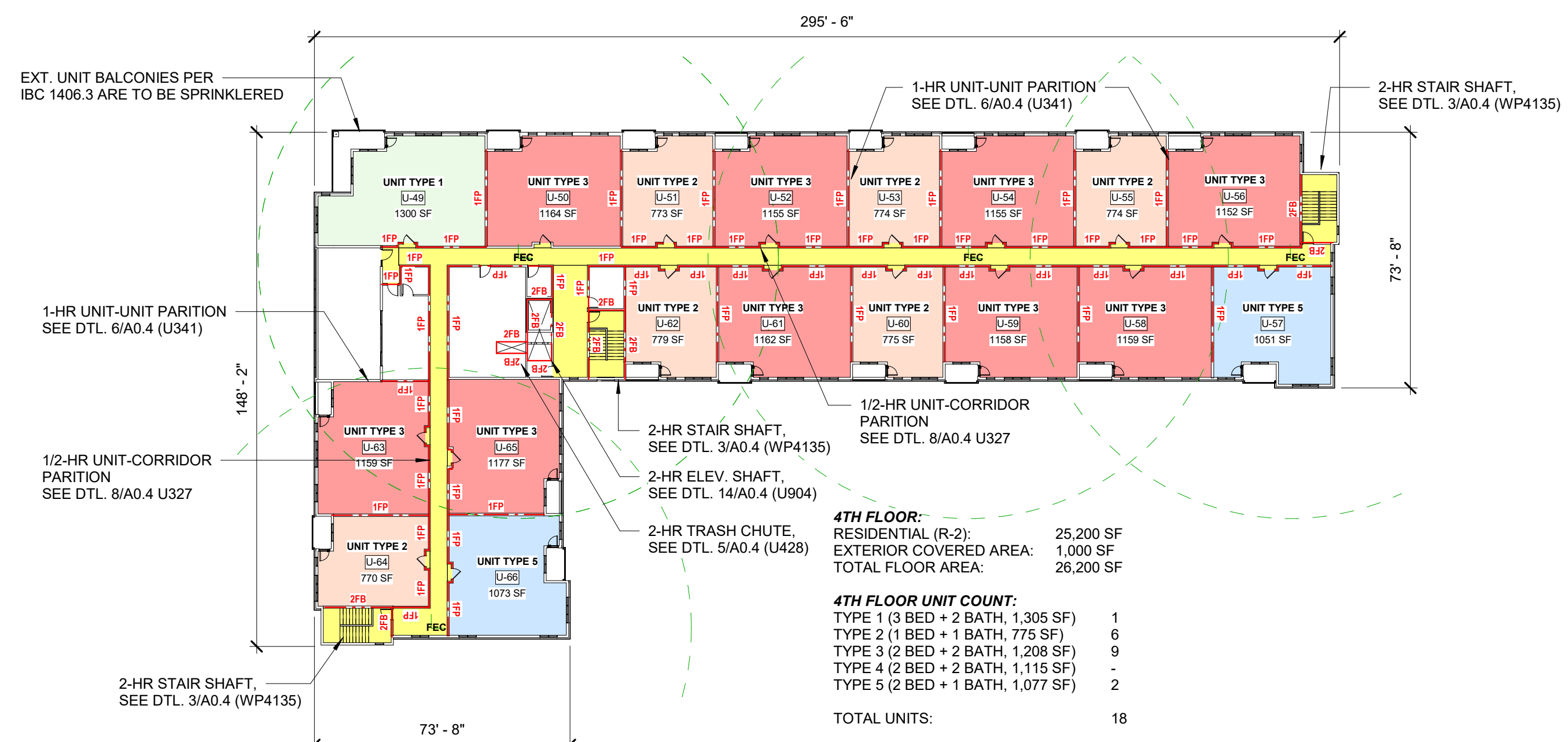
**5 /LS1.0 SCALE = 1/32" = 1'-0"**  
**LOWER LEVEL LIFE SAFETY PLAN**



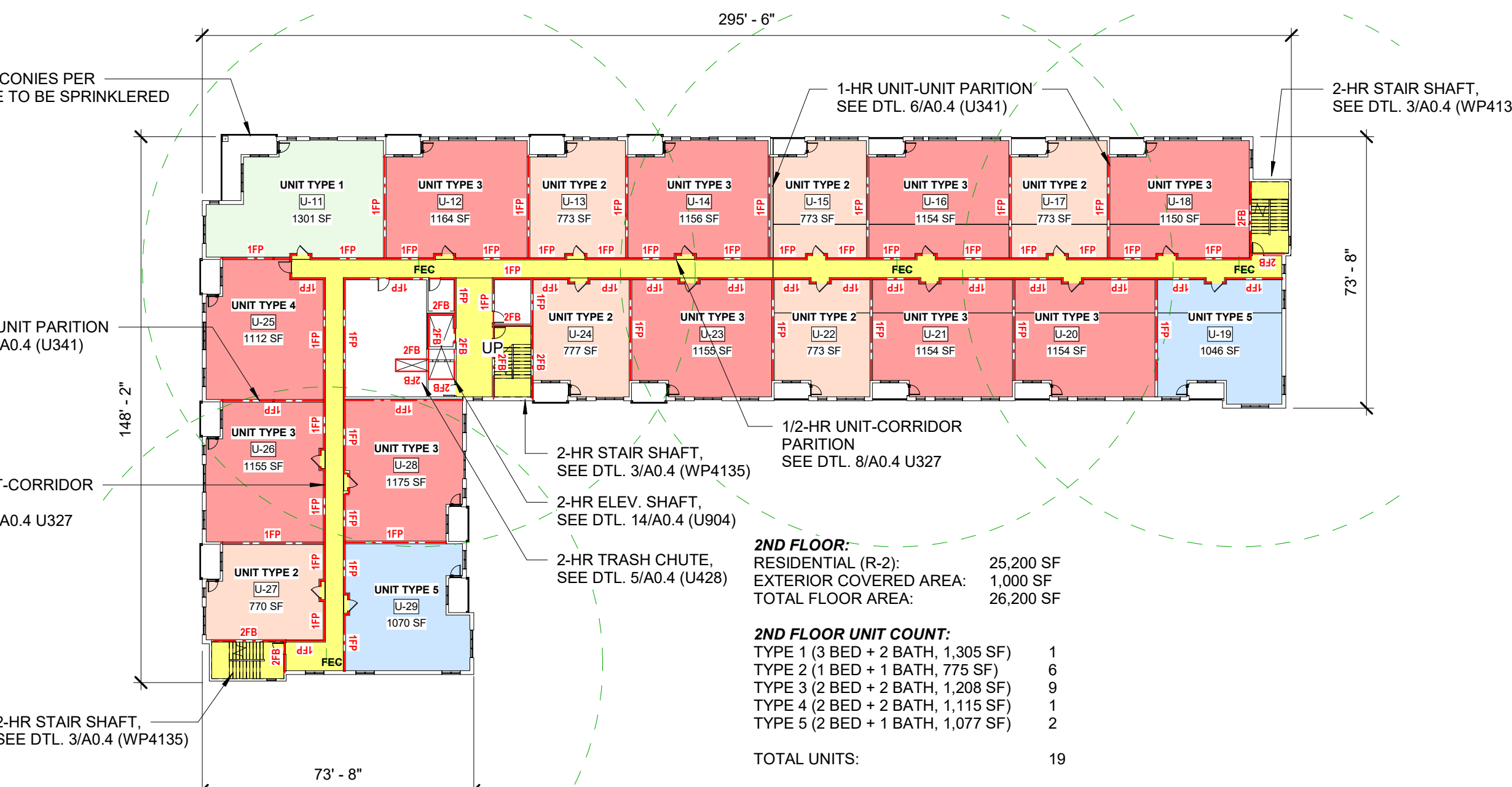
**3 /LS1.0 SCALE = 1/32" = 1'-0"**  
**3RD FLOOR LIFE SAFETY PLAN**



