

Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday May 26<sup>th</sup> 2021 at 5:30 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 21<sup>st</sup> day of May, 2021 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

## MEETING NOTICE – SITE REVIEW COMMITTEE

**Date/Time: Wednesday May 26<sup>th</sup> 2021 (5:30 P.M.)**

**Location: Village Office, 2990 South Pine Tree Road**

### ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the April 21<sup>st</sup> 2021 meeting (Page 3)
4. Public Comment on Non-Agenda Items.

### ACTION ITEMS

#### **5. DISCUSSION AND ACTION – Request for a new 1,024 square foot detached accessory building (1200 Centennial Centre Blvd., HB-2490) (Page 7)**

This property is currently developed as a multi-tenant office building and the property owner is proposing to construct a 1,024 square foot detached accessory building to be utilized for additional storage. There are no additional alterations planned to the site as the proposed location of this new accessory building will be in the area of existing trees/greenspace and no parking stalls will be affected with this site improvement.

#### **6. DISCUSSION AND ACTION - Request for new wall signage (560 Centennial Centre Blvd., HB-3207) (Page 17)**

A portion of the multi-tenant building located at 560 Centennial Centre Blvd. was developed back in 2019 to include a tenant space for a fitness center. A small portion of the fitness center was recently remodeled for a separate business to operate as a nutrition center. With the nutrition center having access from both within the fitness center and directly from the exterior, the business owner is requesting install a wall sign on the south elevation of the building above the tenant space main entry door.

#### **7. DISCUSSION AND ACTION - Conceptual site layout of a new 3,396 square foot commercial building and associated site improvements (550 Centennial Centre Blvd., HB-3208) (Page 21)**

The request that is before the committee at this time is for the approval of the site layout and building elevations in concept only. The proposed new 3,396 square foot building will be constructed in the southwest corner of the property. Access to the site will be through an existing ingress/egress from Centennial Centre Blvd. with the plan to construct an additional ingress/egress point from Larsen Orchard Parkway. The developer is requesting approval from the committee on the conceptual site layout with the full submittal being planned for a future meeting.

#### **8. DISCUSSION AND ACTION - Consider a 136 unit, 8 building leased residential development with associated site improvements (1260-1274 Lear Ln., HB-L159) (Page 32)**

PDK Investments, LLC is proposing to construct a second phase to their original development which would consist of 4- 14-unit two story buildings and 4-20-unit two story building totaling 136 new leased residential units. Additionally, there are 4-16 unit detached garage building to accommodate the 20-unit buildings as these building only contain 4 attached garages per structure. Access to the new phase will utilize the existing ingress/egress from Lear Ln. that serves the existing development. To maintain continuity along the west property line, the developer is proposing to extend the fencing and tree planting to establish a buffer between this new multi-family residential area and the single-family residential properties to the west.

### 9. ADJOURN

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg (Chairperson), Debbie Schumacher, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Merlin Zimmer, Steve Riley

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



**Village of Hobart Site Review Committee Minutes  
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI  
Wednesday, April 21, 2021 – 5:30 pm**

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**1. Call to Order, Roll Call:**

The meeting was called to order by Dave Dillenburg at 5:32pm. Roll call: Dave Dillenburg, aye; Debbie Schumacher, aye; Steve Riley, aye; Dave Baranczyk, aye; Merlin Zimmer, excused; Rick Nuetzel, excused; Tom Tengowski, aye.

**2. Verify/Modify/Approve Agenda:**

Motion by Debbie Schumacher, second by Dave Baranczyk, to approve the agenda as presented. All in favor. Motion carried.

**3. Approval of Site Review Minutes:**

Motion by Tom Tengowski, second by Debbie Schumacher, to approve the site review minutes for March 17, 2021.

**4. Public Comment on Non-Agenda Items:**

None.

**5. Proposed new 6,000 sf., cold storage building and associated site improvements (774 W. Adam Drive, HB-139-3):**

**GENERAL INFORMATION**

1. Owner / Developer: DeNoble Sewer & Water
2. Applicant / Agent: Brandon Robaidek, Robert E. Lee & Associates, Inc.
3. Address / Parcel: 774 W Adam Dr., HB-139-3
4. Zoning – I-1: Limited Industrial
5. Use: Cold Storage Building

**BACKGROUND**

The property owner is proposing to construct a new 6,000 square foot building towards the rear of their complex that would be utilized as a cold storage building. This new building is planned to be very similar to the storage building that was constructed back in 2017 relative to the exterior building materials and will be located directly to the west of the existing building. This new building will be accessed through the existing construction yard and new concrete pavement will be placed adjacent to the building to provide clear access to this new building.

**SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST**

**Section 1, Site Plan Approval**

- A. **Zoning:** I-1: Limited Industrial District
- B. **Green Space:** 36% green space (building being located in area that is currently gravel)

- C. **Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (Approx. 550' from W. Adam Dr. right-of-way, 293' from rear (north property line), 50' from the west property line, and 100' from the east property line)
- D. **Parking:** No changes (cold storage building)
- E. **Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- H. **Storm Water:** Storm water will consist of an existing dry storage basin to the northern end of the parcel and an underground storage area located on the south side of the parcel to treat the pollutants and peak discharge.
- M. **Refuse Collection:** No changes from current operation.

## Section 2, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Materials:** Wood framed building (to match existing)
2. **Exterior Materials:** All four building elevations will consist of metal wall panels with a different color panel around the base of the building and extending up approximately 3' from grade.
3. **Height:** Eave height of 16' with an overall height of 26' to peak of roof system.
4. **Overhead doors:** There will be two at grade overhead door on the south elevation that face into the contractor yard (note: the architectural plans submitted are from the building submitted back in 2017 and the overhead doors and service doors do not depict the correct locations, the floor plan has the correct door layout).
5. **Mechanical equipment:** No mechanical equipment proposed as this is a cold storage building.

**Section 3, Landscaping Plan:** Majority of the site has mature trees and planting. There are mostly foundation plantings proposed along with 5 new trees to help screen for the off-ramp from HWY 29

**Section 4, Lighting:** There will be three additional smaller light poles (very similar to the light poles along Centennial Centre Blvd.) installed in the east and north side of the parking area in addition to the wall mounted light fixtures on the proposed building.

**Section 5, Signage:** No signage proposed at this time and any future proposed signage would be required to be submitted for approval at a later date.

**Section 6, Driveway-Curb Cut:** No change, existing to be utilized.

## ACTION

Motion by Debbie Schumacher, second by Steve Riley, to approve the new 6,000 square foot building and limited site improvement as submitted.

All in favor. Motion carried.

6. **Proposed new 2 story, 23,595 sf., office building and associated site improvements (1256 Centennial Centre Blvd., HB-2412):**

**GENERAL INFORMATION**

1. Owner/Developer: Lexington Homes, Inc.
2. Applicant/Agent: Robert E. Lee & Associates, Inc.
3. Address/Parcel: 1256 Centennial Centre Blvd., HB-2412
4. Zoning: B-1: Community Business District
5. Use: Office

**BACKGROUND**

This same development was before the Committee most recently back on April 15, 2020 and received conditional approval on a 17,014 square foot building with underground parking. The underground parking has since been removed and replaced with an additional 6,581 square feet of building area at grade level which does include an approximately 1,254 square foot garage area and additional office space. Other than this modification, there are no other changes to building or site improvements from the 2020 submittal. Additionally, since the Site Plan Approval expires at 12 months following any approval, the project needed to be resubmitted as the 12 month timeframe expires on April 15, 2021.

**SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST****Section 1, Site Plan Approval**

- C. Zoning:** B-1: Community Business District
- D. Green Space:** 46.8% green space, exceeding the 25% requirement (REL sheet 2)
- F. Setbacks:** Compliant with zoning district required setbacks (code/(proposed) – Front 40/(172), Side 10/(10/19.5), Rear 15/(55)) (REL sheet 2)
- G. Parking:** One parking space shall be provided for each 300 square feet of floor area for the first 8,000 square feet of gross floor area. One additional parking space shall be furnished for each 700 square feet or fraction thereof for the next 12,000 square feet of total floor area, and one additional parking space shall be provided for each 1,000 square feet, or fraction thereof, for total area in excess of 20,000 square feet. One parking space shall also be provided for each staff member or employee on the maximum shift. With this additional 23,595 square feet, the site is required to have a minimum of 67 stalls (47 based on square footage and 1 per 20 employees on site) and the site is proposed to have 88 stalls.
- H. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- I. Storm Water:** Stormwater from the proposed building and parking areas will be collected by the existing stormwater basin in the middle of the parking lot before being discharged to the creek running along the south side of the site. The on-site infiltration basin will treat the stormwater for TSS removal and peak discharge.
- B. Refuse Collection:** None shown, no changes from current operation.

**Section 2, Architectural Plan Approval**

**A. Exterior Construction Information:**

1. **Materials:** Wood framed building.
2. **Exterior Materials:** This was approved at the September 2019 meeting and consists of stone veneer and vinyl siding (similar to that utilized on the multi-family structures
3. **Height:** Overall height of 24'
4. **Overhead doors:** One small garage door to access garage area
5. **Mechanical equipment:** If located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping

**Section 3, Landscaping Plan:** No changes proposed from existing as this building will be constructed over an existing gravel area and screened from the side view by another existing building and mature evergreen trees planted along the property line.

**Section 4, Lighting:** None noted, as there is existing pole lighting located in the yard.

**Section 5, Signage:** No signage submitted as the site currently has a monument sign near the front entrance.

**Section 6, Driveway-Curb Cut:** Existing with no changes proposed.

**ACTION**

Motion by Dave Dillenburg, second by Debbie Schumacher, to approve the new 2 story, 23,595 sf., office building and associated site improvements as submitted subject to the following conditions:

1. Any future proposed signage would be required to be submitted for approval at a later date
2. Refuse/Recycling containers whether existing or proposed shall be screened from public view
3. Overhead garage door shall be of a color to blend with the main colors of the building
4. Mechanical equipment if located on the roof or ground, shall be screened from view by materials compatible with the building or landscaping

All in favor. Motion carried.

**7. Adjourn:**

Motion by Debbie Schumacher, second by Tom Tengowski, to adjourn. All in favor. Motion carried. Meeting adjourned at 5:50pm.



**TO:** Site Review Committee

**RE:** 1200 Centennial Centre Blvd., HB-2490; New 1,024 Square Foot Detached Accessory Building

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** May 26, 2021

**ISSUE:** Discussion and action on a request for a new 1,024 square foot detached accessory building

**RECOMMENDATION:** Staff recommends conditional approval in addition to any conditions the Committee may identify

### **GENERAL INFORMATION**

1. Developer: Andrew Hermsen
2. Applicant: Andrew Hermsen
3. Address/Parcel: 1200 Centennial Centre Blvd. / HB-2490
4. Zoning: B-1: Community Business District
5. Use: Business/Storage

### **BACKGROUND**

This property is currently developed as a multi-tenant office building and the property owner is proposing to construct a 1,024 square foot detached accessory building to be utilized for additional storage. There are no additional alterations planned to the site as the proposed location of this new accessory building will be in the area of existing trees/greenspace and no parking stalls will be affected with this site improvement.

### **SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST**

#### **Section 3, Site Plan Approval**

- A. Zoning:** PDD #1: Centennial Centre at Hobart District
- B. Green Space:** Over 50% green space
- C. Setbacks:** Compliant with zoning district minimum requirements of 40' front, 50' rear (DOT Setback), 10' side
- D. Parking:** 24 existing (no change)
- E. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief as submitted
- F. Storm Water:** No change proposed as area will sheet drain to lower area on property and into the ditch along HWY 29
- G. Refuse Collection:** No change proposed as the existing facilities on-site will be utilized.

## Section 4, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Materials:** Wood framed building.
2. **Exterior Materials:** All four building elevations will consist of lap siding of colors to compliment the primary office building. The existing office building is all brick, however, the lap siding is similar to that on the office building adjacent to this property.
3. **Height:** Overall height of 18' to peak of roof system
4. **Overhead doors:** Maximum of three overhead doors that will be facing into the complex, not towards the street
5. **Mechanical equipment:** No mechanical equipment, unconditioned storage building

**Section 5, Landscaping Plan:** With some mature trees being removed to allow room for the proposed building, the building should be screened from the other remaining mature trees in that area.

**Section 6, Lighting:** No change, utilizing existing lighting on site. If additional lighting is installed in the future, lighting shall be limited to wall mounted fixtures that minimize light trespass and glare from property.

**Section 7, Signage:** No change, none proposed

**Section 8, Driveway-Curb Cut:** No change, existing to be utilized.

## RECOMMENDATION/CONDITIONS

Staff recommends conditional approval, subject to the following in addition to any conditions the Site Review may identify:

1. Any lighting installed in the future shall be limited to wall mounted fixtures that minimize light trespass and glare from property.



## VILLAGE OF HOBART

SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS  
PROCESS & APPROVAL

## PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

## 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

1200 Centennial Centre Blvd

HOBART, WI 54155

## 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 67,469 SQ FT

Size of facility(square footage): 850-1,000 SQ FT

Type of facility: ACCESSORY BUILDING

Developer: ANDREW HERMSEN

Address: 1200 CENTENNIAL CENTRE BLVD Phone: 920-445-3301

Engineer: N/A

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Contractor: Hermesen Home Construction

Construction Firm: Tom Hermesen

Address: 2439 West Point Rd, 6B 54304 Phone: 920-360-7436

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial \_\_\_ Business Park \_\_\_ Commercial X

Multi-Family \_\_\_

Current Zoning: G2

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES \_\_\_\_\_ NO

% of Green Space: 75%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale) ATTACHED

C. Setback Information: 15 FT REAR Complies with Ordinance: \_\_\_\_\_

D. # of parking stalls ( Include Handicapped parking): N/A

E. Show the following Utilities and all easements including but not limited to the following facilities types:

- 1) Electric underground  overhead
- 2) Natural Gas
- 3) Telephone
- 4) Water / Fire Hydrants
- 5) Fiber Optic Lines
- 6) Other transmission lines \_\_\_\_\_
- 7) Ingress – egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance  YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: \_\_\_\_\_ YES \_\_\_\_\_ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_ YES \_\_\_ NO
  - 2) Not applicable \_\_\_\_\_

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan. *NO*
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:

\_\_\_\_\_

- J. Sidewalks, walkways, and driveways:
- K. Off street loading areas and docks:  *N/A*
- L. Fences and retaining walls or berms:

- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

\_\_\_\_\_

- N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

4. ARCHITECTURAL PLAN APPROVAL

- A. Exterior construction information:

- 1) Type of Construction Materials: WOOD FRAME / CONCRETE PAD
- 2) Exterior Materials: LP SMARTSIDE IN EARTH TONE / COLOR
- 3) Height of Facility: 16 FT
- 4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)
- 5) Other unique characteristics: N/A

5. **LANDSCAPING PLAN** *N/A UNLESS REQUIRED*

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

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Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

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Identify Buffering -Type – Quantity:

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6. **LIGHTING PLAN** *N/A*

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

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Identify Parking Lighting – Quantity – Wattage – Location :

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Identify other Lighting – Quantity – Wattage – Location:

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7. SIGNAGE

Provide scaled drawings.

Provide Site Plan for signage

*N/A*

Provide building elevations with signage.

Discussion: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. DRIVEWAY – CURB CUT

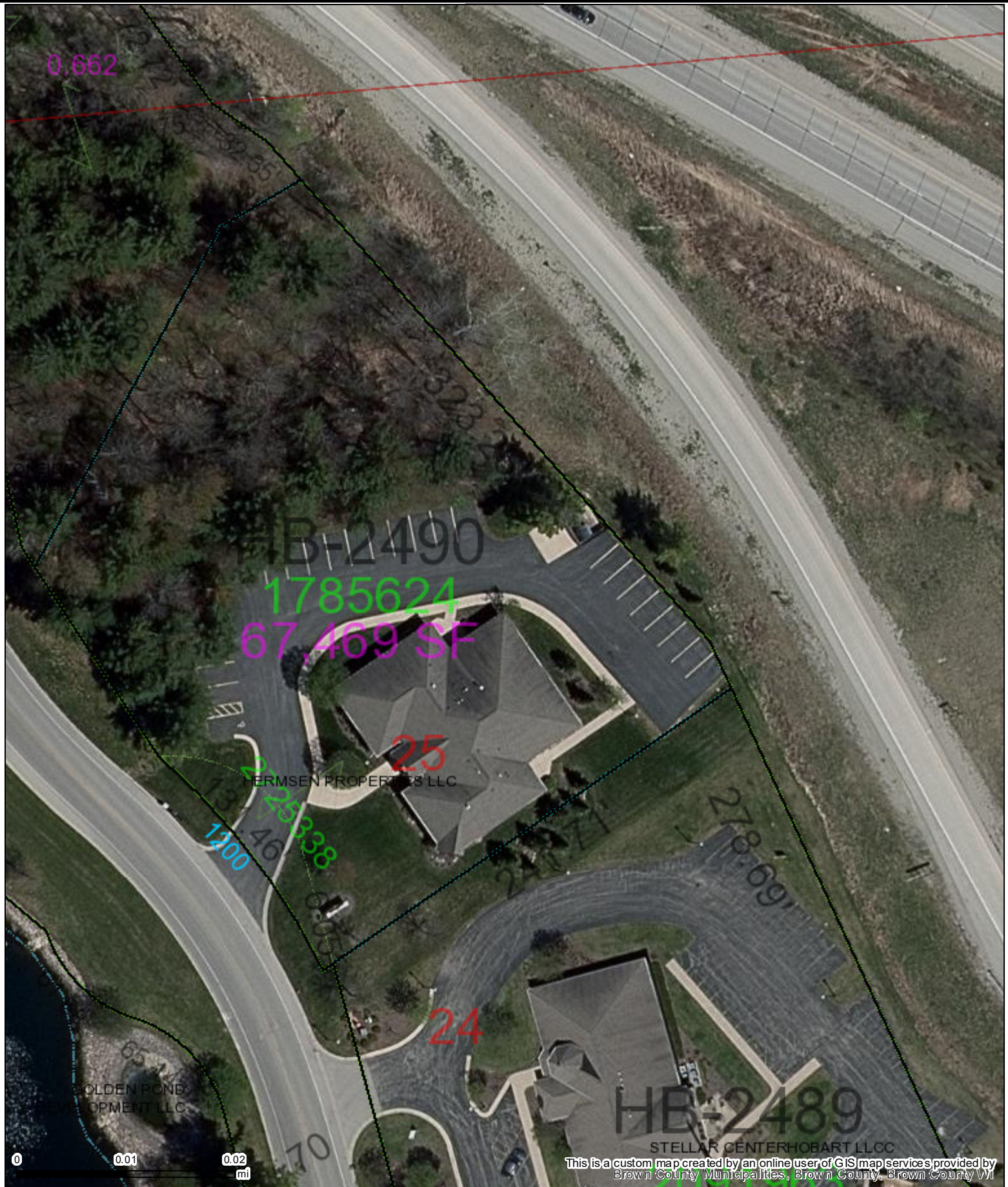
*N/A - USING EXISTING PARKING LOT*

Width of Curb Cut: \_\_\_\_\_

Radius / Flare: \_\_\_\_\_

Apron Dimensions: \_\_\_\_\_

Culvert Size (End-walls Required) \_\_\_\_\_



### Part of Brown County WI

Map printed on 5/19/2021

**1:720**  
**1 inch = 60 feet\***  
**1 inch = 0.0114 miles\***  
*\*original page size: 8.5"x11"*  
*Appropriate format depends on zoom level*



#### Parcel ownership key

- Parcel Boundary
- Condominium
- Gap or Overlap

- Parcel line
- Right of Way line
- Meander line
- Lines between deeds or lots
- Historic Parcel Line
- Vacated Right of Way