**1 /LS1.0 SCALE = 1/32" = 1'-0"**  
**1ST FLOOR LIFE SAFETY PLAN**



**4 /LS1.0 SCALE = 1/32" = 1'-0"**  
**4TH FLOOR LIFE SAFETY PLAN**



**2 /LS1.0 SCALE = 1/32" = 1'-0"**  
**2ND FLOOR LIFE SAFETY PLAN**

**PROGRAM LEGEND**

- Egress
- UNIT: 1-BED / 1-BATH
- UNIT: 2-BED / 1-BATH
- UNIT: 2-BED / 2-BATH
- UNIT: 3-BED / 2-BATH

**TOTAL BUILDING UNIT COUNT:**

- TYPE 1 (3 BED + 2 BATH, 1,305 SF) 4
- TYPE 2 (1 BED + 1 BATH, 775 SF) 21
- TYPE 3 (2 BED + 2 BATH, 1,208 SF) 31
- TYPE 4 (2 BED + 2 BATH, 1,115 SF) 3
- TYPE 5 (2 BED + 1 BATH, 1,077 SF) 7

TOTAL UNITS: 66

(TOTAL ADA UNITS REQUIRED, 4  
TOTAL ADA UNITS PROVIDED, 4)

PROPOSED BUILDING FOR:  
**LARSEN ORCHARD APARTMENTS**  
HOBART, WISCONSIN

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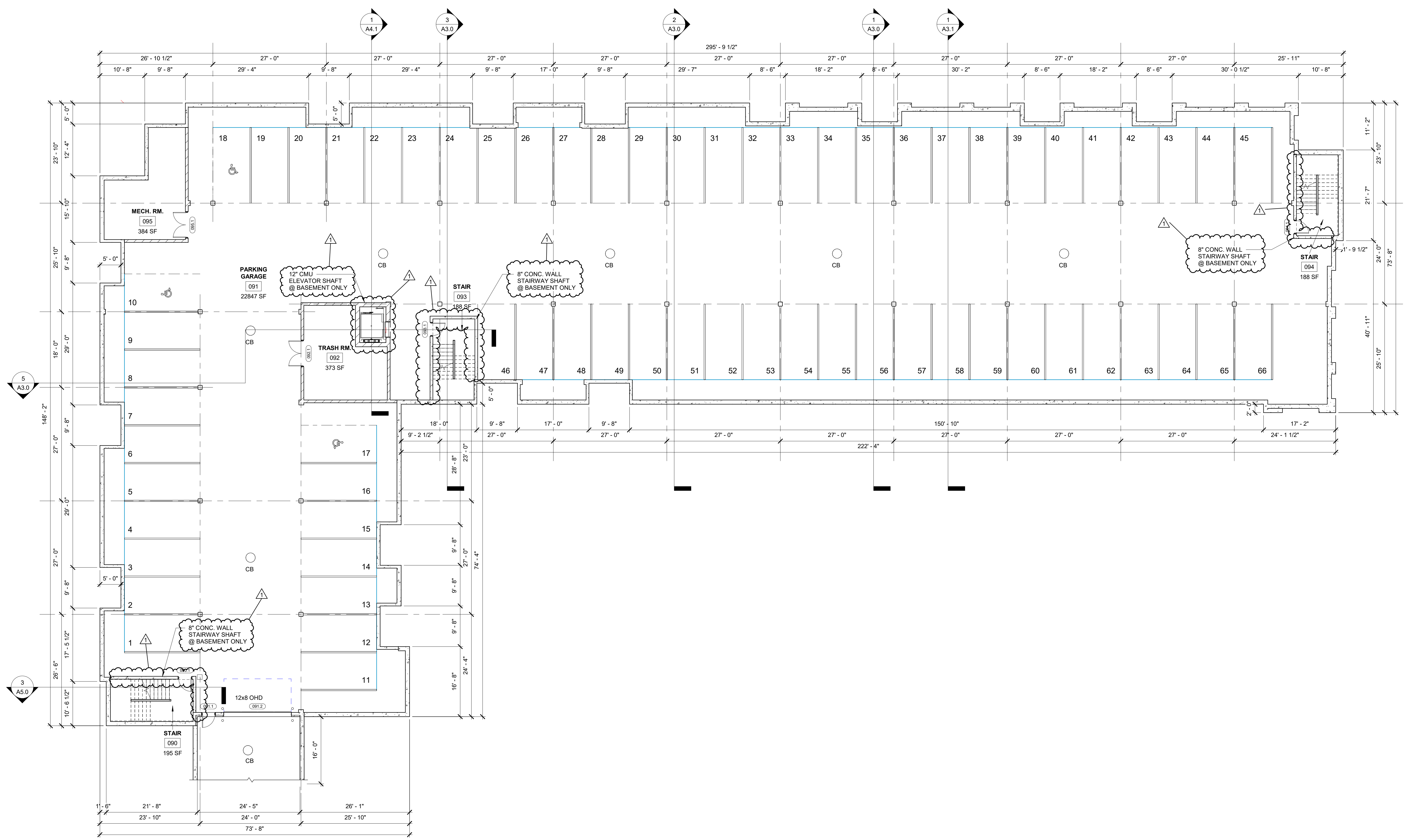
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<input type="checkbox"/>	CHECKSET		
<input type="checkbox"/>	CONSTRUCTION		

LOWER LEVEL (PARKING) FLOOR PLAN

**A1.0**



NORTH  1/A1.0 SCALE = 3/32" = 1'-0"  
LOWER LEVEL FLOOR PLAN (PARKING)

PROPOSED BUILDING FOR:  
**LARSEN ORCHARD APARTMENTS**  
HOBART, WISCONSIN

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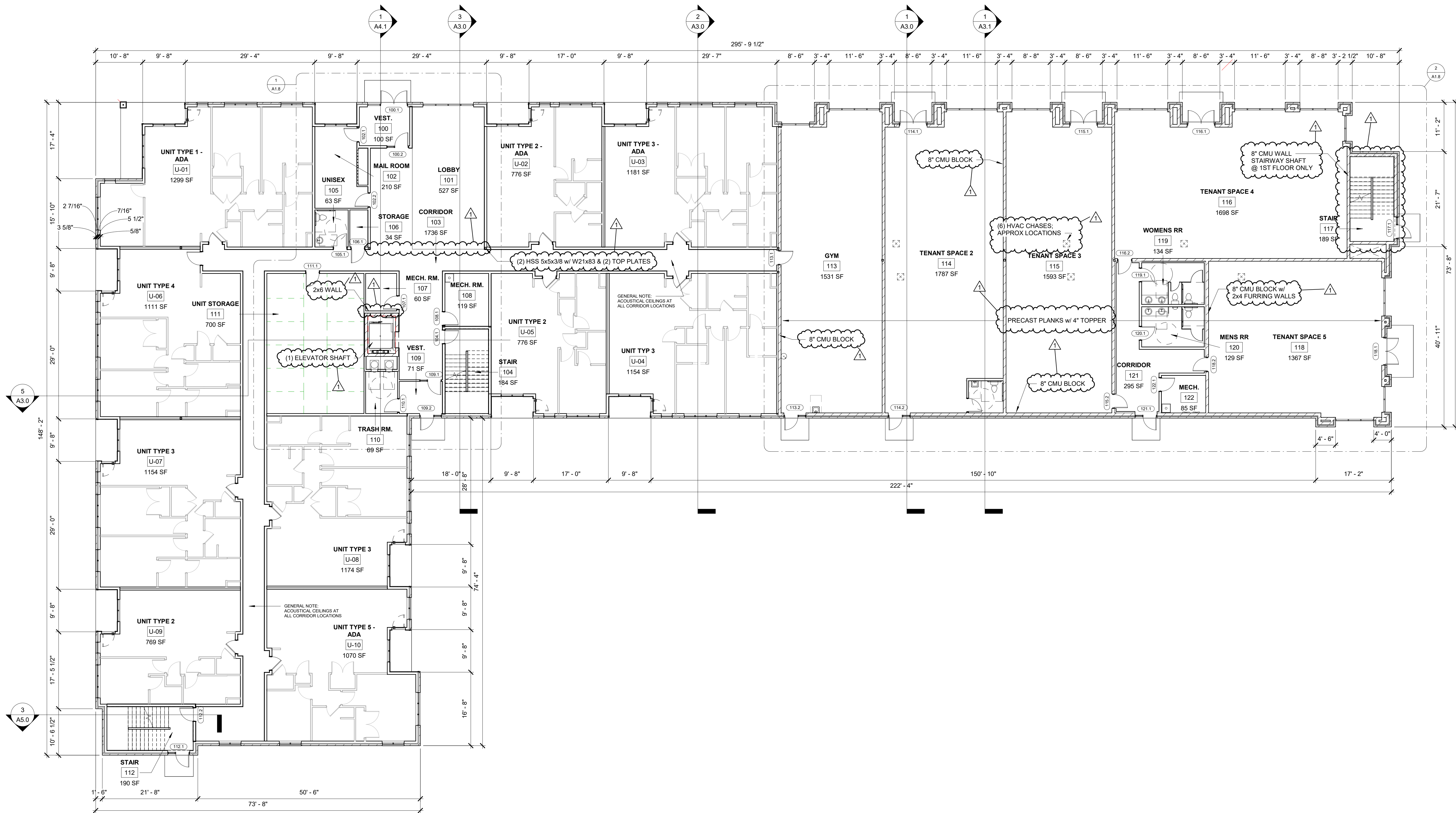
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1ST FLOOR PLAN

NORTH **1/A1.1 SCALE = 3/32" = 1'-0"**  
**1ST FLOOR PLAN**

**A1.1**



PROPOSED BUILDING FOR:  
**LARSEN ORCHARD  
APARTMENTS**  
HOBART, WISCONSIN

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EXECUTIVE: BRIAN PETERS

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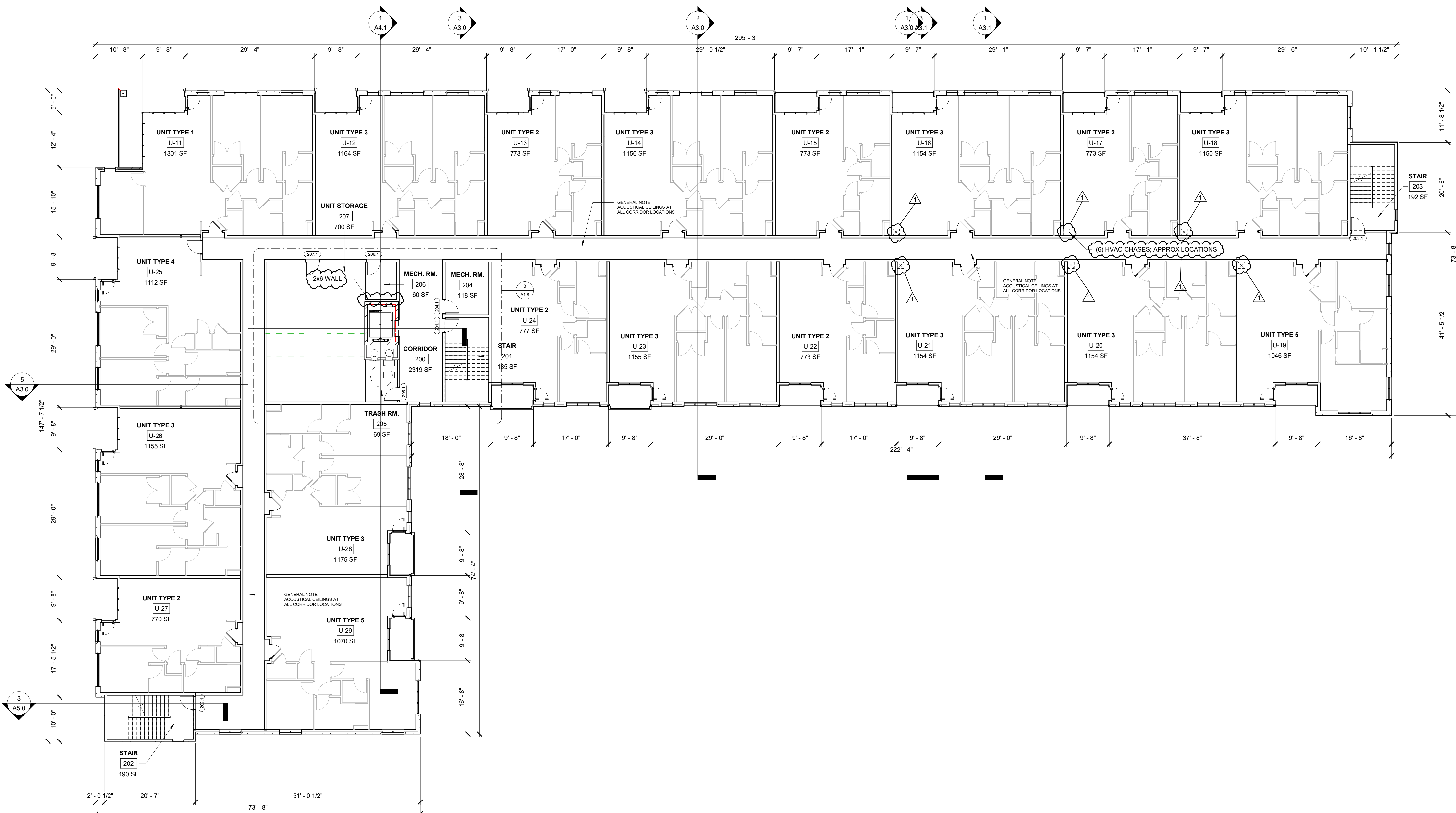
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2ND FLOOR PLAN