"hooks" indicate parcel ownership crosses a line

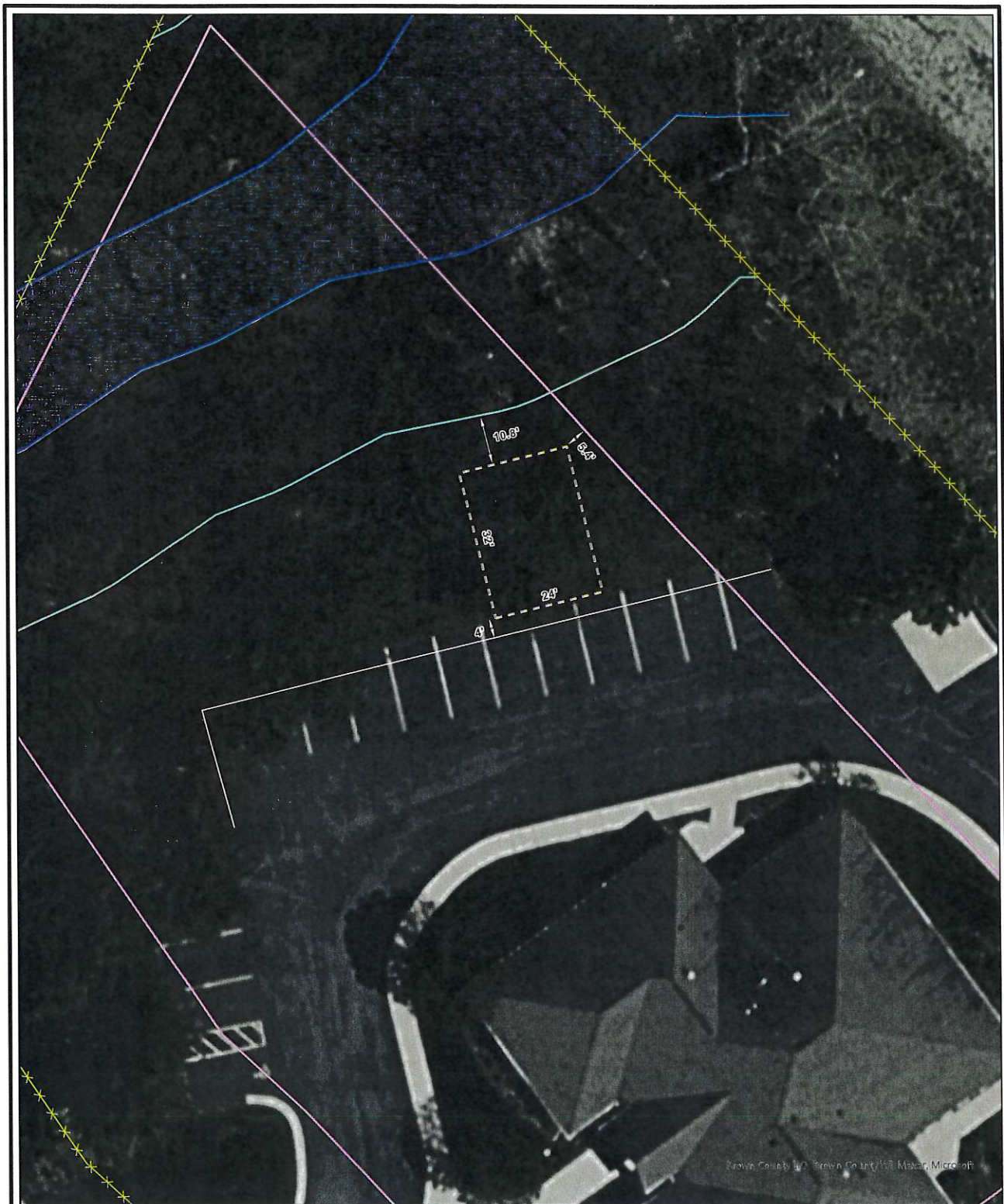
- SC-190-2 Parcel ID Number
- 2880257 Document Number
- 0.814 AC Area of parcel
- 279.8' Line Distance
- 3547 Address

This is a custom map created by an online user of GIS map services provided by Brown County Municipalities, Brown County, Brown County WI



A complete key (legend) is available at:  
<https://tinyurl.com/BrownDogKey>

(920) 448-6480  
 maps.gis.co.brown.wi.us



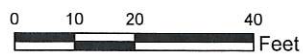
**Legend**

-  Site Boundary
-  Wetland Line
-  Wetland
-  Setback
-  35' ESA Setback
-  Located Pavement
-  Proposed Shed
-  Parcels

Wetland Delineation was conducted by Chad Fradette, EP, Chem, WDNR Professionally Assured Wetland Delineator with assistance from Shyann Banker, Environmental Specialist and Brandon Wegner, Environmental Technician.

**1200 Centennial Centre  
Shed Site Plan  
1200 Centennial Centre Boulevard  
Village of Hobart  
Brown County, WI**

Project: BRN21-130-01



2918 Van Hooft Road • Green Bay, WI 54313

Phone: 920.615.0019 • Website: [www.evergreenwis.com](http://www.evergreenwis.com)







**TO:** Site Review Committee

**RE:** 560 Centennial Centre Blvd., HB-3207; Sign Package for New Tenant

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** May 26, 2021

**GENERAL INFORMATION**

**ISSUE:** Discussion and action on a request for new wall signage

**RECOMMENDATION:** Staff recommends approval subject to any conditions the Committee may identify.

1. Developer: Elite Nutrition
2. Applicant: Kristy Courtois, Fast Signs
3. Address/Parcel: 560 Centennial Centre Blvd. / HB-3207
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: Business

**BACKGROUND**

A portion of the multi-tenant building located at 560 Centennial Centre Blvd. was developed back in 2019 to include a tenant space for a fitness center. A small portion of the fitness center was recently remodeled for a separate business to operate as a nutrition center. With the nutrition center having access from both within the fitness center and directly from the exterior, the business owner is requesting install a wall sign on the south elevation of the building above the tenant space main entry door.

The proposed wall sign would be 18 square feet (36" high by 72" wide) and be constructed of aluminum face materials. The sign would be non-illuminated and mounted above the tenant space on the south elevation of the building fronting Centennial Centre Blvd. Based on the standards in the Village Sign Code, wall signage for individual tenants in a multi-tenant building shall not exceed 10% of the area of the tenant building wall, including doors and windows, to which the sign is affixed or 60 square feet, whichever is less. The tenant wall space is 17' wide and an average of 12' in height for a total of 204 square feet. Per ordinance, 10% of this would be 20.4 square feet and with the sign only being 18 square feet total, the proposed wall sign would be in compliance with the Village Sign Code.

**RECOMMENDATION/CONDITIONS**

Staff recommends approval of the proposed 18 square foot wall sign to be mounted on the south elevation of the building as submitted.



**Building Permit Application**  
 Permit Number \_\_\_\_\_  
 (Assigned by Village Personnel)

Village of Hobart  
 Dept of Neighborhood Services  
 2990 S Pine Tree Rd  
 Hobart WI 54155  
 Phone: (920) 869-3809  
 Fax (920) 869-2048

**Project Address** 560 Centennial Blvd, Hobart, WI **Parcel Number** \_\_\_\_\_  
**Applicant is the:**  Owner OR  Contractor  
**Use Category:**  Single Family  Duplex  Multi-Family  Commercial  Industrial  Agricultural

Owner's Name: <u>Laura Bender</u> e-mail: <u>laura.m.bender@hotmail.com</u>		Mailing Address: <u>560 Centennial Center Blvd Ste 130 Hobart, WI 54155</u>	Tel: Fax: Mobile:
Building Contractor Name: <u>Fastsigns</u> e-mail: <u>356@fastsigns.com</u>	Lic#  Qualifier#	Mailing Address: <u>2665 S. Oneida St. Ste. C Green Bay, WI 54304</u>	Tel: Fax: Mobile: <u>920-609-8322</u>
Electrical Contractor Name:  e-mail: <u>NA</u>	Lic#	Mailing Address:	Tel: Fax: Mobile:
HVAC Contractor Name:  e-mail: <u>NA</u>	Lic#	Mailing Address:	Tel: Fax: Mobile:
Plumbing Contractor Name:  e-mail: <u>NA</u>	Lic#	Mailing Address:	Tel: Fax: Mobile:

- Work being done:**
- |  |  |  |   |
|--|--|--|---|
| <input type="checkbox"/> New Structure       | <input type="checkbox"/> Addition            | <input type="checkbox"/> Deck/Porch/Patio              | <input type="checkbox"/> Driveway/Parking |
| <input type="checkbox"/> External Remodeling | <input type="checkbox"/> Internal Remodeling | <input type="checkbox"/> Garage/Utility Structure      | <input type="checkbox"/> Handicap Ramp    |
| <input type="checkbox"/> Hot Tub/Spa         | <input type="checkbox"/> Fence/Kennel        | <input checked="" type="checkbox"/> Sign/Canopy/Awning | <input type="checkbox"/> Stove/Fireplace  |
| <input type="checkbox"/> Swimming Pool       | <input type="checkbox"/> Wrecking Permit     | <input type="checkbox"/> Other _____                   |   |

**Additional information, such as plan submittal and approval, may be required before issuance.**

**Scope of work:** New sign attached to building

**Any work not included in this application is not permitted.**

**Total Value of Project \$** 418.00 (Value of materials & labor is required to ensure consistency in assessing permit fees.)

Breakdown of values: Bidg \_\_\_\_\_ Elec / Plumb - HVAC /

*I certify the above information is complete and accurate. I agree to perform the work in conformance to all approval conditions & applicable codes/ordinances.*

Applicant Name: Kristy Courtois (Fastsigns)  
 (Please print)

Signature: Kristy Courtois

Date: 4-22-2021

Issued By: _____
Date: _____

Copy to: Property File Applicant Assessor Inspector Permit File **Total Fees Collected:** \_\_\_\_\_ **Check #** \_\_\_\_\_

**FASTSIGNS**  
 More than fast. More than signs.<sup>SM</sup>

2685 S. Okeada St., Suite C  
 Green Bay, Wisconsin

p. 920.490.8900  
 e. info@fastsigns.com  
 fastsigns.com/354

Class: The Fitness Center  
 Contact:  
 Project:  
 Date:  
 Name:  
 Address:  
 File:

**ITEM DESCRIPTION**

Quantity: 1  
 Material:  
 Substrate:

Project description:

FASTSIGNS is not responsible for any errors or omissions in this proof. It is the customer's responsibility to review all information carefully before approving. FASTSIGNS reserves the right to make any necessary changes to this proof without notice.

72" W x 36" H

*Elite*  
 NUTRITION

file from customer

**PROOF # 1** PLEASE READ & REVIEW ALL BEFORE APPROVING: Spelling, Phone Numbers, Addresses, Grammar, Punctuation, Dates, Times, Colors, Material, Item Numbers, etc. be accurate **BEFORE APPROVING**. Every effort is made to be as accurate as possible, but the final responsibility is yours. If you have changes during the proofing stage, **PLEASE BUNDLE CHANGES**. We allow **THREE FREE PROOF CHANGES** after that will be a 15% charge per proof change.





**TO:** Site Review Committee

**RE:** 550 Centennial Centre Blvd., HB-3208; New 3,396 Square Foot Commercial Building

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** May 26, 2021

**ISSUE:** Discussion and action on conceptual site layout of a new 3,396 square foot commercial building and associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval of this conceptual site layout along with any conditions the Committee may identify.

### GENERAL INFORMATION

1. Developer: Base Companies, LLC
2. Applicant: Bayland Buildings, Inc.
3. Address/Parcel: 550 Centennial Centre Blvd. / HB-3208
4. Zoning: PDD #1: Centennial Centre at Hobart District
5. Use: Business/Restaurant

### BACKGROUND

The request that is before the committee at this time is for the approval of the site layout and building elevations in concept only. The proposed new 3,396 square foot building will be constructed in the southwest corner of the property. Access to the site will be through an existing ingress/egress from Centennial Centre Blvd. with the plan to construct an additional ingress/egress point from Larsen Orchard Parkway. The developer is requesting approval from the committee on the conceptual site layout with the full submittal being planned for a future meeting. Village Staff has reviewed the submittal and is supportive of the site plan in concept.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### **Section 1, Site Plan Approval**

- A. **Zoning:** PDD #1: Centennial Centre at Hobart District
- B. **Green Space:** This is being worked on and will be submitted for approval at a later date.
- C. **Setbacks:** This is being worked on and will be submitted for approval at a later date. Per the PDD #1 zoning district, “minimum setbacks will be established per the design of the structure”.
- D. **Parking:** There appears to be sufficient area for parking on the site plan, however, restaurants require a minimum of parking stalls equal in number to 50% of the capacity in persons, plus one space for each employee.
- E. **Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted in concept by the Police Chief and Fire Chief with the understanding that additional comment/conditions may be submitted once the full submittal is received and reviewed at a later date.

**F. Storm Water:** This is being worked on and will be submitted for approval at a later date.

**G. Refuse Collection:** Proposed collection area is shown on this conceptual plan to be behind the proposed building. However, being that this site is near the round-a-bout, the enclosure will have high visibility from the roadway (Larsen Orchard Parkway) that runs alongside of this building, additional landscape screening should be planned along the west and north sides of the proposed enclosure.

## **Section 2, Architectural Plan Approval**

### **A. Exterior Construction Information:**

1. **Materials:** Wood framed building.
2. **Exterior Materials:** This is being worked on and will be submitted for approval at a later date.
3. **Height:**
4. **Overhead doors:**
5. **Mechanical equipment:** If located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping

**Section 3, Landscaping Plan:** This is being worked on and will be submitted for approval at a later date.

**Section 4, Lighting:** This is being worked on and will be submitted for approval at a later date.

**Section 5, Signage:** This is being worked on and will be submitted for approval at a later date.

**Section 6, Driveway-Curb Cut:** This is being worked on and will be submitted for approval at a later date.

## **RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any conditions the Site Review may identify:

1. Full submittal being reviewed and approved by the Site Review Committee at a later date;
2. Additional landscape screening should be planned along the west and north sides of the proposed refuse/recycling enclosure due to the high visibility from the roadway (Larsen Orchard Parkway) that runs alongside of this building
3. Any mechanical equipment if located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

ALL INFORMATION **MUST BE COMPLETE** PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

HB-3208

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 56,526

Size of facility(square footage): 3,396

Type of facility: Scott's Subs

Developer: BASE Comp LLC

Address: 340 N. Broadway Suite 460 Phone: 920-364-0834

Engineer: Bayland Buildings Inc.

Address: P.O. Box 13571 54307 Phone: 920-371-6200

Contractor: Bayland Buildings Inc.

Construction Firm: Bayland Buildings Inc.

Address: P.O. Box 13571 54307 Phone: (920) 371-6200

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial \_\_\_\_ Business Park \_\_\_\_ Commercial \_\_\_\_

Multi-Family \_\_\_\_

Current Zoning: \_\_\_\_\_

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES \_\_\_\_\_ NO

% of Green Space: 21% \_\_\_\_\_

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: \_\_\_\_\_ Complies with Ordinance: \_\_\_\_\_

D. # of parking stalls ( Include Handicapped parking): 60 TOTAL  
4 HC

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground  overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines \_\_\_\_\_

7) Ingress – egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance \_\_\_\_\_ YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: \_\_\_\_\_ YES \_\_\_\_\_ NO



- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_ YES \_\_\_ NO
  - 2) Not applicable \_\_\_\_\_

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:

\_\_\_\_\_

- J. Sidewalks, walkways, and driveways:
- K. Off street loading areas and docks:
- L. Fences and retaining walls or berms:

- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

WEST SIDE (see C-1) 10'-1" x 19'-6"

- N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

4. ARCHITECTURAL PLAN APPROVAL

- A. Exterior construction information:

1) Type of Construction Materials: WOOD

2) Exterior Materials: CLAPBOARD, STONE MASONARY

3) Height of Facility: 19'-8"

4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)

5) Other unique characteristics: \_\_\_\_\_

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

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Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

---

Identify Buffering -Type – Quantity:

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6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

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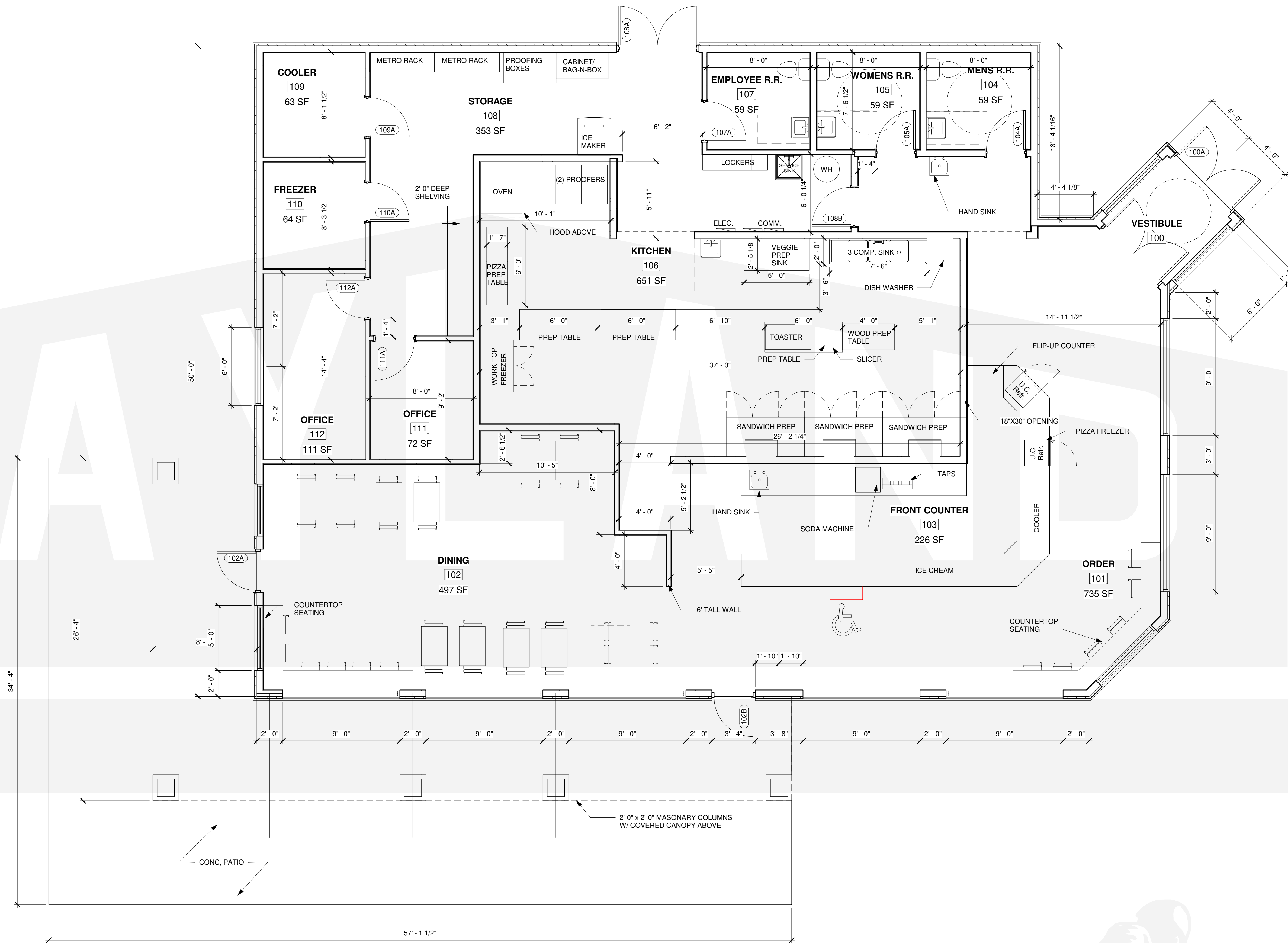
Identify Parking Lighting – Quantity – Wattage – Location :

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Identify other Lighting – Quantity – Wattage – Location:

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PROPOSED BUILDING FOR:

21-1833

HOBART WI, COUNTY OF: BROWN

**SCALE VERIFICATION**  
THIS BAR MEASURES 1" ON ORIGINAL.  
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO  
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER  
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AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND  
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION  
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING  
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF  
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY  
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-1833