**A1.2**



PROPOSED BUILDING FOR:  
**LARSEN ORCHARD APARTMENTS**  
HOBART, WISCONSIN

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EXECUTIVE: BRIAN PETERS

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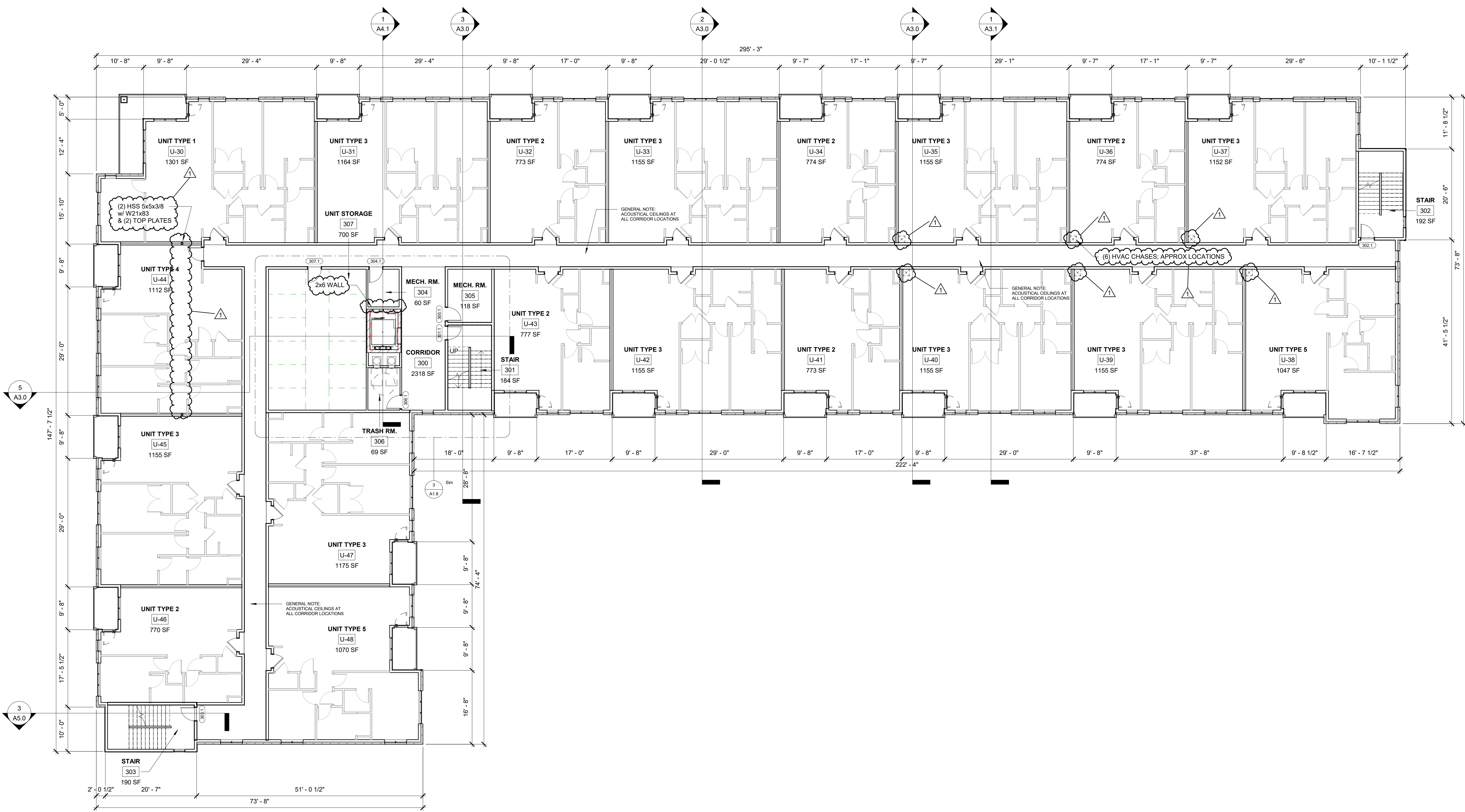
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3RD FLOOR PLAN

1/A1.3 SCALE = 3/32" = 1'-0"  
3RD FLOOR PLAN

**A1.3**



PROPOSED BUILDING FOR:  
**LARSEN ORCHARD APARTMENTS**  
HOBART, WISCONSIN

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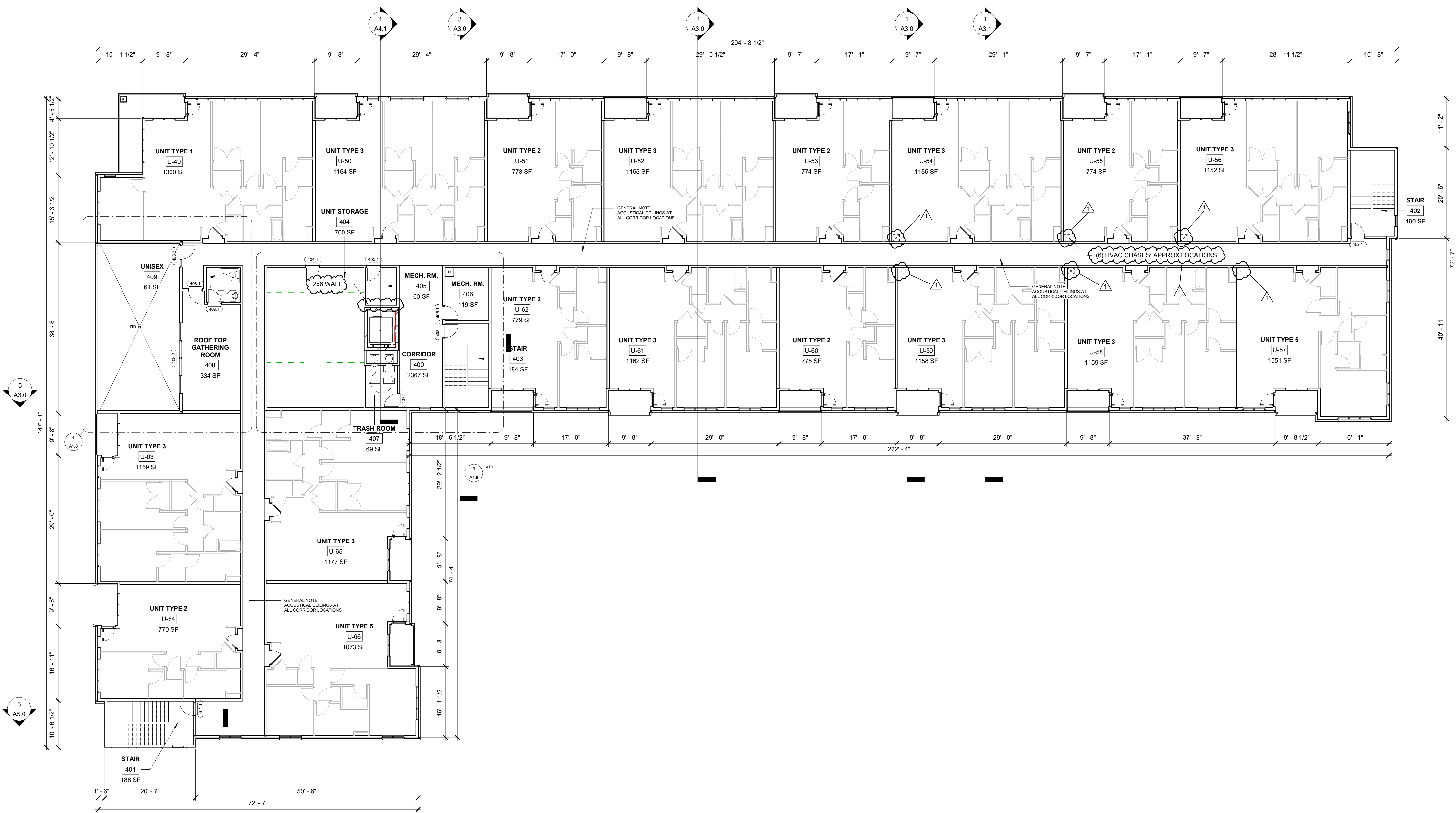
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4TH FLOOR PLAN

**A1.4**



NORTH  
1/1A.4 SCALE = 3/32" = 1'-0"  
4TH FLOOR PLAN





2 /A2.0 SCALE = 1/16" = 1'-0"

**NORTH ELEVATION**



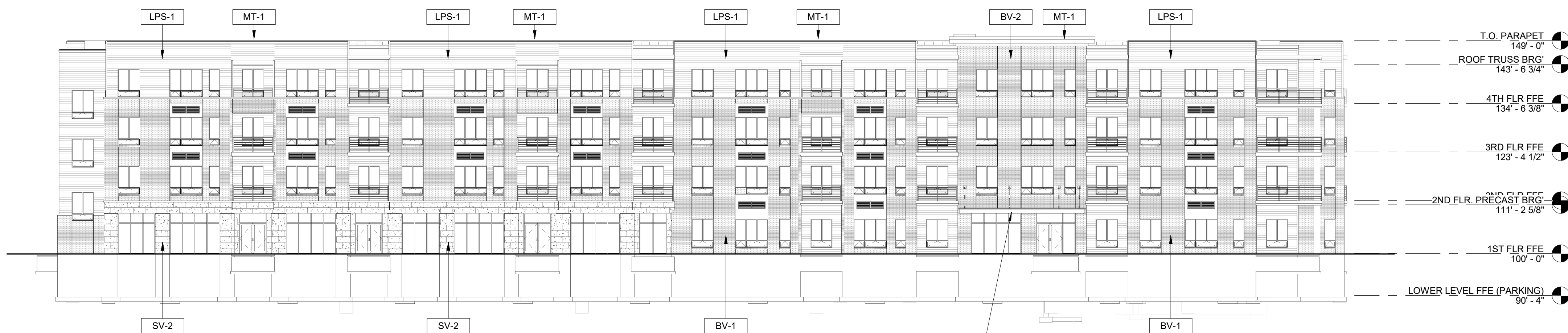
1 /A2.0 SCALE = 1/16" = 1'-0"

**WEST ELEVATION**



3 /A2.0 SCALE = 1/16" = 1'-0"

**EAST ELEVATION**



4 /A2.0 SCALE = 1/16" = 1'-0"

**SOUTH ELEVATION**

MAIN ENTRANCE CANOPY TO BE CUSTOM FABRICATED  
STEEL CHANNELING w/ MIN. PROFILE  
(VERIFY STRUCTURAL BRACING TO WALL)  
DECKING & SOFFIT PANEL FINISH ON UNDERSIDE

**GENERAL PLAN NOTES:**

1. ALL BALCONY RAILINGS TO BE MTL. PRE-FINISHED (TO MATCH ALL OTHER CAP TRIMS) & SURFACE POST MOUNTED TO DECKING.
2. ALL HVAC VENTING GRILLS & LOUVRES TO MATCH PRE-FINISHED TRIMS (VERIFY PLACEMENT AND SIZING)
3. ALL MASONRY CAP AND WINDOW SILLS TO BE STANDARD 4" LIMESTONE EQUIV.
4. SEE SECTION DTLS FOR MASONRY HEIGHTS AND LOCATIONS

**EXTERIOR FINISH LEGEND**

MARK	DESCRIPTION
LPS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: 6" LP SMART SIDING SUPPLIER: LP SMARTSIDE COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
BV-1	LOCATION: BRICK VENEER MATERIAL: CLAY MASONRY BRICK SUPPLIER: VERIFY COLOR: VERIFY COMMENTS: MAIN COLOR
BV-2	LOCATION: BRICK VENEER MATERIAL: CLAY MASONRY BRICK SUPPLIER: VERIFY COLOR: VERIFY COMMENTS: ACCENT COLOR
SV-2	LOCATION: STONE VENEER MATERIAL: CONCRETE CAST STONE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

PROPOSED BUILDING FOR:  
**LARSEN ORCHARD**  
**APARTMENTS**  
 HOBART, WISCONSIN

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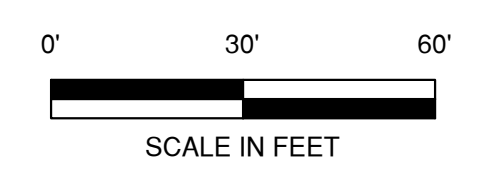
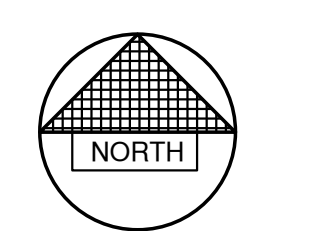
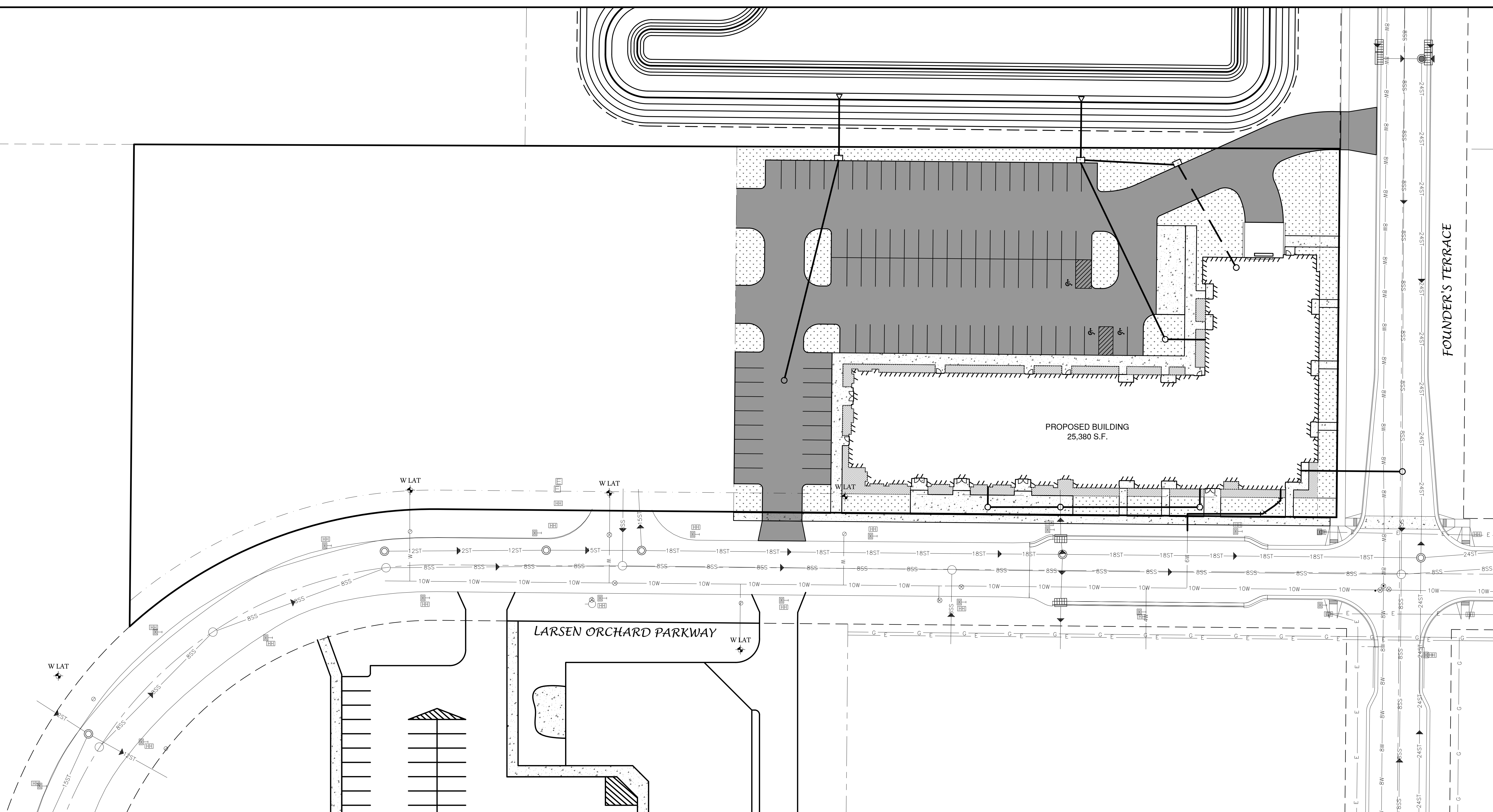
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EXTERIOR ELEVATIONS