PROJECT EXECUTIVE: NICK VAN LANEN  
(920) 680-8110

DRAWN BY: CRP

DATE: 05/13/21

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

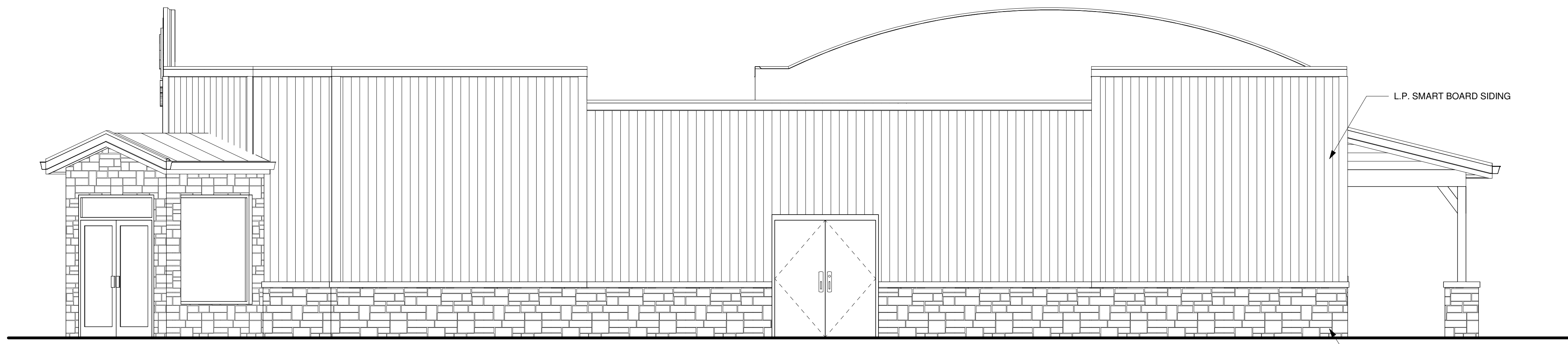
- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

OVERALL FLOOR PLAN

**A1.0**

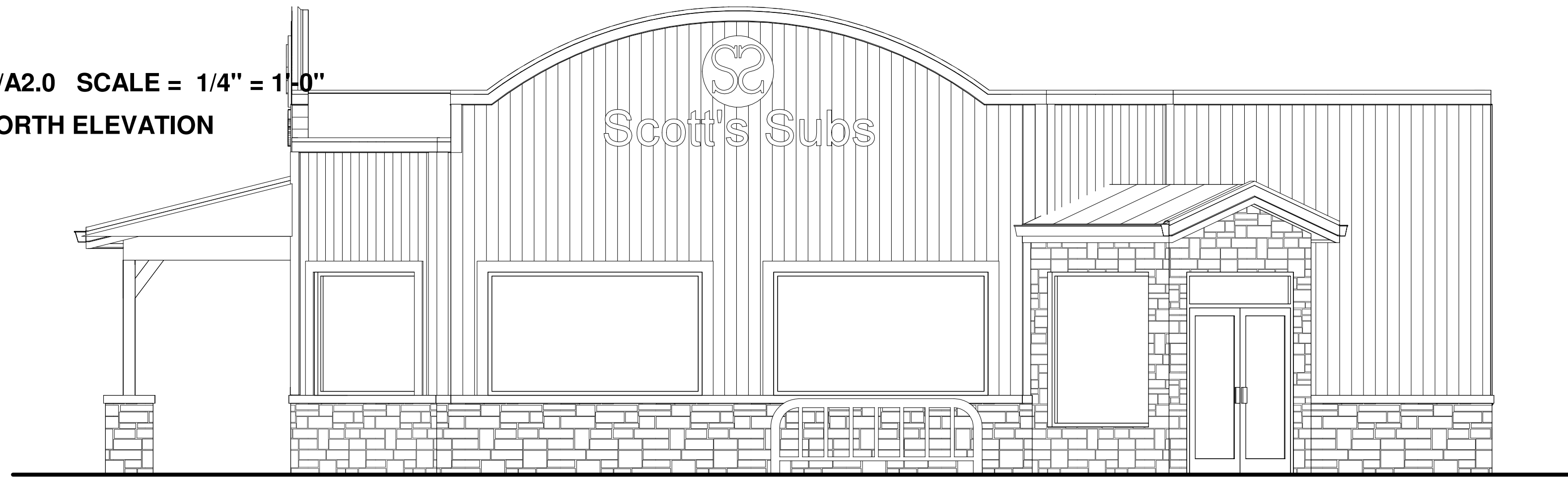
1/ A1.0 SCALE = 1/4" = 1'-0"  
OVERALL 1ST FLOOR PLAN

NOTES:  
1. ALL DIMENSIONS TO FACE OF STUD U.N.O.  
2. OVERALL SQFT: 3383.23



- T.O. HIGH PARAPET 116'-0"
- T.O. LOW PARAPET 114'-0"
- T.O. ROOF 112'-0"
- TRUSS BR'G 110'-0"
- FINISH FLOOR 100'-0"

2 /A2.0 SCALE = 1/4" = 1'-0"  
NORTH ELEVATION



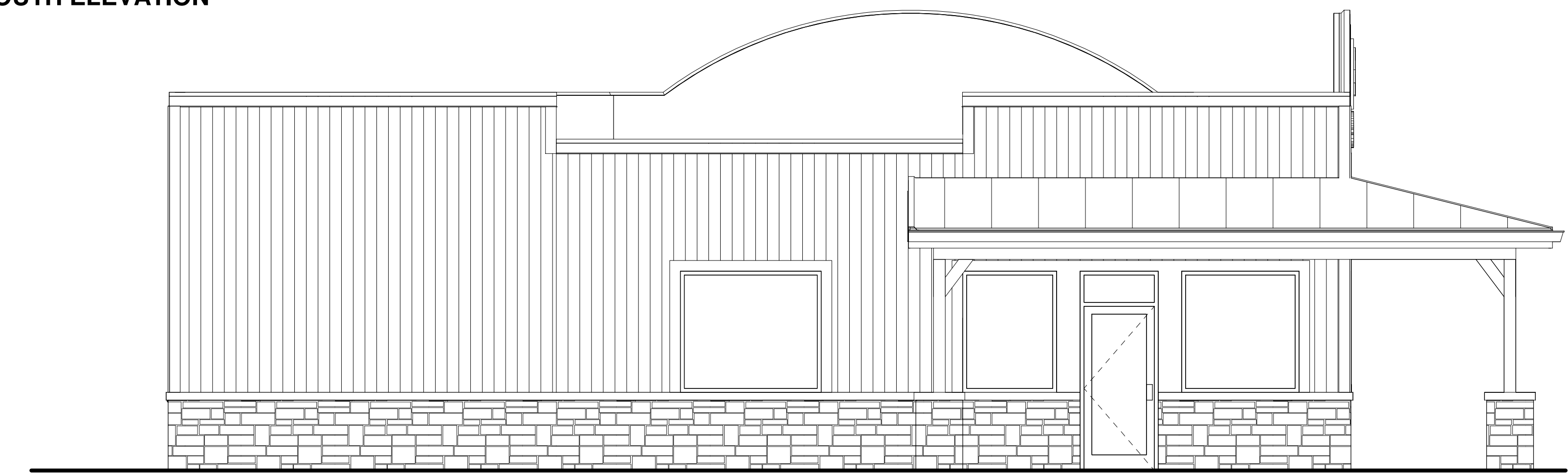
- T.O. HIGH PARAPET 116'-0"
- T.O. LOW PARAPET 114'-0"
- T.O. ROOF 112'-0"
- TRUSS BR'G 110'-0"
- FINISH FLOOR 100'-0"

1 /A2.0 SCALE = 1/4" = 1'-0"  
EAST ELEVATION



- T.O. HIGH PARAPET 116'-0"
- T.O. LOW PARAPET 114'-0"
- T.O. ROOF 112'-0"
- TRUSS BR'G 110'-0"
- FINISH FLOOR 100'-0"

3 /A2.0 SCALE = 1/4" = 1'-0"  
SOUTH ELEVATION



- T.O. HIGH PARAPET 116'-0"
- T.O. LOW PARAPET 114'-0"
- T.O. ROOF 112'-0"
- TRUSS BR'G 110'-0"
- FINISH FLOOR 100'-0"

4 /A2.0 SCALE = 1/4" = 1'-0"  
WEST ELEVATION

**BAYLAND**  
BAYLAND BUILDINGS  
P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com  
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:  
**21-1833**  
 HOBART WI, COUNTY OF: BROWN

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ADJUST SCALE ACCORDINGLY.

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**JOB NUMBER:** 21-1833  
**PROJECT EXECUTIVE:** NICK VAN LANEN (920) 680-8110  
**DRAWN BY:** CRP  
**DATE:** 05/13/21  
**REVISIONS:**

ISSUED FOR:	CHECKED BY:	DATE:
<input type="checkbox"/> PRELIMINARY		
<input checked="" type="checkbox"/> BID SET		
<input type="checkbox"/> DESIGN REVIEW		
<input type="checkbox"/> CHECKSET		
<input type="checkbox"/> CONSTRUCTION		

EXTERIOR ELEVATIONS

**A2.0**



**BAYLAND BUILDINGS**

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR



PROPOSED BUILDING FOR:

21-1833

HOBART WI, COUNTY OF: BROWN

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JOB NUMBER: 21-1833

PROJECT EXECUTIVE: NICK VAN LANEN  
(920) 680-8110

DRAWN BY: CRP

DATE: 05/13/21

REVISIONS:

ISSUED FOR: CHECKED DATE:  
BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

EXTERIOR RENDER

**A2.1**

1 /A2.1 SCALE =  
BEIGE SIDING WITH COBALT BLUE ROOF



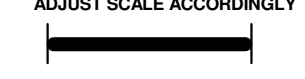
PROPOSED BUILDING FOR:

21-1833

HOBART WI, COUNTY OF: BROWN

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-1833

PROJECT EXECUTIVE: NICK VAN LANEN  
(920) 680-8110

DRAWN BY: CRP

DATE: 05/13/21

REVISIONS:

ISSUED FOR: CHECKED DATE:  
BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

2 / C1.0 SCALE = 1" = 20'-0"  
SITE PLAN.













GENERAL NOTES:  
1. BUILDING SQUARE FOOTAGE: 3383.23

SITE PLAN

**C1.0**

Part of Brown County WI

LEGEND / KEY

-  Parcel Boundary
-  Condominium
-  Gap or Overlap
-  "hooks" indicate parcel ownership crosses a line
-  Parcel line
-  Right of Way line
-  Meander line
-  Lines between deeds or lots
-  Historic Parcel Line
-  Vacated Right of Way

SC-190-2 Parcel ID Number  
 2880257 Document Number  
 0.814 AC Area of parcel  
 279.8' Line Distance  
 3547 Address

A complete map legend (map key) is available at:  
<https://tinyurl.com/BrownDogKey>

Map printed  
 5/20/2021



1:1,200

1 inch = 100 feet\*

1 inch = 0.0189 miles\*

\*original page size is 8.5" x 11"  
 Appropriate format depends on zoom level

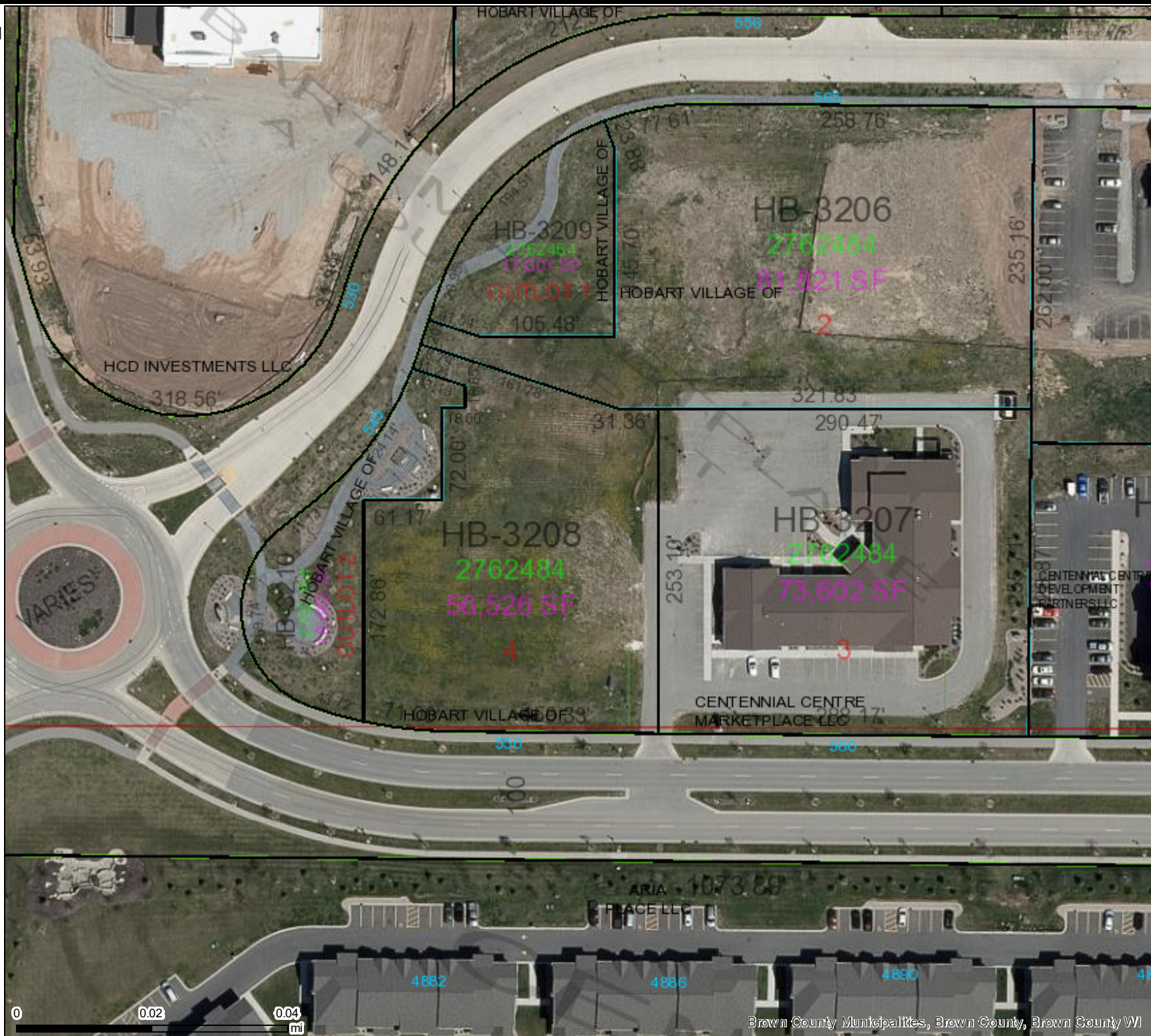
This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin  
 Planning & Land Services  
 Department**



(920) 448-6480

[maps.gis.co.brown.wi.us](http://maps.gis.co.brown.wi.us)





**TO: Site Review Committee**

**RE: 1260-1274 Lear Ln., HB-L159; 136 Unit Leased Residential Development**

**FROM: Todd Gerbers, Director of Planning and Code Compliance**

**DATE: May 26, 2021**

**ISSUE:** Discussion and action to consider a 136 unit, 8 building leased residential development with associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval based on staff recommendations along with any conditions the Committee may identify.

### **GENERAL INFORMATION**

1. Developer: PDK Investments, LLC
2. Applicant: Mau & Associates, Jon LeRoy
3. Address/Parcel: 1260-1274 Lear Ln. / HB-L159
4. Zoning: PDD #2: Orlando/Packerland Planned Development District
5. Use: Multi-Family Residential

### **BACKGROUND**

PDK Investments, LLC is proposing to construct a second phase to their original development which would consist of 4–14-unit two story buildings and 4-20-unit two story building totaling 136 new leased residential units. Additionally, there are 4-16 unit detached garage building to accommodate the 20-unit buildings as these building only contain 4 attached garages per structure. Access to the new phase will utilize the existing ingress/egress from Lear Ln. that serves the existing development. To maintain continuity along the west property line, the developer is proposing to extend the fencing and tree planting to establish a buffer between this new multi-family residential area and the single-family residential properties to the west.

### **SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST**

#### **Section 1, Site Plan Approval**

- A. Zoning:** PDD #2: Orlando/Packerland Planned Development District
- B. Green Space:** 43.5% after development
- C. Setbacks:** This development complies with all applicable setbacks (proposed 30' (front/Packerland and Lear), 59' (rear), 20' (side))
- D. Parking:** The requirements for multi-family developments are 1 stall per bedroom and 50% of the required parking must be enclosed. Staff review identified a total of 236 bedrooms. Thus 236 parking stalls are required, with 118 of those being enclosed (garage stalls.) The development provides a total of 288 parking stalls with 172 of those stalls being enclosed/garage stalls.
- E. Fire Dept. and Police Dept.:** The plans presented have been reviewed and accepted by both the Police Chief and Fire Chief with the condition that either the “temporary” access drive from Packerland Dr. remain after



the development is completed and be constructed as a second permanent, code complying access drive into this phase of the entire complex, or another viable access point to the rear of this 2<sup>nd</sup> phase that is approved by the Village Fire Chief and Village Police Chief.

- F. Storm Water:** Storm water from this phase will be collected by internal catch basins through the site and discharge to a new storm water management pond to the rear of the development then will discharge to the roadway ditch along Packerland Dr.
- G. Refuse Collection:** No additional collection area is noted on the plans, but Staff will verify prior to the meeting. They may be utilizing the existing collection area within the existing development, if large enough to accommodate the increased units.

## **Section 2, Architectural Plan Approval**

### **A. Exterior Construction Information:**

- 1. Materials:** Wood framed building.
- 2. Exterior Materials:** Mixture of brick, vertical accent siding, and horizontal siding to continue the same materials and colors that were utilized in phase 1
- 3. Height:** Anticipated at 26' to peak of roof system
- 4. Overhead doors:** Typical residential overhead garage doors
- 5. Mechanical equipment:** Wall mounted units per dwelling unit

**Section 3, Landscaping Plan:** Foundation planting proposed around both the 14-unit and 20-unit buildings with additional landscape screening between the Packerland Dr. and the 20-unit buildings. Additionally, along the west property line the 6' high white vinyl fence is proposed to be extended along with some trees to create a buffer between the multi-family development and the adjacent single-family subdivision. This fencing will extend from the existing fence in phase 1 and continue to the end of the phase 2 development.

**Section 4, Lighting:** Wall mounted lighting proposed and mainly directed towards the interior parking areas. No lighting shall create a glare to adjoining properties or public roadways.

**Section 5, Signage:** No signage proposed at this time and any future proposed signage would be required to be submitted for approval at a later date.

**Section 6, Driveway-Curb Cut:** This new phase will utilize an existing curb-cut and driveway from Lear Ln. that currently serves the existing development and will remain as the primary access point to this proposed 2<sup>nd</sup> phase. As noted in subsection E. above, Village Staff will require that either the “temporary” access drive from Packerland Dr. remain after the development is completed and be constructed as a second permanent, code complying access drive into this phase of the entire complex, or another viable access point to the rear of this 2<sup>nd</sup> phase that is approved by the Village Fire Chief and Village Police Chief.

## **RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any conditions the Site Review may identify:

- 1. That either the “temporary” access drive from Packerland Dr. remain after the development is completed and be constructed as a second permanent, code complying access drive into this phase of the entire complex, or another viable access point to the rear of this 2<sup>nd</sup> phase that is approved by the Village Fire Chief and Village Police Chief.
- 2. Installation of directional address signage within the proposed and existing developments working with Village Departments to verify most functional locations.