**A2.0**

File: P:\2020\2020\2025\2025\39\443\BASE MAP.dwg  
 Plot Date: Sep 13, 2024 7:24:00am  
 Overall  
 Layout



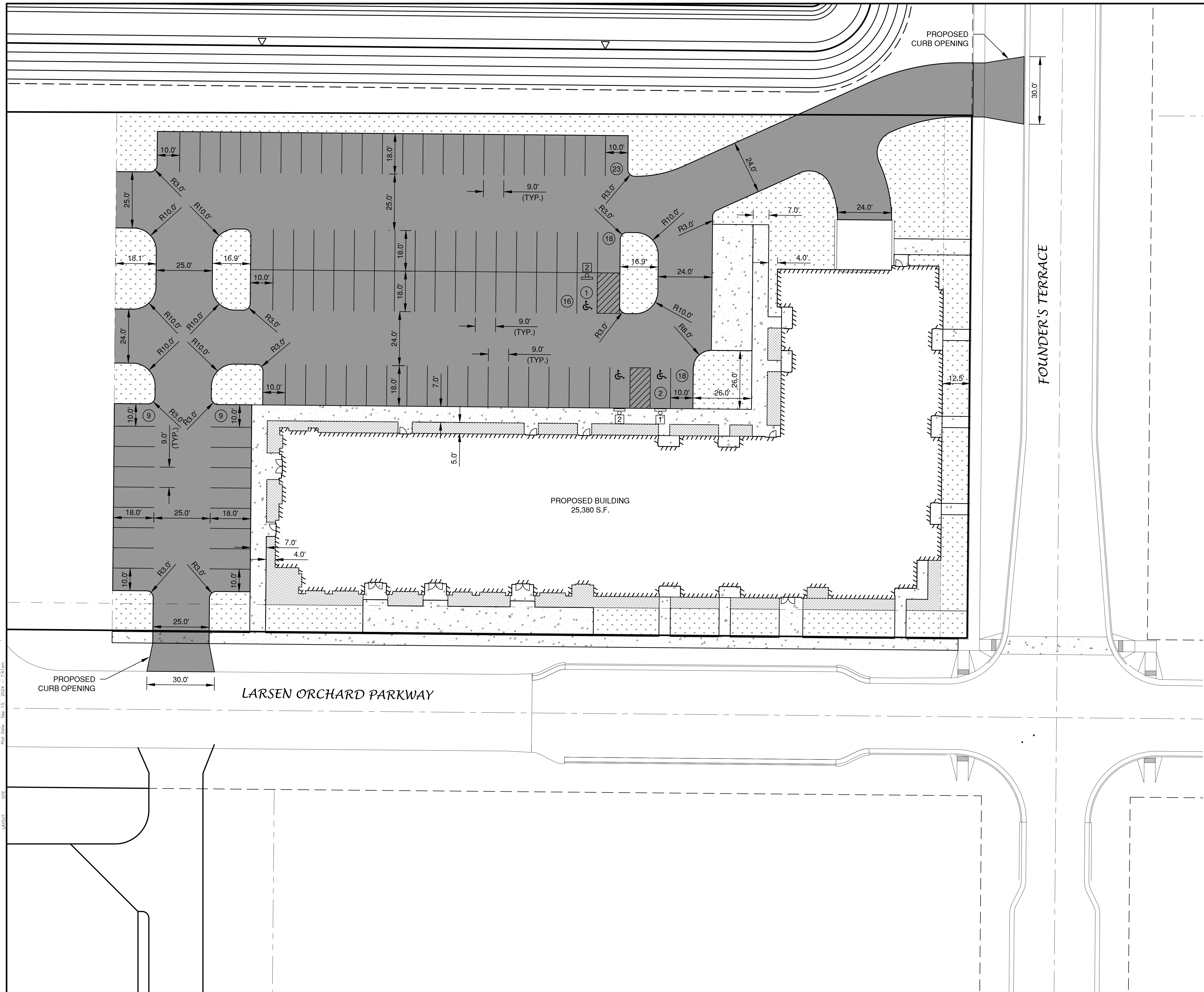
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								CHECKED
								DESIGNED
								JSS

MULTI-USE DEVELOPMENT FOR  
 BAYLAND BUILDINGS, INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

OVERALL SITE PLAN

DATE  
 08/20/24  
 FILE  
 BASE MAP  
 JOB NO.  
 2055539

**Robert E. Lee**  
 & Associates, Inc.  
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



**LEGEND**

- CONCRETE PAVEMENT (S.F.)
- ASPHALT PAVEMENT (LIGHT) (S.F.)
- ASPHALT PAVEMENT (HEAVY) (40,048 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- PROPOSED 18" MOUNTABLE CURB AND GUTTER
- PROPOSED 18" MOUNTABLE SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK
- LIGHT POLE (1 LAMP)
- LIGHT POLE (2 LAMPS)
- LIGHT POLE (3 LAMPS)
- LIGHT POLE (4 LAMPS)

\*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

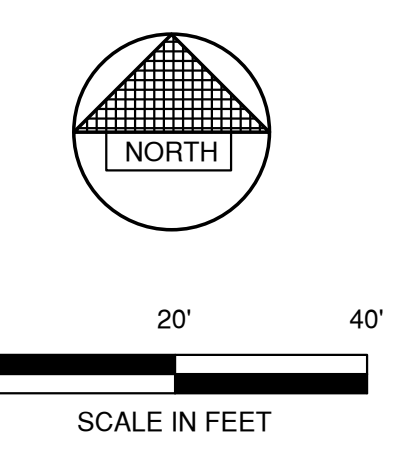
**NOTE**  
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**PARKING DATA**  
TOTAL PARKING STALLS PROVIDED = 94 (SURFACE), 66 (UNDERGROUND)  
HANDICAP ACCESSIBLE PARKING STALLS = 3 (SURFACE), 3 (UNDERGROUND)  
TOTAL PARKING STALLS PROVIDED = 160

**SITE DATA**  
TOTAL NUMBER OF UNITS = 66  
TOTAL AREA = 2.01 ACRES, 87,556 S.F.  
TOTAL RETAIL AREA = 0.22 ACRES, 9,714 S.F.  
BUILDING AREA = 0.58 ACRES, 25,380 S.F. (29%)  
SIDEWALK/PARKING LOT AREA = 1.13 ACRES, 49,085 S.F. (56%)  
GREEN SPACE = 0.30 ACRES, 13,091 S.F. (15%)

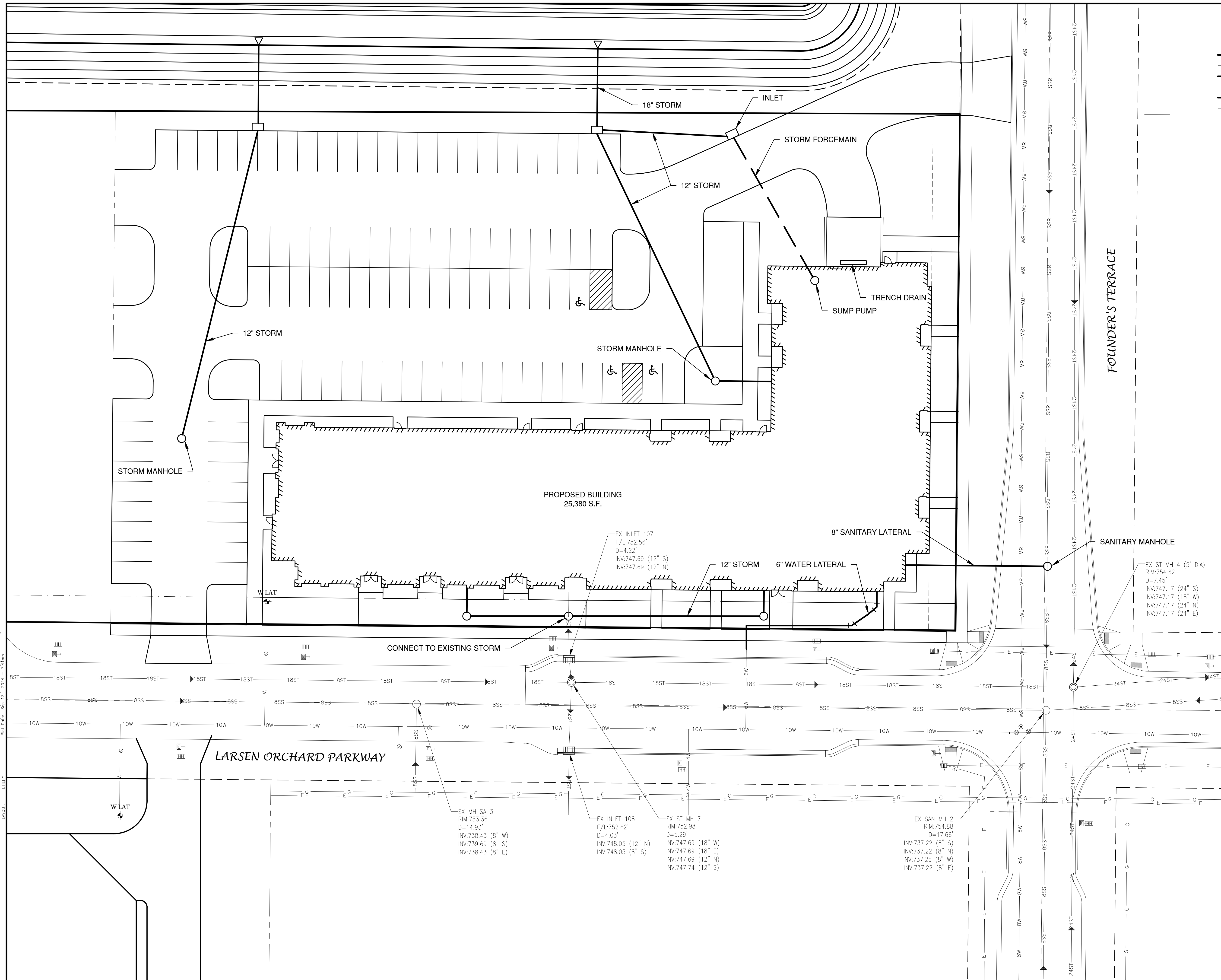
**ZONING**  
PLANNED DEVELOPMENT DISTRICT 1

**PARCEL NO.**  
HB-3260



FILE: P:\2020\2025\20250530\445\BASE MAP.dwg  
PLOT DATE: Sep 13, 2024 7:31 AM  
SITE  
LAYOUT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	MULTI-USE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	SITE PLAN	DATE 08/20/24	 1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com	SHEET NO. <b>2</b>
								CHECKED			FILE BASE MAP		
								DESIGNED JGS			JOB NO. 2055539		



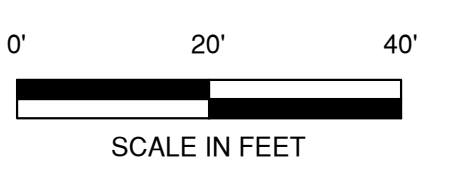
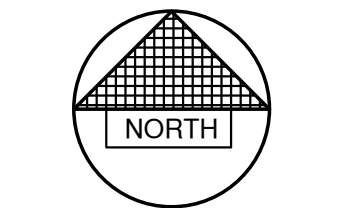
**LEGEND**

- PROPOSED SANITARY SEWER
  - EXISTING SANITARY SEWER (SIZE NOTED)
  - PROPOSED STORM SEWER
  - EXISTING STORM SEWER (SIZE NOTED)
  - - - PROPOSED WATERMAIN
  - EXISTING WATERMAIN (SIZE NOTED)
- 
- PROPOSED
  - EXISTING
  - ⊙ FIRE HYDRANT
  - ⊙ WATER VALVE
  - ⊙ CURB STOP
  - ⊙ WATER MANHOLE
  - ▽ REDUCER/INCREASER
  - SANITARY MANHOLE
  - LIFT STATION
  - TRACER WIRE SIGNAL CONNECTION BOX
  - CLEANOUT
  - ⊙ STORM MANHOLE
  - ⊙ STORM INLET (NOT IN CURB AND GUTTER)
  - ⊙ STORM INLET (IN CURB AND GUTTER)
  - ⊙ STORM INLET MANHOLE
  - ⊙ YARD DRAIN
  - ⊙ STANDPIPE
  - ⊙ ROOF DOWNSPOUT
  - DISCHARGE STRUCTURE

**NOTE**

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.