3. Wall mounted lighting proposed and mainly directed towards the interior parking areas. No lighting shall create a glare to adjoining properties or public roadways.
4. Any future proposed signage would be required to be submitted for approval at a later date.
5. Finalization of Developer's Agreement with the Village

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
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- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Arvada II Apartments Multi Family Parcel HB-L159  
Clear & Parkerland Sec 25 T23MR19E

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 20.25 AC

Size of facility(square footage): Development area = 11.25 AC

Type of facility: Multi-Family Apartments

Developer: PPK Investments, LLC

Address: PO Box 458 DePue 54115 Phone: 920-494-4557

Engineer: Mann + Associates

Address: 400 Security Blvd Green Bay 54313 Phone: 920-437-9670

Contractor: Dequanne Development Construction

Construction Firm: Dequanne Development Construction

Address: 4329 Night Dr. Green Bay Phone: 920 371 1973

3. SITE PLAN APPROVAL

A. Industrial \_\_\_ Business Park \_\_\_ Commercial \_\_\_

Multi-Family ✓

Current Zoning: 100 MF

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file: ✓ YES \_\_\_\_\_ NO

% of Green Space: 43.5% of 11.25 ac

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: ✓ Complies with Ordinance: ✓

D. # of parking stalls ( Include Handicapped parking): 360 total  
8 Handicapped stalls

E. Show the following Utilities and all easements including but not limited to the following facilities types:

- 1) Electric underground  overhead
- 2) Natural Gas
- 3) Telephone
- 4) Water / Fire Hydrants
- 5) Fiber Optic Lines
- 6) Other transmission lines ~
- 7) Ingress – egress easements \*

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance ✓ YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: ✓ YES \_\_\_\_\_ NO  
sketch CSO

H. Adjacent streets and street rights-of-ways and fire lanes:

1) Fire Chief has reviewed and approved: \_\_\_YES \_\_\_NO

2) Not applicable \_\_\_\_\_

*A review from wk of 5/17. need to remedy (2) ingress/egress*

I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.

1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts

2) Name and address and phone# of engineer of project plan:

David Meister, Man & Associates 100 Security Blvd Ste 1 434-9670

J. Sidewalks, walkways, and driveways:

K. Off street loading areas and docks:

L. Fences and retaining walls or berms:

M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

Using existing refuse w/ Arcade site

N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

4. ARCHITECTURAL PLAN APPROVAL

A. Exterior construction information:

1) Type of Construction Materials: High quality, durable materials

2) Exterior Materials: Brick, vertical accent siding, horizontal siding

3) Height of Facility: 25'

4) Compatibility with existing adjacent structure: Buildings similar to Arcade I (Attach Photos)

5) Other unique characteristics: \_\_\_\_\_

7. SIGNAGE

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: Signage limited to addressing of buildings and  
handicapped stall parking sign

Complies with Ordinance:    YES    NO

Date: 5-20-21

8. DRIVEWAY - CURB CUT (EXISTING)

Width of Curb Cut: 24' @ BOW 37' @ CURB → 24' width in property

Radius / Flare: Flare 13'

Apron Dimensions: 37' x 7' x 35' x 7'

Culvert Size (End-walls Required) no culvert

5. LANDSCAPING PLAN

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

Landscaping plan  
\_\_\_\_\_

Identify Shrubs & Location Specifics - Quantity: Landscaping plan

Identify Buffering -Type – Quantity:

Landscaping plan  
\_\_\_\_\_

6. LIGHTING PLAN

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

Lighting plan  
\_\_\_\_\_  
\_\_\_\_\_

Identify Parking Lighting – Quantity – Wattage – Location :

Lighting plan  
\_\_\_\_\_

Identify other Lighting – Quantity – Wattage – Location:

Lighting plan  
\_\_\_\_\_



# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2990 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3800

**A. Applicant**

Applicant Name: Mar Assoc Owner Name: PPK Investments LLC  
 Address: 400 Security Blvd STL Address: Po Box 458  
 City: Greer Bg State: WI Zip: 54313 City: De Pere State: WI Zip: 54105  
 Phone: (920) 434-9670 Phone: (920) 494-4557  
 Email: lawisr@mar-associates.com Email: Katemeacham59@gmail.com

**B. Parcel - Site Information**

Site Address: 1280-1298 Lee Lane Parcel ID: HB-2159  
 Project Description: Annex 11, Multi-family addition 136 new units

**Residential ERU Calculations**

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input checked="" type="checkbox"/> Multi-family
Number of Dwellings			136
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
<b>Total ERU's</b>			<b>81.6</b>

**Nonresidential Uses - Impervious Surface Calculation**

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints						
Paved/Gravel Areas						
<b>Totals</b>		sq. ft.		sq. ft.		sq. ft.

ERU Calculation: X / 4000 sf / ERU = 81.6 ERU's  
 New Total Area sq. ft.

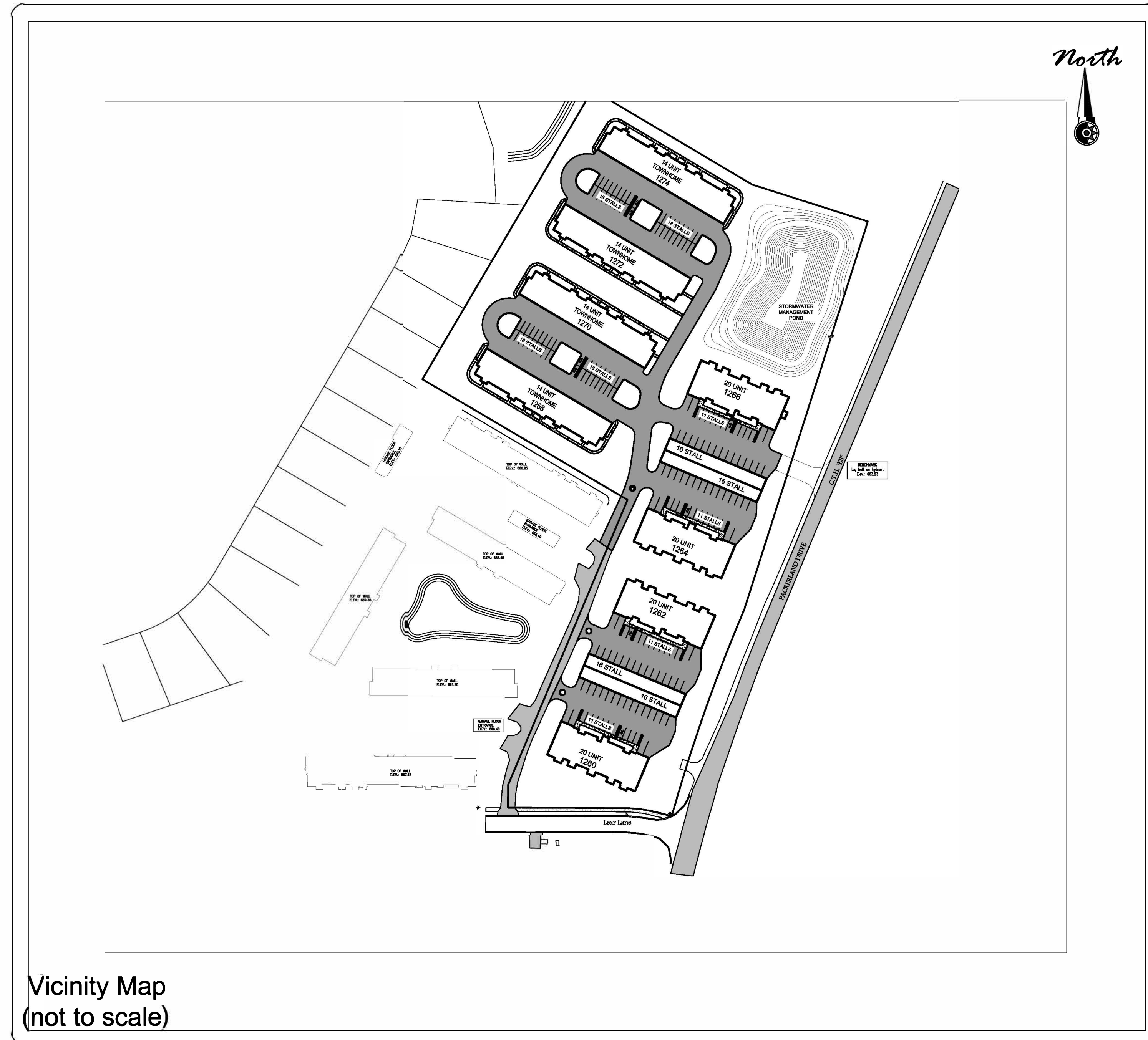
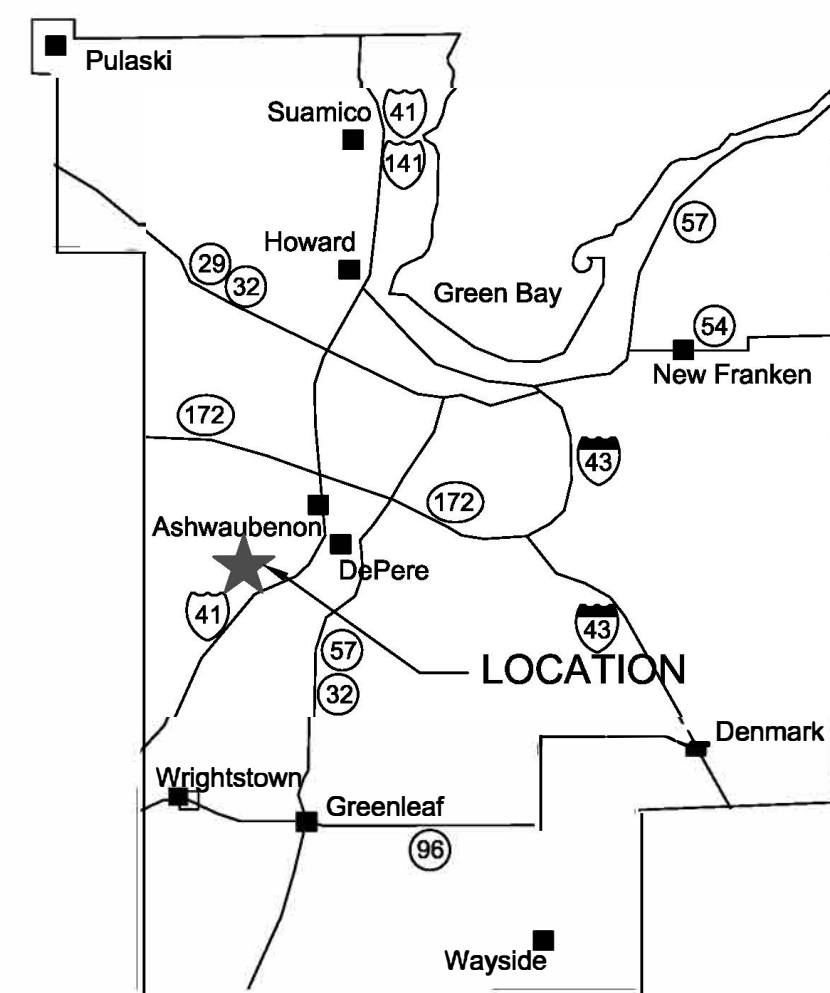
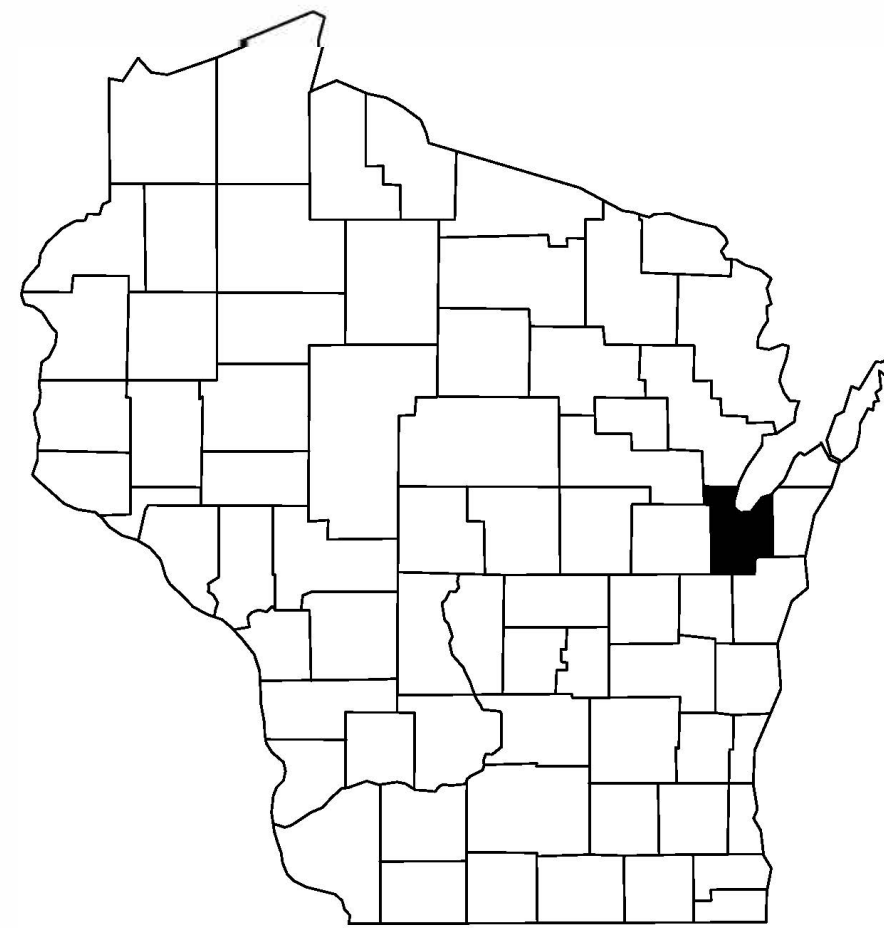
Preparer's Signature: *Jonathan LeRays* Date: 5-20-21  
 Preparer's Printed Name: Jonathan LeRays



# ARVADA II APARTMENTS

## SITE ENGINEERING PLANS

### VILLAGE OF HOBART



Vicinity Map  
(not to scale)

**SITE STATISTICS**

**BEFORE CONSTRUCTION**

SITE AREA: 11.25 ACRES  
 PAVEMENT: 0.13 ACRES (1.2%)  
 BUILDINGS: 0 ACRES (0%)  
 GREEN SPACE: 11.12 ACRES (98.8%)  
 IMPERVIOUS: 0.13 ACRES (1.2%)

**AFTER CONSTRUCTION**

SITE AREA: 11.25 ACRES  
 PAVEMENT: 3.13 ACRES (27.8%)  
 BUILDINGS: 2.45 ACRES (21.8%)  
 POND: 0.78 ACRES (6.9%)  
 GREEN SPACE: 4.89 ACRES (43.5%)  
 IMPERVIOUS: 8.36 ACRES (56.5%)  
 PERCENT SITE COVERAGE: 49.6%  
 PERCENT OPEN/GREEN SPACE: 50.4%  
 FLOOR AREA RATIO: 40.4%  
 All eight buildings at two stories plus 4 detached garages

**PROJECT INFORMATION**

<b>OWNER(S):</b> PDK INVESTMENTS, LLC
<b>PROJECT NAME:</b> ARVADA II APARTMENTS
<b>PROJECT DESCRIPTION:</b> MULTIFAMILY RESIDENTIAL, ASPHALT PAVEMENT, STORMWATER FACILITIES
<b>PROJECT LOCATION:</b> PACKERLAND DRIVE NORTH OF LEAR LANE
<b>PARCEL NUMBER(S):</b> HB-L159

**CONTACT INFORMATION**

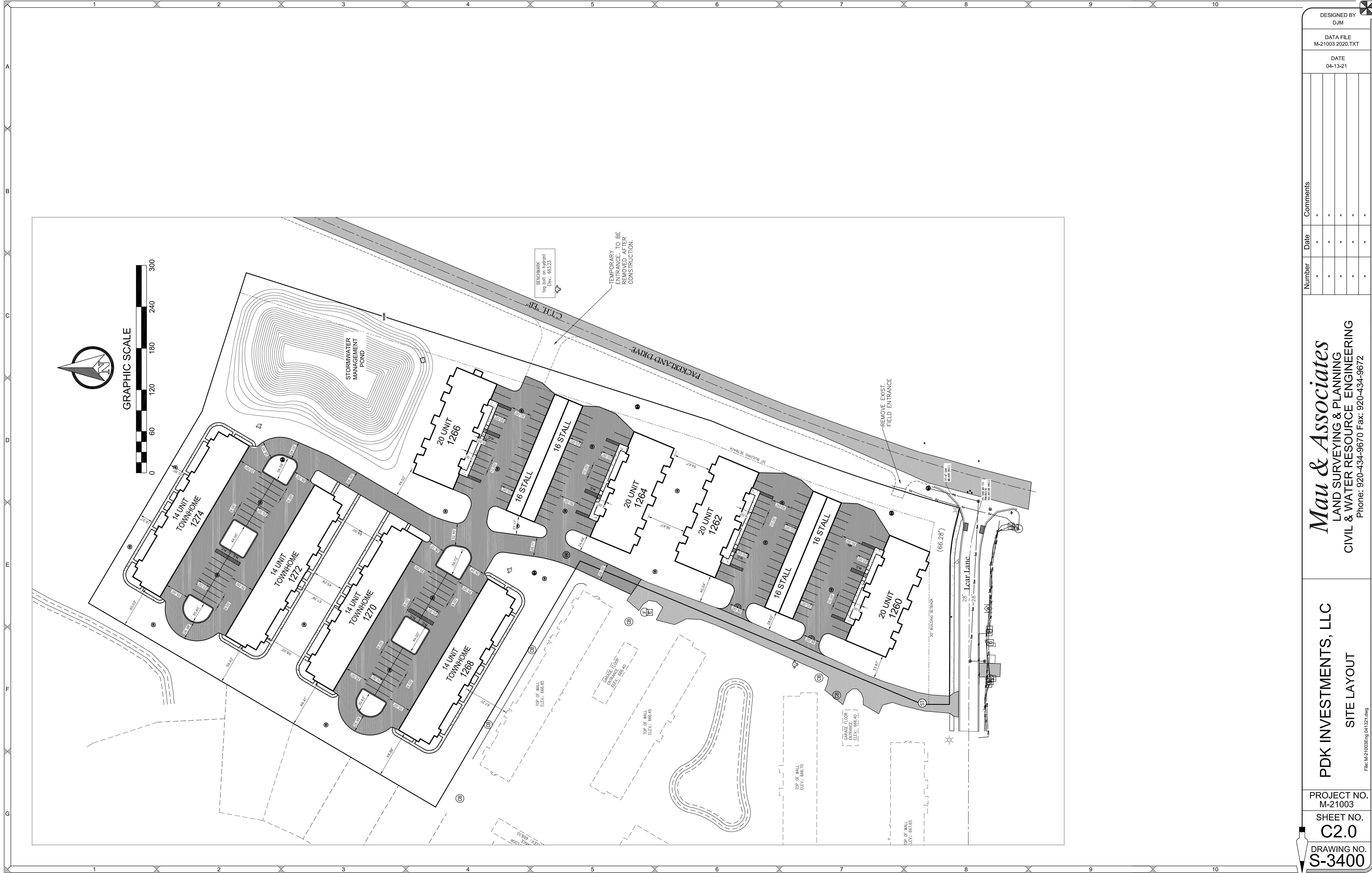
<b>OWNER(S):</b> PDK INVESTMENTS, LLC 445 CARDINAL LANE GREEN BAY, WI 54313 920-494-4557
<b>ENGINEER:</b> MAU & ASSOCIATES, LLP CONTACT: DAVID J. MEISTER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313 PH.: 920-434-9670

**SHEET INDEX:**

- C1.0 TITLE SHEET
- C2.0 SITE LAYOUT PLAN
- C3.0 EROSION CONTROL PLAN
- C4.0 GRADING PLAN
- C5.0 SITE UTILITY PLAN
- C6.0 WET POND PLAN & PROFILE
- C7.0 NOTES & DETAILS (1)
- C7.1 NOTES & DETAILS (2)
- C8.0 WATER METER DETAIL
- C9.0 PLANS FOR DSPS
- C10.0 EXISTING WATERSHED
- C11.0 PROPOSED WATERSHED
- C12.0 LANDSCAPE AND LIGHTING

*Mau & Associates*  
 LAND SURVEYING & PLANNING  
 CIVIL & WATER RESOURCE ENGINEERING  
 Phone: 920-434-9670 Fax: 920-434-9672

DATE: 04-13-21
PROJECT NO. M-21003
SHEET NO. <b>C1.0</b>
DRAWING NO. <b>S-3400</b>



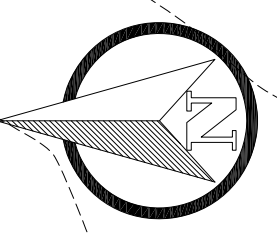
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DATA FILE M-21003 2020.TXT	
DATE 04-13-21	
Number	Comments
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**PDK INVESTMENTS, LLC**  
 SITE LAYOUT

PROJECT NO.  
M-21003  
 SHEET NO.  
**C2.0**  
 DRAWING NO.  
**S-3400**

File: M-21003Eng 04-13-21.dwg



GRAPHIC SCALE

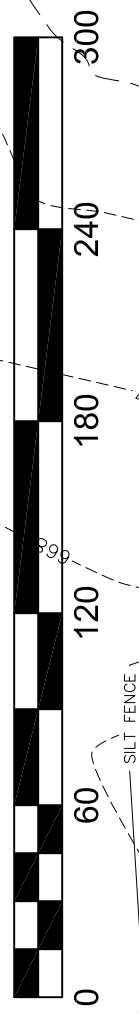


TABLE 1 - PRESCRIPTIVE COMPLIANCE AREA SOIL STABILIZATION

PRESCRIPTIVE COMPLIANCE AREAS	BARE SOIL	SLOPE & CHANNEL MANAGEMENT	PERIODS OF INACTIVITY	FINAL GRADE
SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS	AREAS THAT DO NOT EXCEED 10% EXPOSURE TO SOIL FOR MORE THAN 14 DAYS	GENERAL DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	PLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	SEMI-PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING FINAL GRADE
UTILITY TRENCH BACKFILLS	LIMIT THE DURATION OF SOIL EXPOSURE TO NO MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
TEMPORARY DITCHES/DRAINES THAT WILL EXIST FOR MORE THAN 7 DAYS	AREAS THAT TRAIL TO EXIST FOR MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
PERMANENT DITCHES/DRAINES	LIMIT THE DURATION OF SOIL EXPOSURE TO NO MORE THAN 90 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
SMALL AREAS - LESS THAN 1 ACRE AND LESS THAN 1% OF SITE	AREAS THAT TRAIL TO EXIST FOR MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
DISCRETE AREAS - LESS THAN 1 ACRE	AREAS THAT TRAIL TO EXIST FOR MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
STORM WATER PRACTICE AREAS	AREAS THAT TRAIL TO EXIST FOR MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE
SLOPES STEEPER THAN 2:1	AREAS THAT TRAIL TO EXIST FOR MORE THAN 30 DAYS	DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES	UNPLANNED INACTIVITY PERIODS SHALL BE LIMITED TO 14 DAYS	TEMPORARY STABILIZATION MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER REACHING SPECIFIED TEMPORARY GRADE

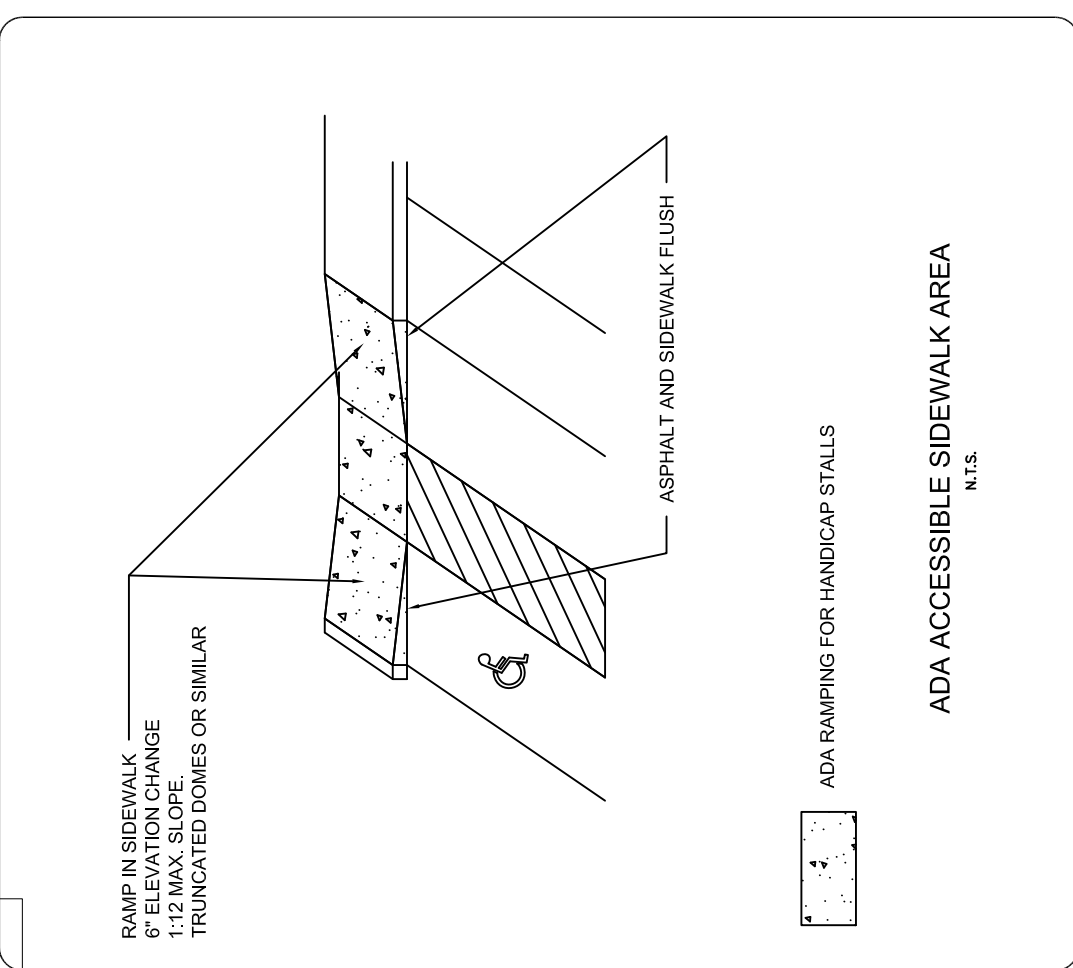
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DJM  
DATA FILE  
M-21003 2020.TXT  
DATE  
04-13-21

Number	Date	Comments
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**Mau & Associates**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

**PDK INVESTMENTS, LLC**  
EROSION CONTROL PLAN  
File: M-21003Eng 041321.dwg

PROJECT NO.  
M-21003  
SHEET NO.  
**C3.0**  
DRAWING NO.  
**S-3400**



Number	Date	Comments
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DATA FILE  
M-21003 2020.TXT

DATE  
04-13-21

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PROJECT NO.  
M-21003

SHEET NO.  
**C4.0**

DRAWING NO.  
**S-3400**

File: M-21003Eng 04-13-21.dwg



**NOTE:**

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- The Village of Hobart Dept. of Public Works must be notified (3) working days before the start of any sanitary sewer or storm sewer construction within a Public right-of-way.
- The Village of Hobart Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement.

- UTILITY LATERAL NOTES:**
- 3-4" WATER SERVICE LATERALS FOR SOUTH 20 UNIT BUILDINGS AND THE 8" WATERMAIN TO THE METER ROOM SHALL BE RUN EAST TO THE PROPERTY LINE AND PLUGGED. THE VILLAGE WILL CONNECT ON THEM WHEN THE PUBLIC WATERMAIN IS INSTALLED ALONG THE WEST SIDE OF PACKERLAND DR.
  - ALL SANITARY LATERALS TO THE BUILDING SHALL BE 8" MINIMUM AND BE STUB UNDER THE FOUNDATION AND INTO THE BUILDING AT THE LOCATION SHOWN ON THE PLANS. A 6" SANITARY RISER SHALL BE INSTALLED TO 18" ABOVE FINISHED FLOOR ELEVATION. **VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.**
  - ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100' PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE EXTERIOR OF THE FOUNDATION WALL.
  - ALL WATER LATERALS TO THE APARTMENT BUILDINGS SHALL BE 4" (UNLESS THE PLUMBING DESIGNER DECIDES OTHERWISE), AND INSTALLED INSIDE THE BUILDINGS TO THE LOCATION SHOWN ON THE PLANS AND SHALL BE DUCTILE IRON RISERS WITH FLAT FACED FLANGES INSTALLED 18" ABOVE FINISHED FLOOR ELEVATIONS. **VERIFY EXACT LOCATION WITH THE OWNER AND GENERAL CONTRACTOR.**
  - NOTE: PER STORMWATER MANAGEMENT PLAN, SOME NEW ROOF WATER MUST BE ROUTED TO THE STORMWATER MANAGEMENT POND. SEE SHEET C11.0. ALL AREAS OF ROOF THAT ARE NOT "UNTREATED" AREAS MUST BE ROUTED TO POND. EXACT LOCATIONS OF BUILDING DOWN SPOUT TO BE FIELD VERIFIED WITH THE OWNER AND GENERAL CONTRACTOR.

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DATA FILE	M-21003 2020.TXT
DATE	04-13-21

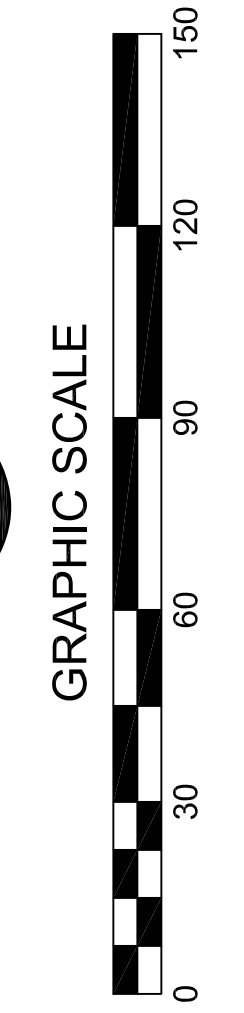
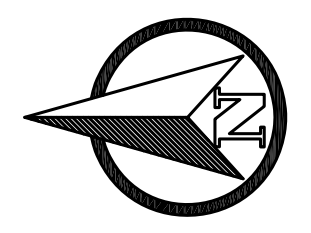
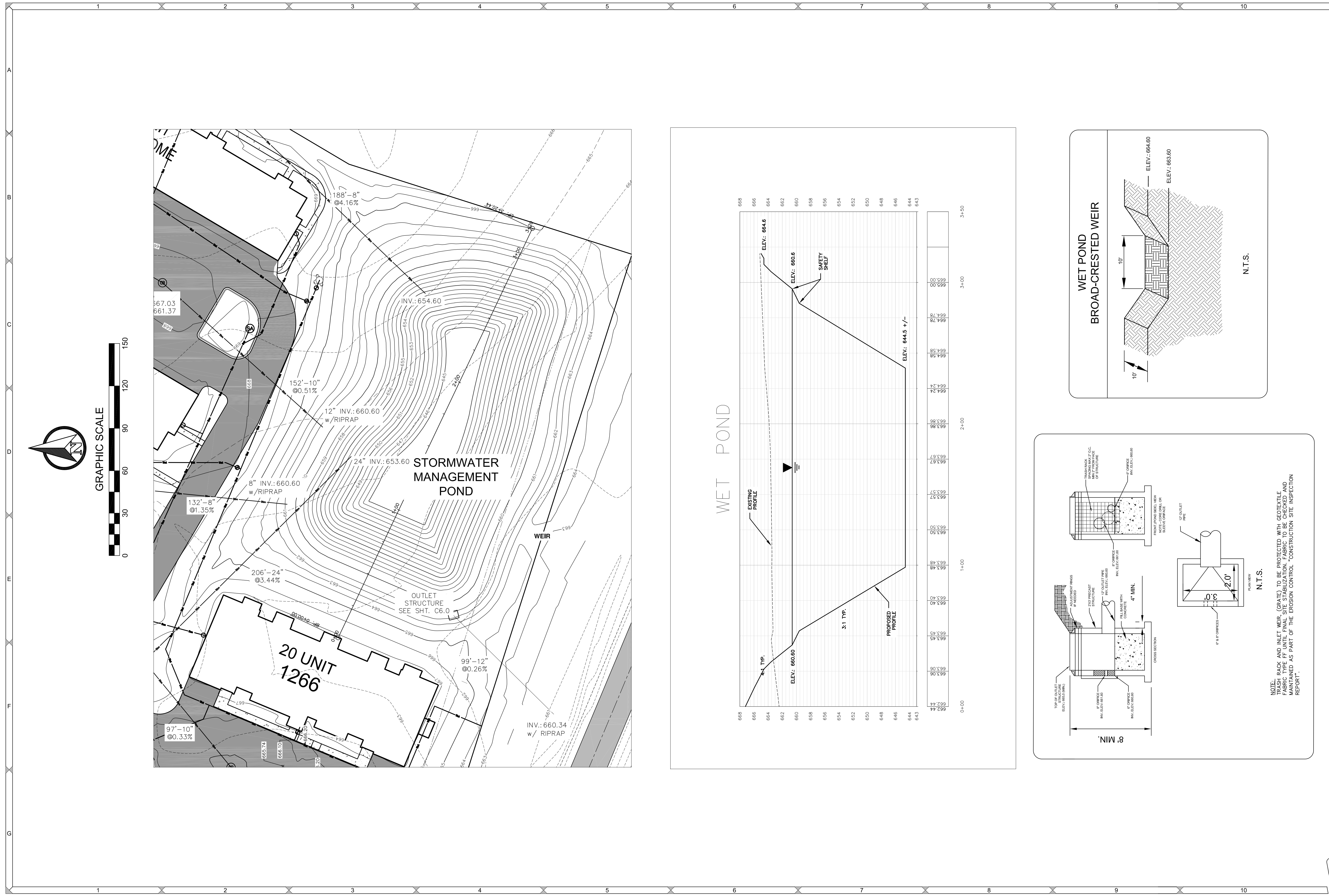
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**MEACHAM REALTY**  
 SITE UTILITY PLAN

PROJECT NO.  
M-21003  
 SHEET NO.  
**C5.0**  
 DRAWING NO.  
**S-3400**

File: M-21003Eng 04-13-21.dwg

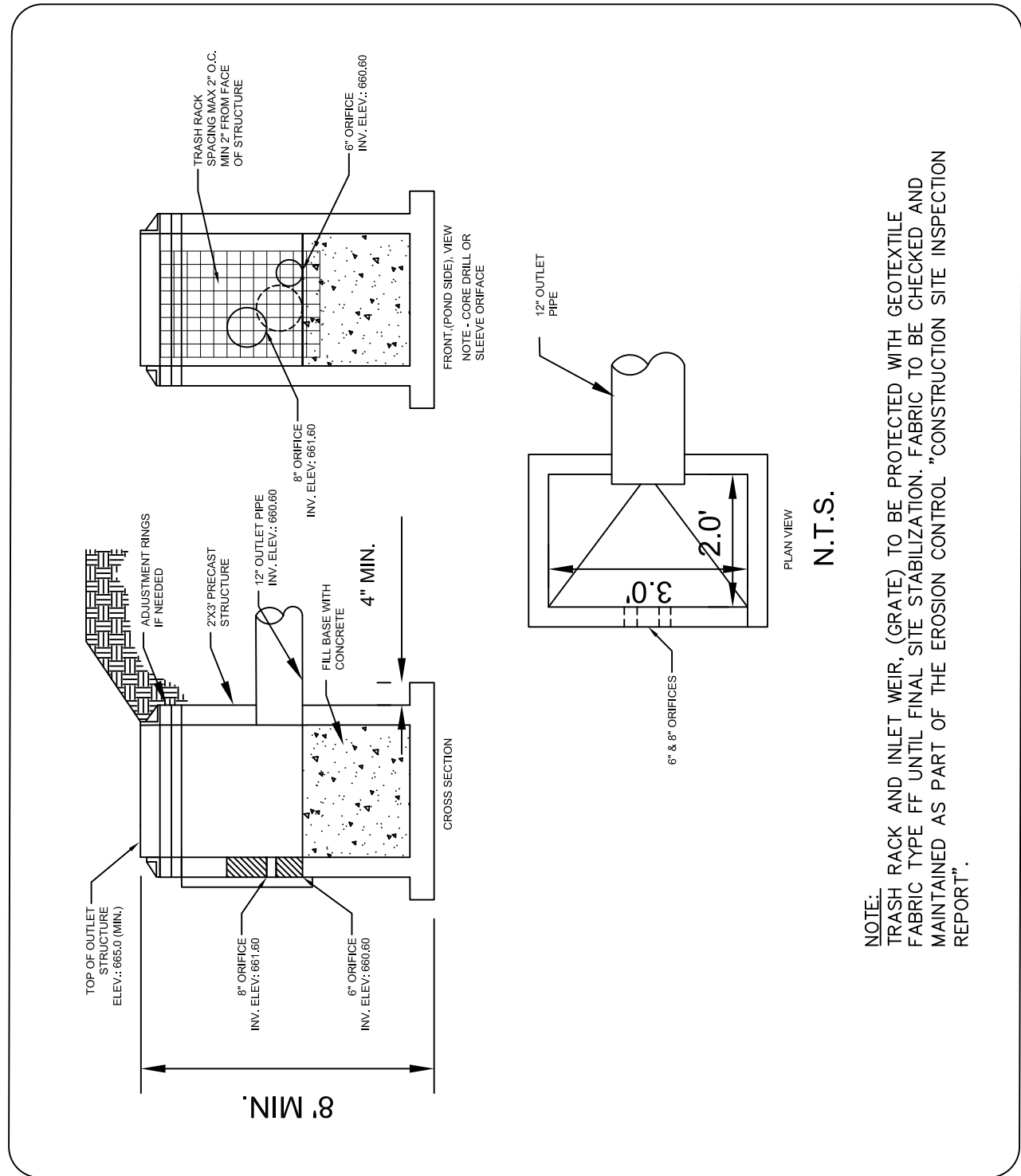


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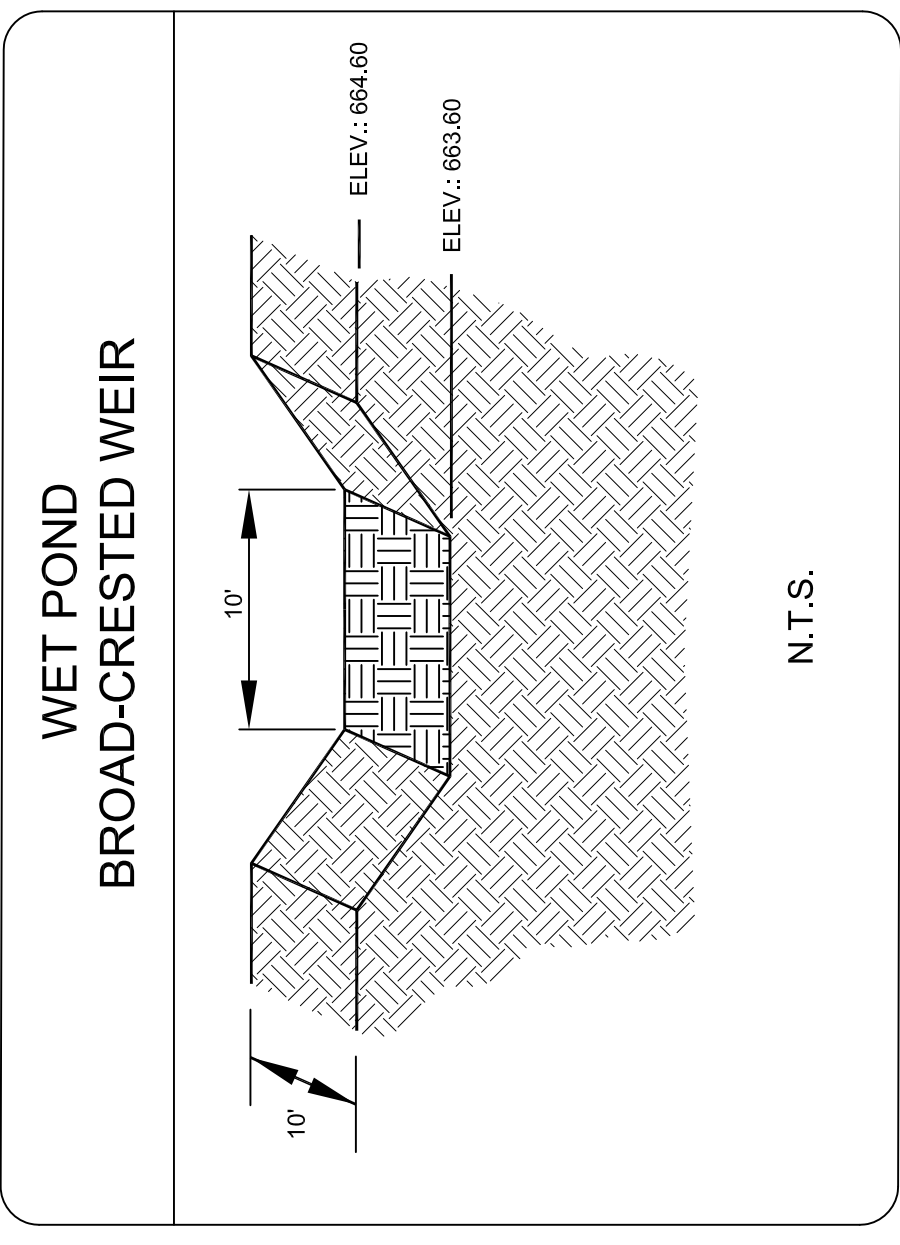
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**PDK INVESTMENTS, LLC**  
 WET POND PLAN & PROFILE  
 File: M-21003Eng 04-13-21.dwg