File: P:\2024\20240529\20240529\_445\_BASE\_MAP.dwg  
 Plot Date: Sep 13, 2024 8:29:41 AM  
 Utility  
 Layout



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: LLP  
 CHECKED: [Signature]  
 DESIGNED: JSS

MULTI-USE DEVELOPMENT FOR  
 BAYLAND BUILDINGS, INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

DATE: 08/20/24  
 FILE: BASE MAP  
 JOB NO.: 20240529

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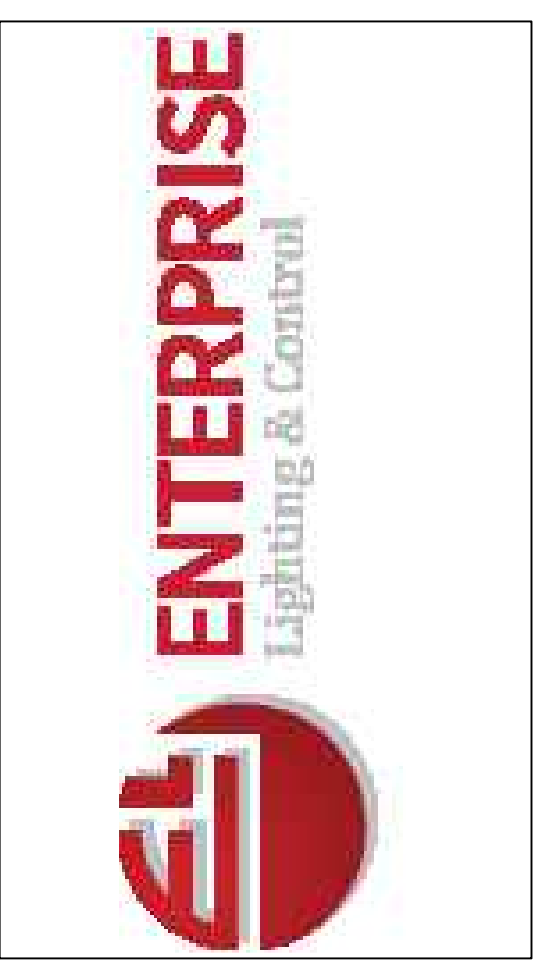
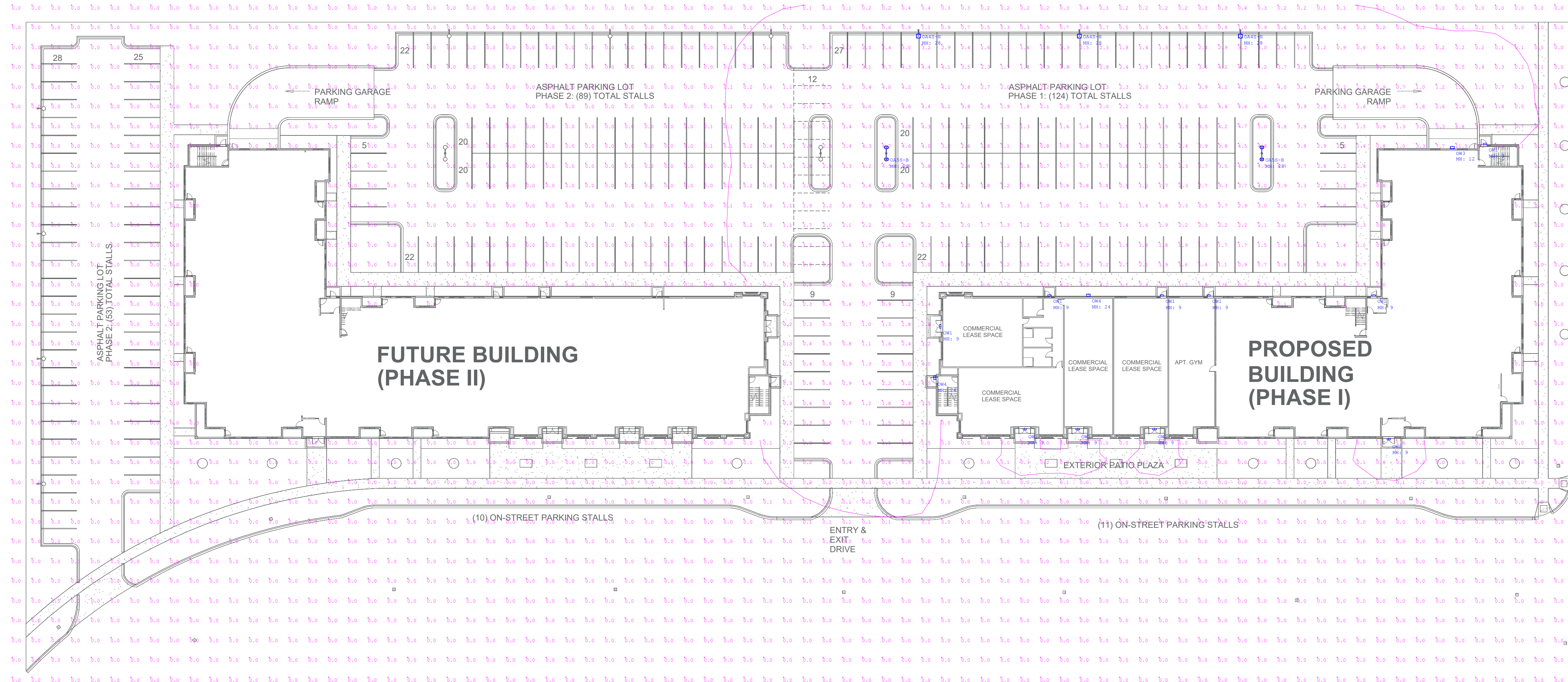


NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
  - Color Temperature is 4000K
  - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
  - Wall sconces are mounted at 7 feet for calculations.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.48	11.5	0.0	N.A.	N.A.
PHASE 1 PARKING & DRIVES	Illuminance	Fc	2.24	6.8	0.2	11.20	34.00

Luminaire Schedule									
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts	Lum. Lumens	
3	OA4S-H	SINGLE	0.950	LITHONIA	RSX1 LED P3 xxK R4S (Voltage) (Mounting) HS (Finish) -25FT POLE + 3FT BASE	109.44	328.32	9611	
2	OA5S-B	BACK-BACK	0.950	LITHONIA	RSX1 LED P3 xxK R5S (Voltage) (Mounting) (Finish) -25FT POLE + 3FT BASE	109.44	437.76	14778	
10	OW1	SINGLE	0.641	CANARM	LOL285BK	6.2384	62.384	815	
1	OW3	SINGLE	0.950	LITHONIA	WDGE3 LED P2 xxK 70CRI RFT SRM (Finish)	59.2761	59.2761	8597	
2	OW4	SINGLE	0.950	LITHONIA	WDGE4 LED P1 xxK 70CRI RFT SRM (Finish)	76.21	152.42	12050	



#	DATE	COMMENTS

REVISIONS

DRAWN BY : DC	DATE : JULY 11, 2024	SCALE : 1/32" = 1'-0"
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BAY RIDGE MULTI FAMILY	HOBART, WISCONSIN	SITE LAYOUT
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