PROJECT NO.  
M-21003  
 SHEET NO.  
**C6.0**  
 DRAWING NO.  
**S-3400**

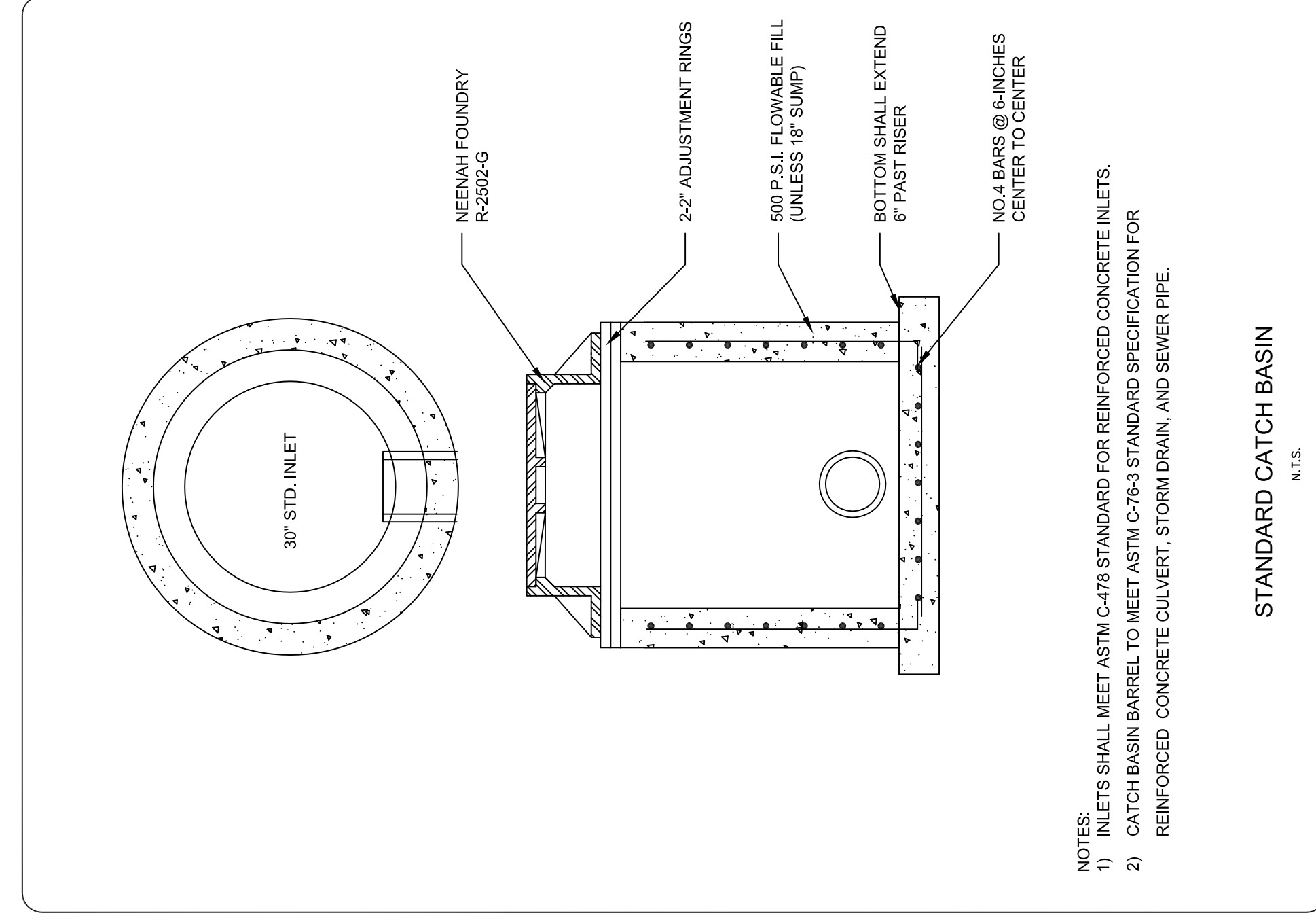
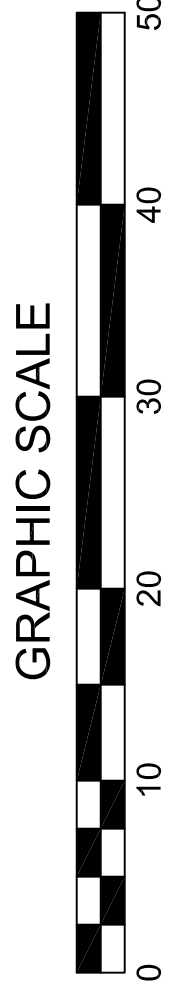
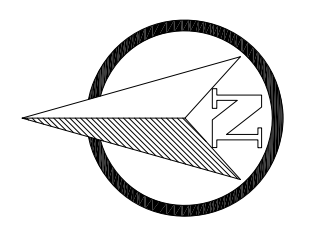
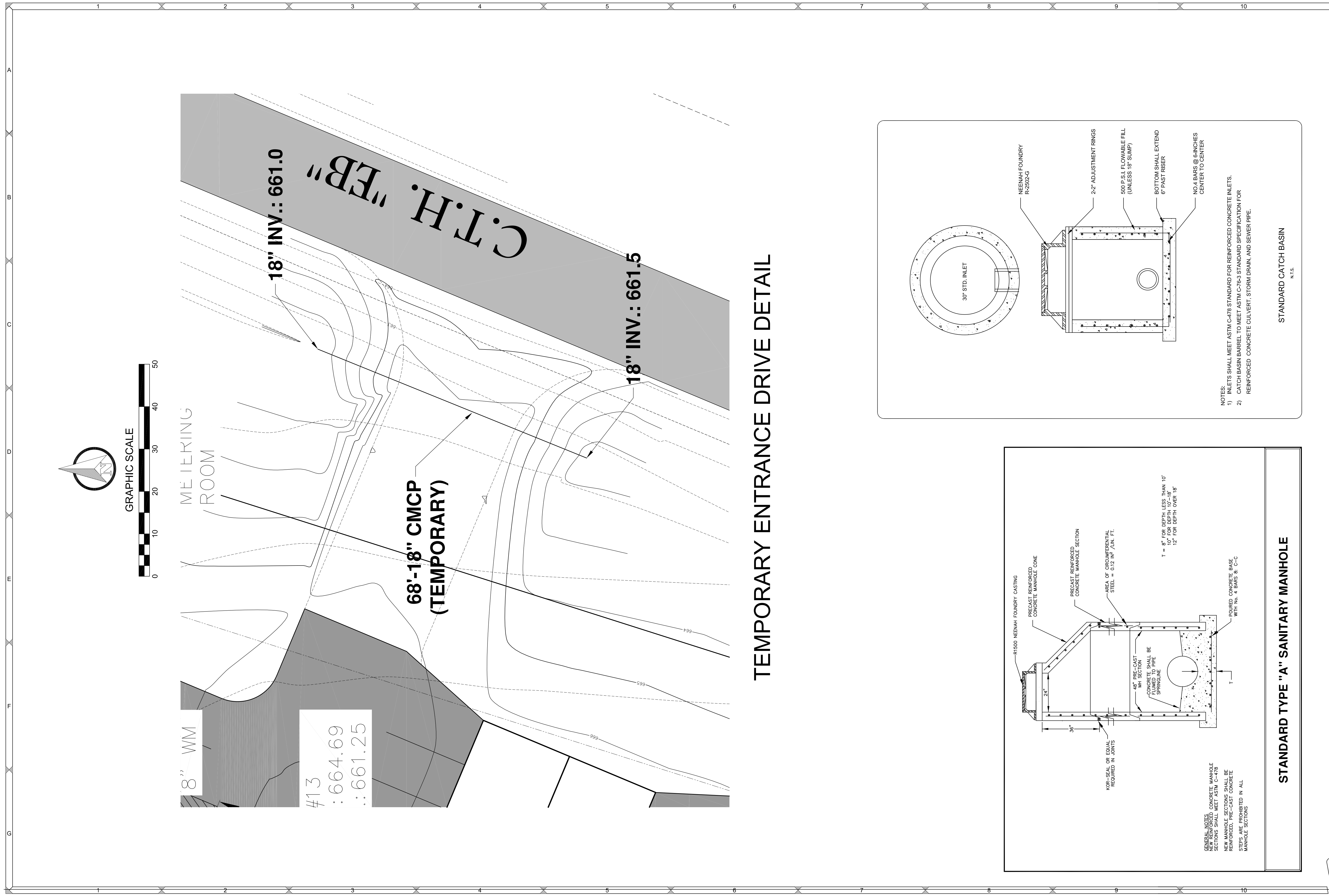


NOTE:  
 TRASH RACK AND INLET WEIR (GRATE) TO BE PROTECTED WITH GEOTEXTILE FABRIC TYPE FF UNTIL FINAL SITE STABILIZATION. FABRIC TO BE CHECKED AND MAINTAINED AS PART OF THE EROSION CONTROL CONSTRUCTION SITE INSPECTION REPORT.

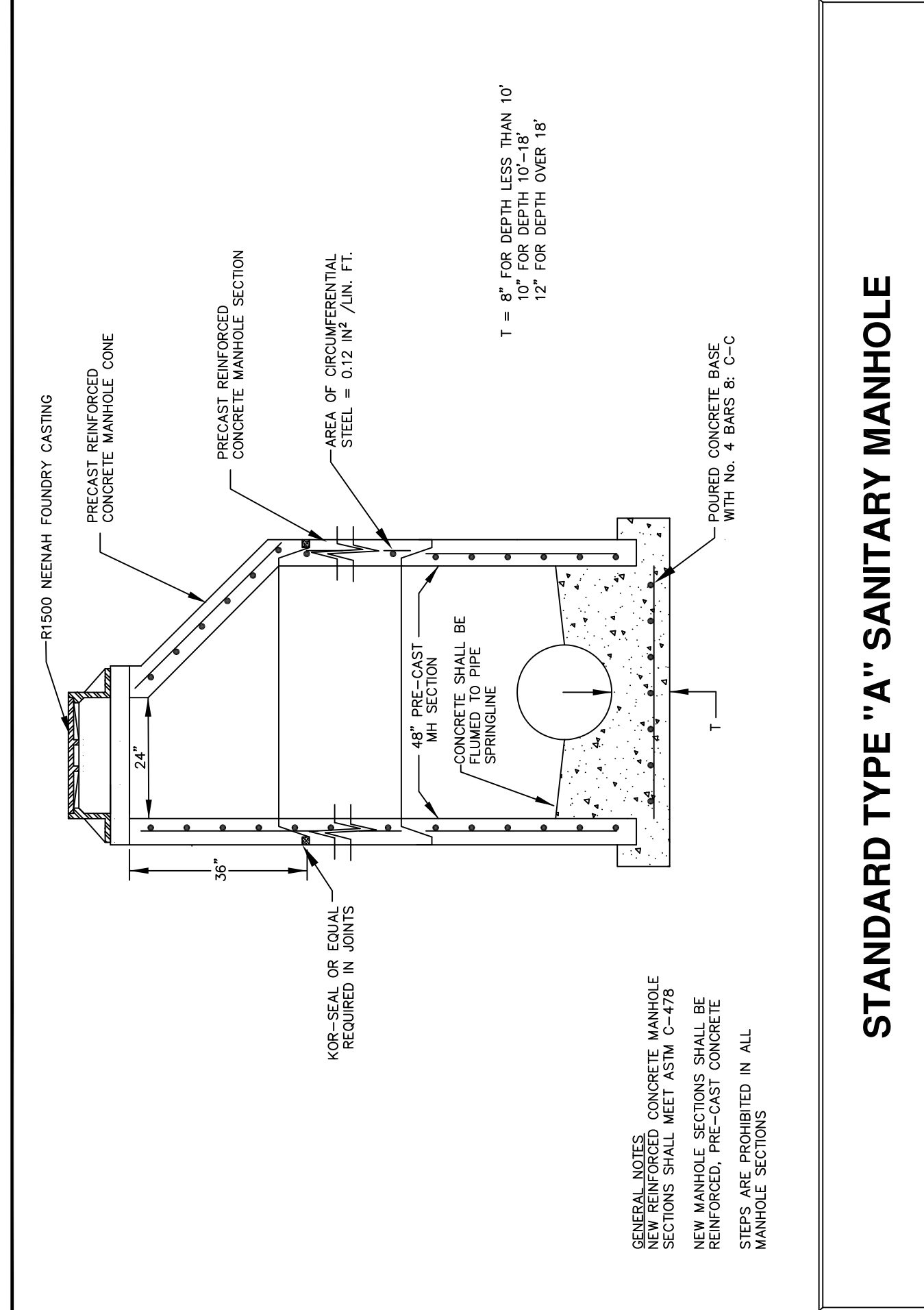


N.T.S.





- NOTES:
- 1) INLETS SHALL MEET ASTM C-478 STANDARD FOR REINFORCED CONCRETE INLETS.
  - 2) CATCH BASIN BARREL TO MEET ASTM C-76-3 STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE.



- GENERAL NOTES:
- 1) ALL CONCRETE MANHOLE SECTIONS SHALL MEET ASTM C-478
  - 2) NEW MANHOLE SECTIONS SHALL BE REINFORCED. PRE-CAST CONCRETE SECTIONS ARE PROHIBITED IN ALL MANHOLE SECTIONS

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DATA FILE M-21003 2020.TXT
DATE 04-13-21

Number	Date	Comments
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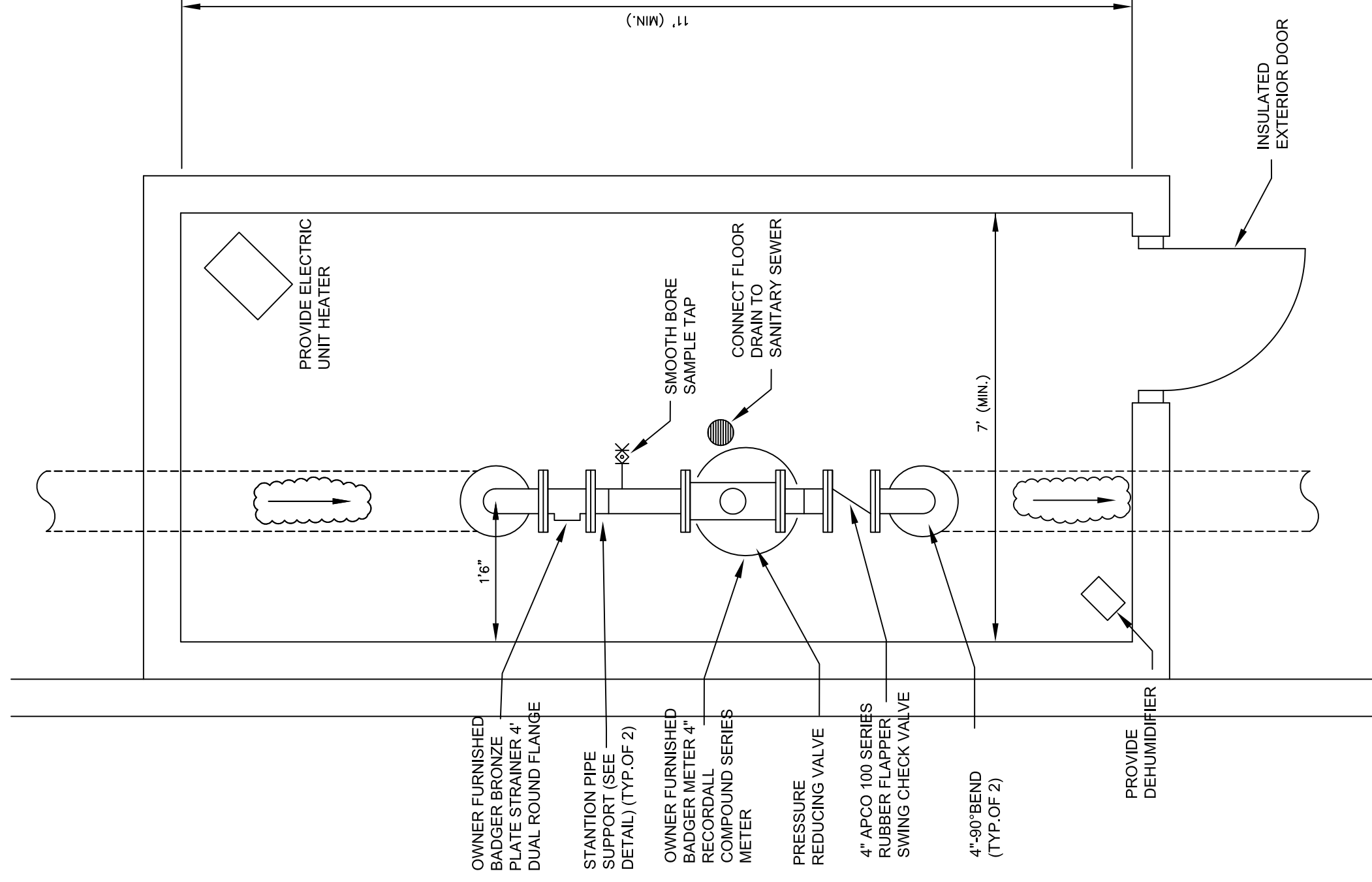
**Mau & Associates**  
 LAND SURVEYING & PLANNING  
 CIVIL & WATER RESOURCE ENGINEERING  
 Phone: 920-434-9670 Fax: 920-434-9672

**MEACHAM REALTY**  
 NOTES & DETAILS (2)

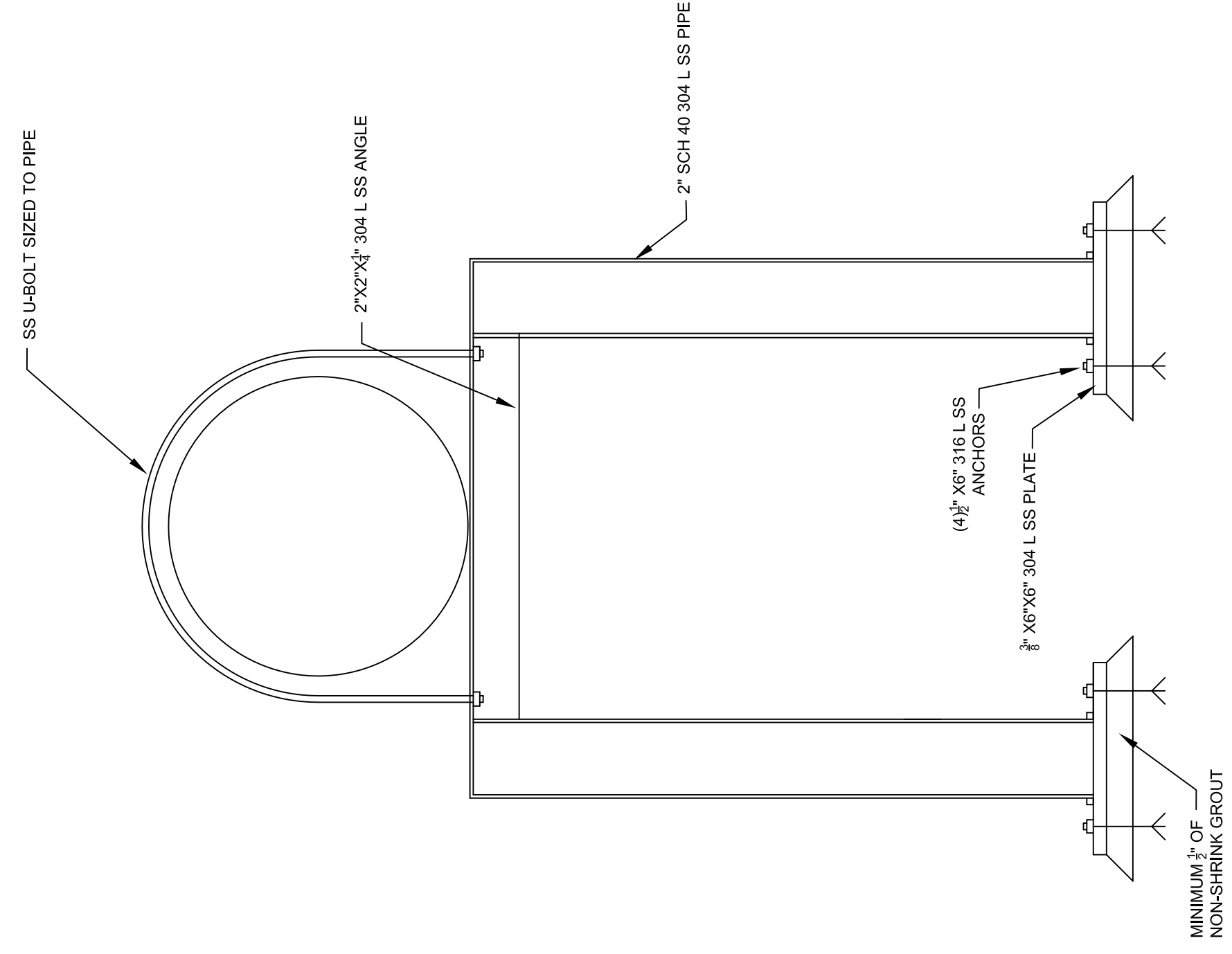
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 SHEET NO.  
**C7.1**  
 DRAWING NO.  
**S-3400**

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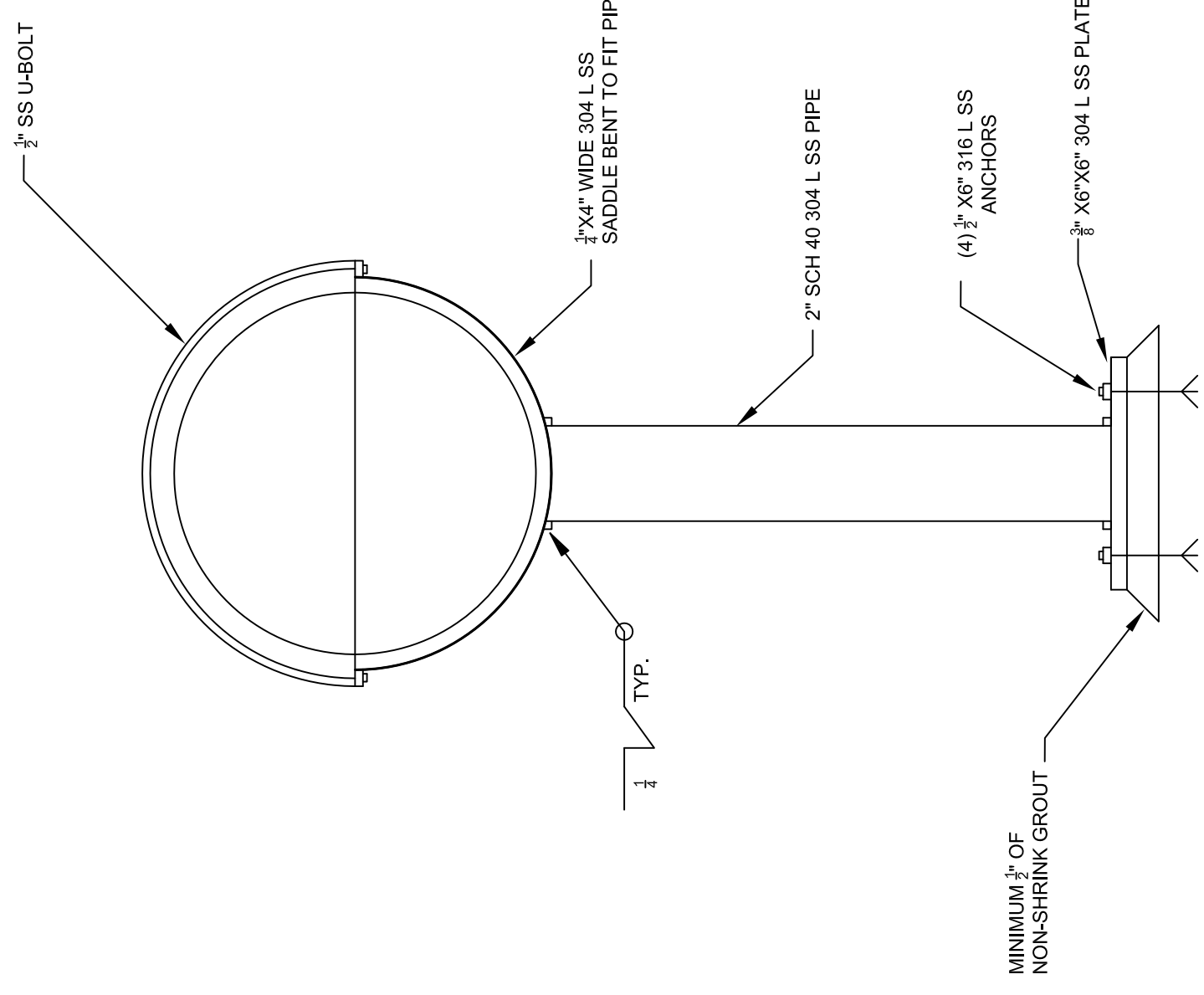




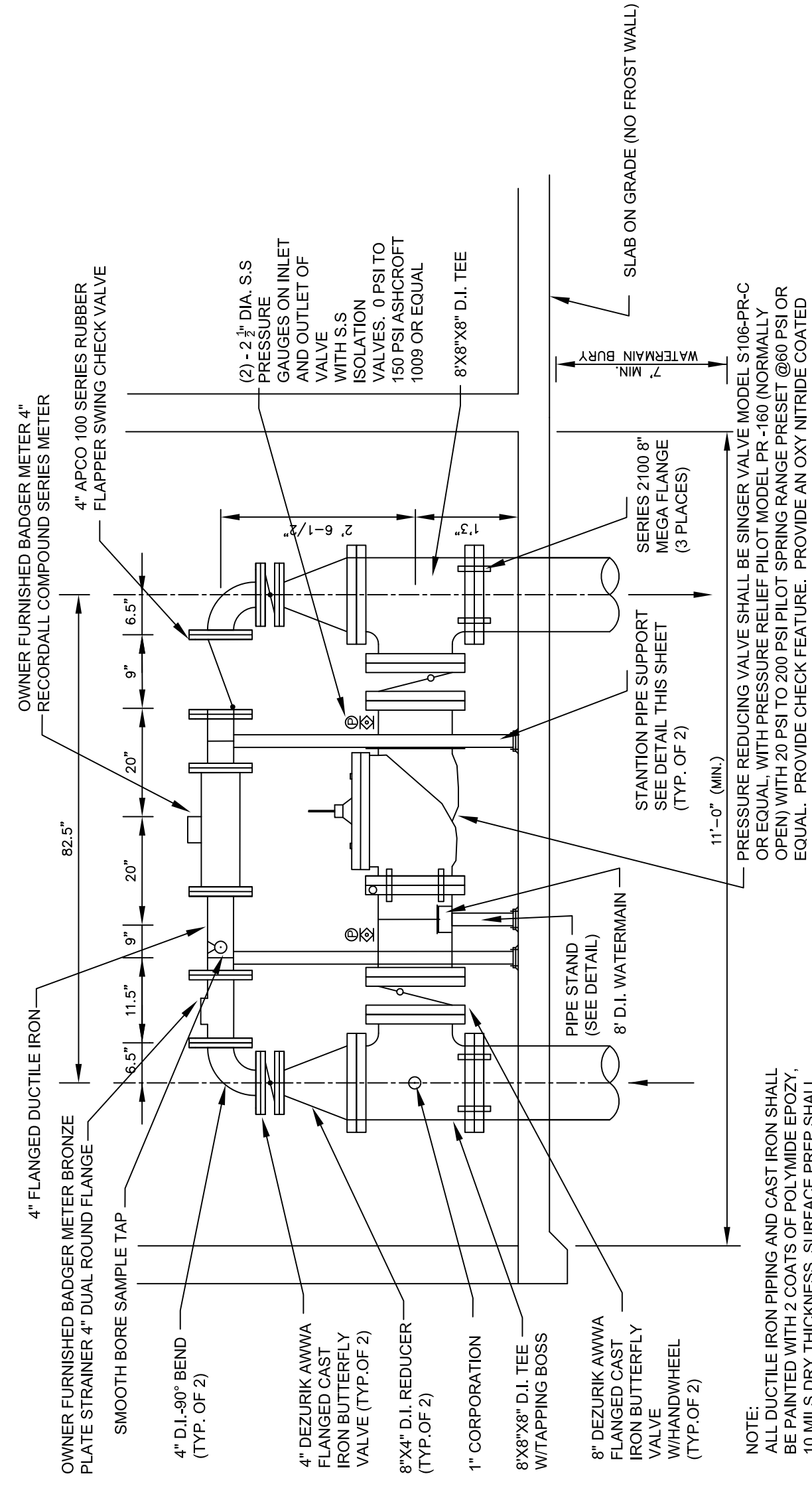
METER ROOM PLAN VIEW  
N.T.S.



STANTION PIPE SUPPORT DETAIL  
N.T.S.



PIPE STAND DETAIL  
N.T.S.



METER ROOM SECTION VIEW  
N.T.S.

**NOTE:**  
WATER METER ROOM ATTACHED TO BUILDING .  
VERIFY EXACT BUILDING PLANS AND DIMENSIONS WITH ARCHITECTURAL PLANS.

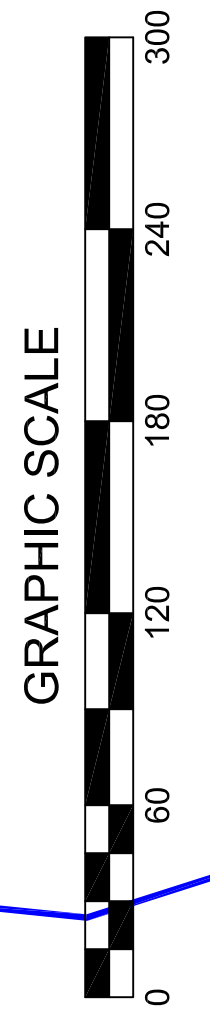
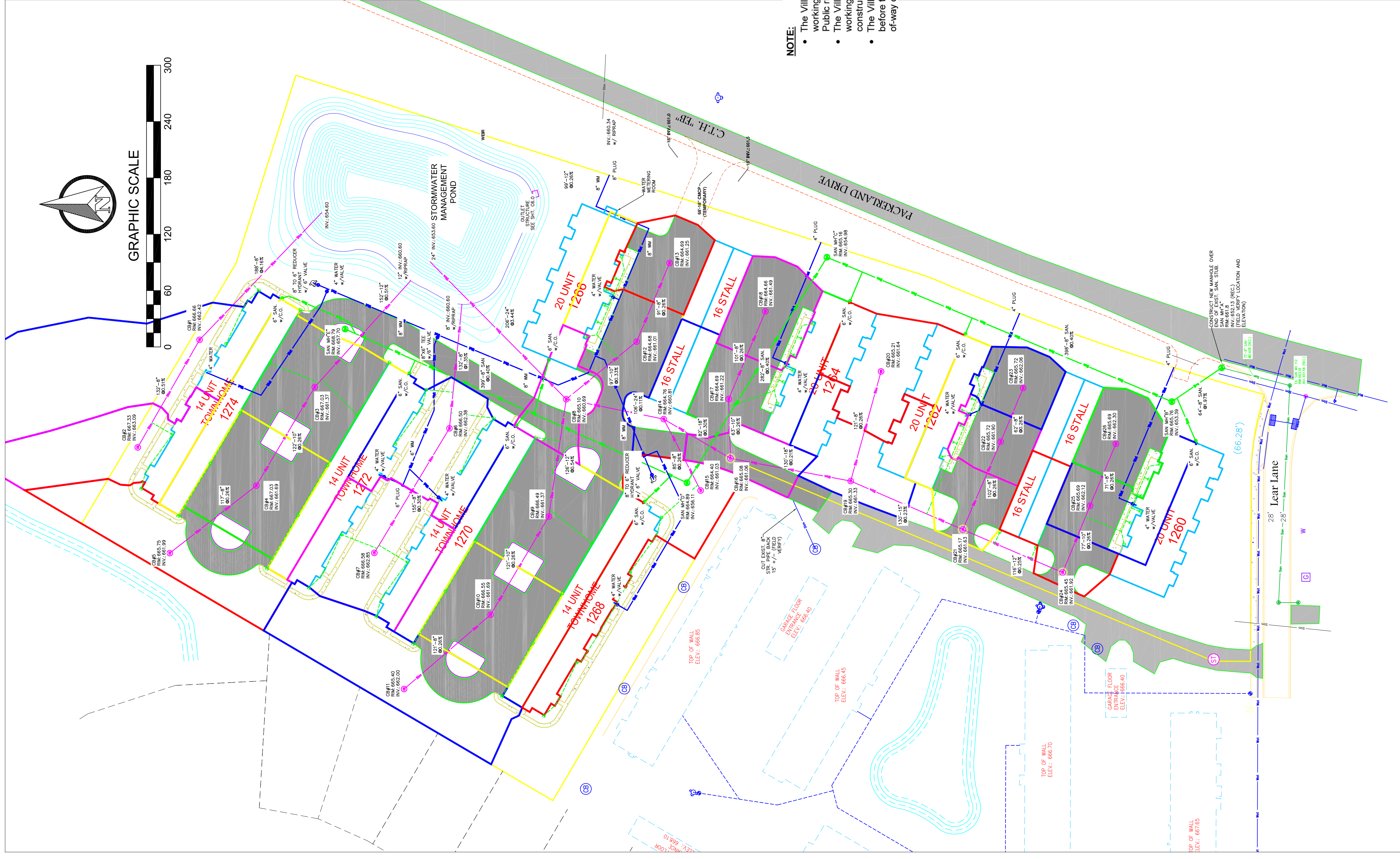
**MEACHAM REALTY**  
WATER METER SECTION & DETAILS

**Mau & Associates**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

PROJECT NO. M-21003  
SHEET NO. C8.0  
DRAWING NO. S-3400

Number	Date	Comments
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- The Village of Hobart Water Dept. must be notified (3) working days before the start of any water main construction within a Public right-of-way or easement.

**NOTES:**

- 8" SANITARY MAINS TO BE PVC SDR 3034.
- 6" SANITARY LATERALS TO BE PVC SDR 3034.
- 8", 6" & 4" WATER MAINS TO BE PVC C900.
- 4" THRU 10" STORM PIPE TO BE PVC SDR 3034.
- 12" THRU 24" STORM PIPE TO BE PVC OR HDPE

DFU: 383/20 UNIT  
 WSEU: 209/20 UNIT  
 DFU: 296/14 UNIT  
 WSPU: 159/14 UNIT

CAST BASINS	AREA	ROOFTOP (SF)	PAVEMENT (SF)	GREEN SPACE (SF)	FLOW (GPM)	COMBINED FLOW (GPM)	PIPE SIZE@SLOPE	CAPACITY (GPM)
1	33,443	3,236	667	29,540	429	676	687 8" @0.98%	676
2	15,126	3,236	390	11,500	247	247	504 8" @0.51%	247
3	25,570	12,345	11,740	1,485	850	1,463 12" @0.51%	1,463 12" @0.51%	1,460
4	13,130	0	11,830	1,300	377	660 10" @0.26%	660 10" @0.26%	610
5	16,715	0	3,425	13,290	233	360 8" @0.26%	360 8" @0.26%	233
6	15,925	6,470	1,130	7,925	360	799 8" @1.35%	799 8" @1.35%	737
7	16,525	6,470	1,385	8,870	377	383 8" @0.30%	383 8" @0.30%	377
8	6,905	1,050	2,100	3,655	140	>18,881 14" @3.44%	>18,881 14" @3.44%	5,777
9	26,330	12,330	12,400	1,600	871	1,503 12" @0.54%	1,503 12" @0.54%	871
10	12,695	0	11,405	1,290	630	660 10" @0.26%	660 10" @0.26%	630
11	20,310	3,870	3,390	16,920	257	360 8" @0.26%	360 8" @0.26%	257
12	16,405	3,870	11,600	935	515	732 10" @0.33%	732 10" @0.33%	515
13	7,505	0	6,655	850	213	360 8" @0.26%	360 8" @0.26%	213
14	7,930	4,005	1,590	2,335	225	335	3,375 24" @0.11%	3,358
15	14,585	6,475	385	7,725	335	360 8" @0.26%	360 8" @0.26%	335
16	5,625	0	3,425	2,200	127	2,798 18" @0.30%	2,798 18" @0.30%	127
17	11,815	4,930	6,405	4,80	391	646	660 10" @0.26%	646
18	8,575	0	8,180	395	255	255	360 8" @0.26%	255
19	11,745	5,155	0	6,590	262	2,025	2,124 18" @0.21%	2,025
20	13,415	5,155	0	8,260	278	360 8" @0.26%	360 8" @0.26%	278
21	11,000	4,935	4,605	1,460	346	1,530 15" @0.23%	1,530 15" @0.23%	346
22	4,935	0	4,880	555	155	330	360 8" @0.26%	330
23	5,885	0	5,620	265	175	360 8" @0.26%	360 8" @0.26%	175
24	8,195	4,005	2,945	1,245	257	1,009 12" @0.25%	1,009 12" @0.25%	257
25	10,990	4,185	5,410	495	332	552	660 10" @0.26%	552
26	7,455	0	7,000	455	220	360 8" @0.26%	360 8" @0.26%	220

**UTILITY LATERAL NOTES:**

- 3-4" WATER SERVICE LATERALS FOR SOUTH 20 UNIT BUILDINGS AND THE 8" WATER MAIN TO THE METER ROOM SHALL BE RUN EAST TO THE PROPERTY LINE AND PLUGGED. THE VILLAGE WILL CONNECT ON THEM WHEN THE PUBLIC WATERMAIN IS INSTALLED ALONG THE WEST SIDE OF PACKERLAND DR.
- ALL SANITARY LATERALS TO THE BUILDING SHALL 1/2" FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION AND INTO THE BUILDING AT THE LOCATION SHOWN ON THE PLANS. A 6" SANITARY RISER SHALL BE INSTALLED TO 18" ABOVE FINISHED FLOOR ELEVATION. **VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.**
- ALL SANITARY LATERALS TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE EXTERIOR OF THE FOUNDATION WALL.
- ALL WATER LATERALS TO THE APARTMENT BUILDINGS SHALL BE 4" (UNLESS THE BUILDING DESIGNER DECIDES OTHERWISE), AND INSTALLED INSIDE THE BUILDINGS TO THE LOCATION SHOWN ON THE PLANS AND SHALL BE DUCTILE IRON RISERS WITH FLAT FACED FLANGES INSTALLED 18" ABOVE FINISHED FLOOR ELEVATIONS. **VERIFY EXACT LOCATION WITH THE OWNER AND GENERAL CONTRACTOR.**
- NOTE: PER STORMWATER MANAGEMENT PLAN, SOME NEW ROOF WATER MUST BE ROUTED TO THE STORMWATER MANAGEMENT POND. SEE SHEET C11.0. ALL AREAS OF ROOF THAT ARE NOT "UNTREATED" AREAS MUST BE ROUTED TO POND. EXACT LOCATIONS OF BUILDING DOWN SPOUT TO BE FIELD VERIFIED WITH THE OWNER AND GENERAL CONTRACTOR.

DESIGNED BY  
DJM

DATA FILE  
M-21003 2020.TXT

DATE  
04-13-21

Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

**Mau & Associates**  
 LAND SURVEYING & PLANNING  
 CIVIL & WATER RESOURCE ENGINEERING  
 Phone: 920-434-9670 Fax: 920-434-9672

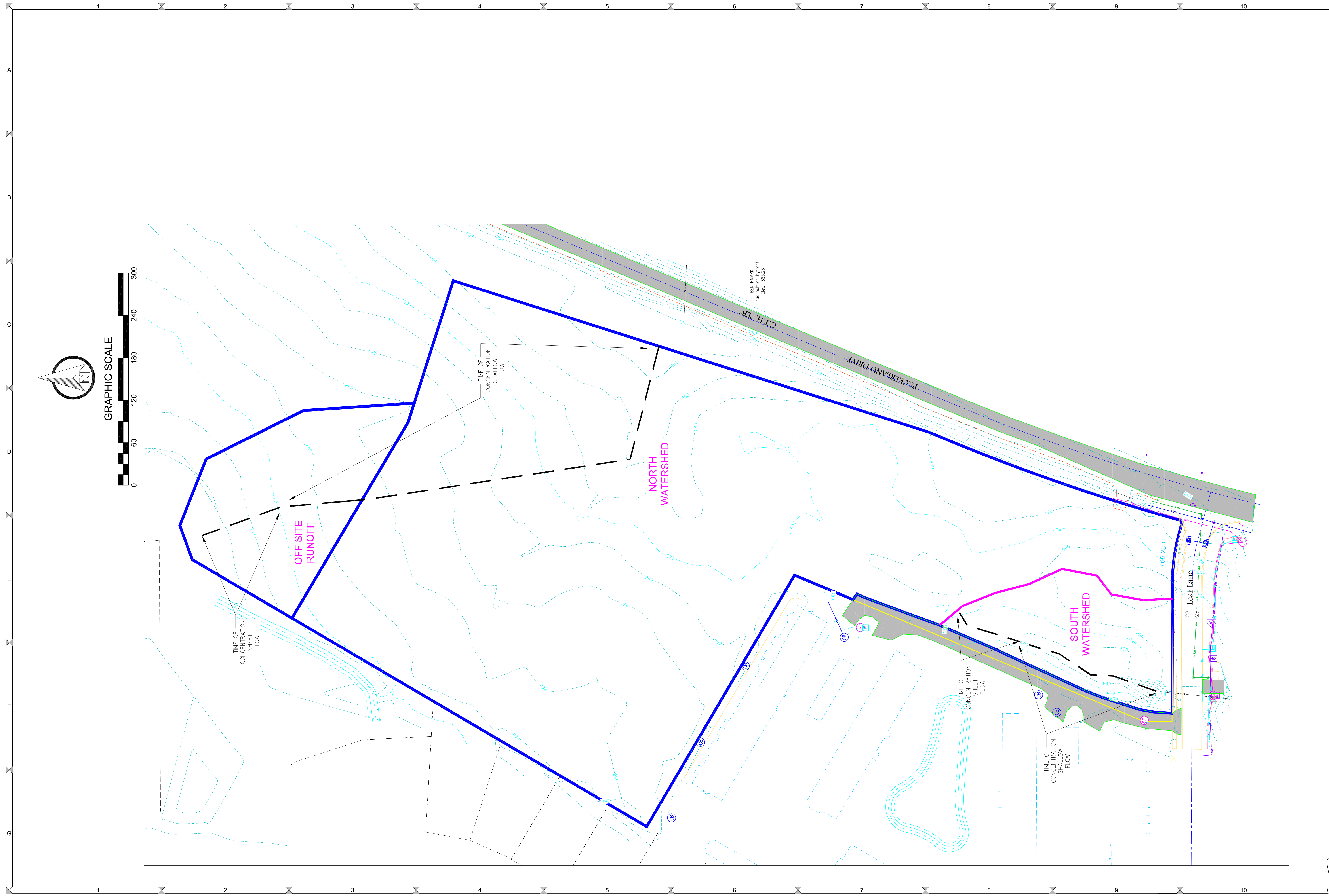
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 PLANS FOR DSPS

PROJECT NO.  
M-21003

SHEET NO.  
**C9.0**

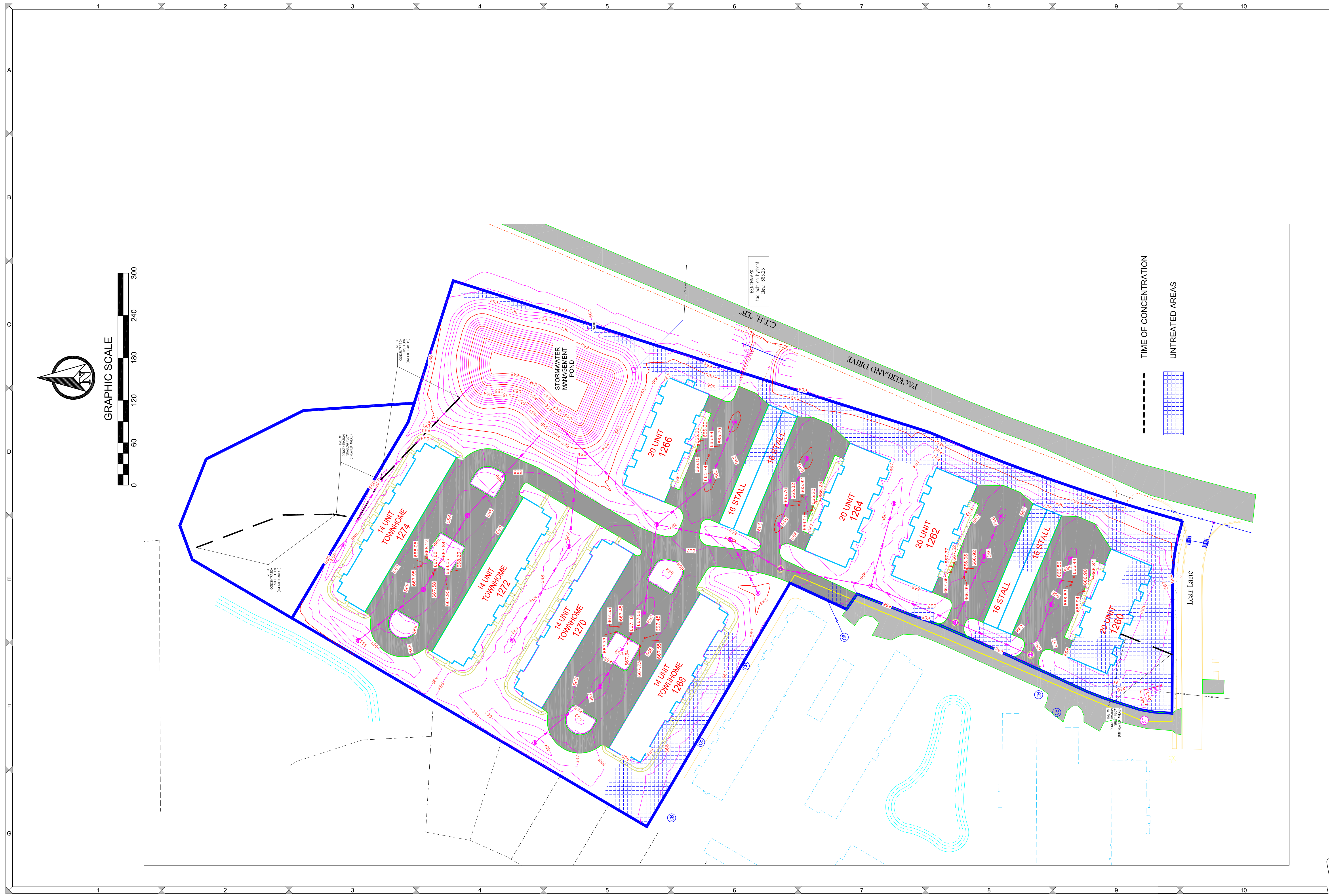
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<p><b>Mau &amp; Associates</b>                  LAND SURVEYING &amp; PLANNING                  CIVIL &amp; WATER RESOURCE ENGINEERING                  Phone: 920-434-9670 Fax: 920-434-9672</p>	
<p><b>PDK INVESTMENTS, LLC</b>                  EXISTING WATERSHED</p>	
PROJECT NO. M-21003	
SHEET NO. <b>C10.0</b>	
DRAWING NO. <b>S-3400</b>	

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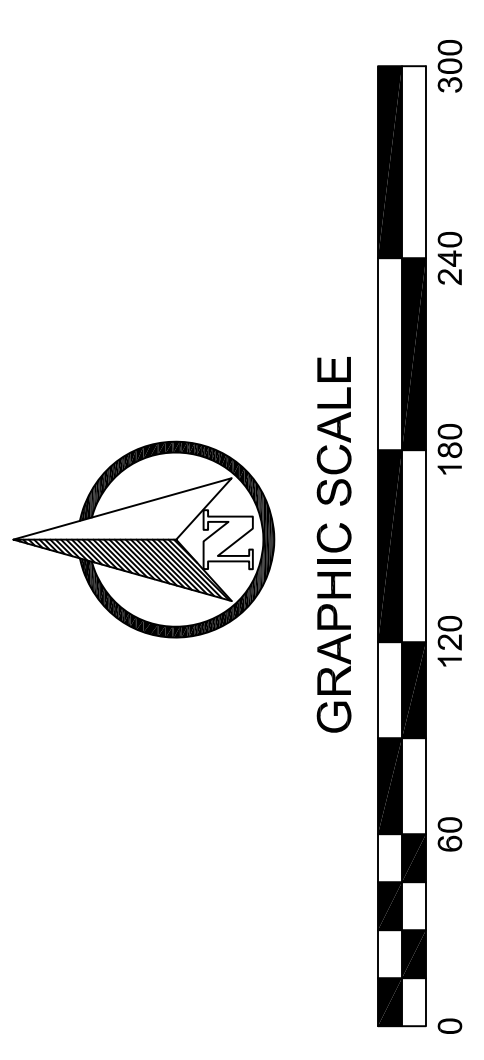
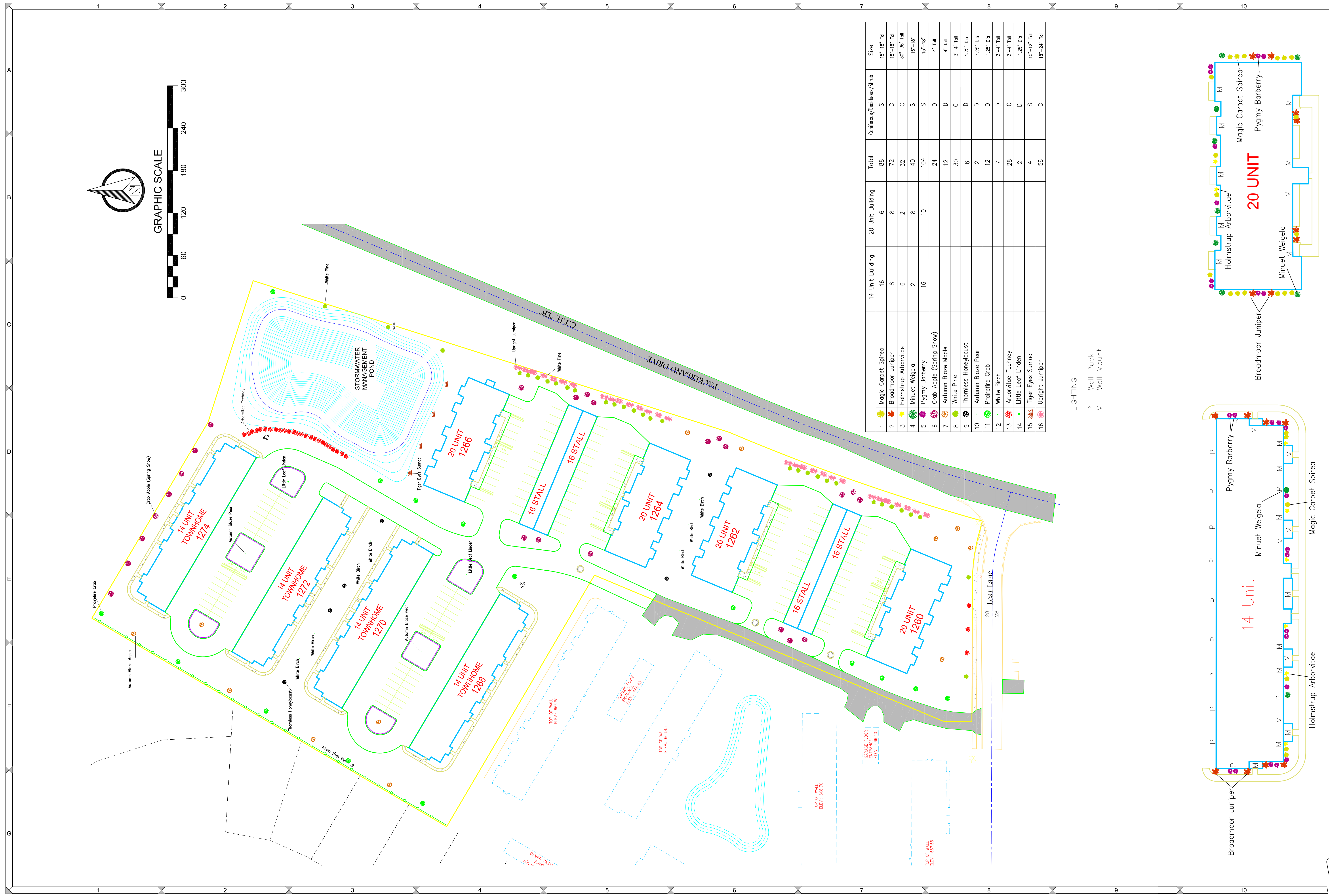
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**PDK INVESTMENTS, LLC**  
 PROPOSED WATERSHED

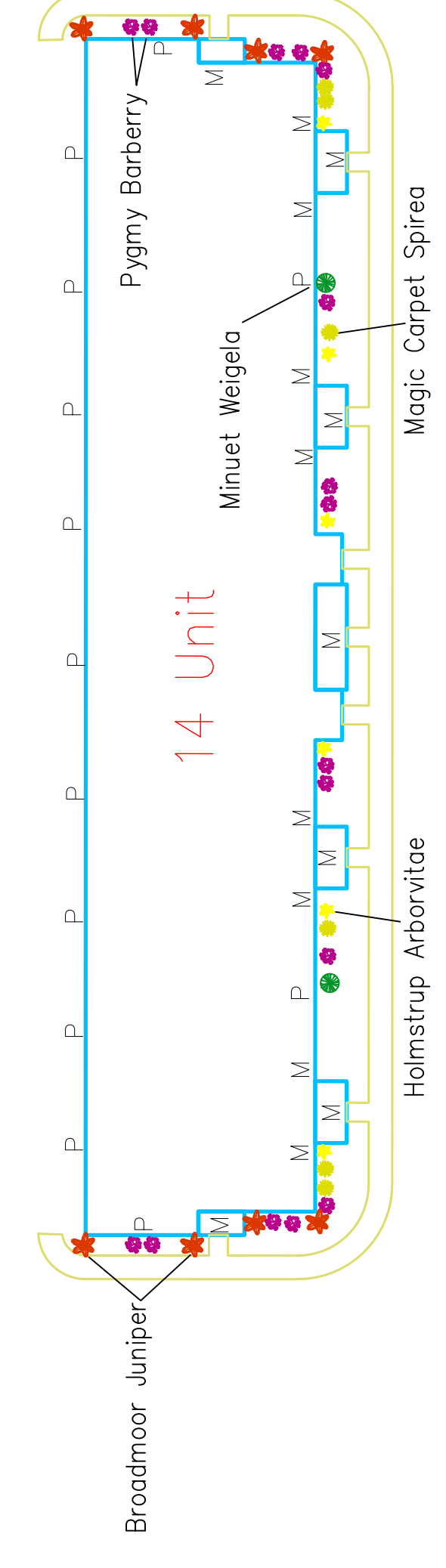
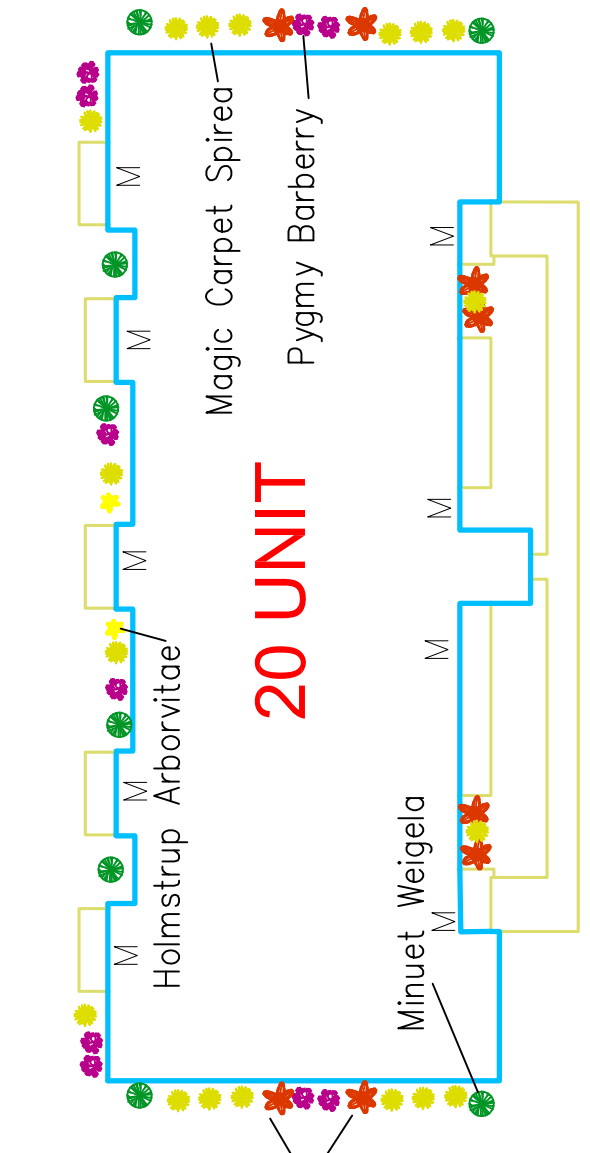
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M-21003  
 SHEET NO.  
**C11.0**  
 DRAWING NO.  
**S-3400**

File: M-21003Eng 041321.dwg



	14 Unit Building	20 Unit Building	Total	Coniferous/Deciduous/Strub	Size
1	16	6	88	S	15'-18" Tall
2	8	8	72	C	15'-18" Tall
3	6	2	32	C	30"-36" Tall
4	2	8	40	S	15'-18"
5	16	10	104	S	15'-18"
6	16	10	24	D	4" Tall
7	16	10	12	D	4" Tall
8	16	10	30	C	3'-4" Tall
9	16	10	6	D	1.25' Dia
10	16	10	2	D	1.25' Dia
11	16	10	12	D	1.25' Dia
12	16	10	7	D	3'-4" Tall
13	16	10	28	C	3'-4" Tall
14	16	10	2	D	1.25' Dia
15	16	10	4	S	10"-12" Tall
16	16	10	56	C	18"-24" Tall

LIGHTING  
 P Wall Pack  
 M Wall Mount



Number	Date	Comments
-	-	-
-	-	-
-	-	-
-	-	-

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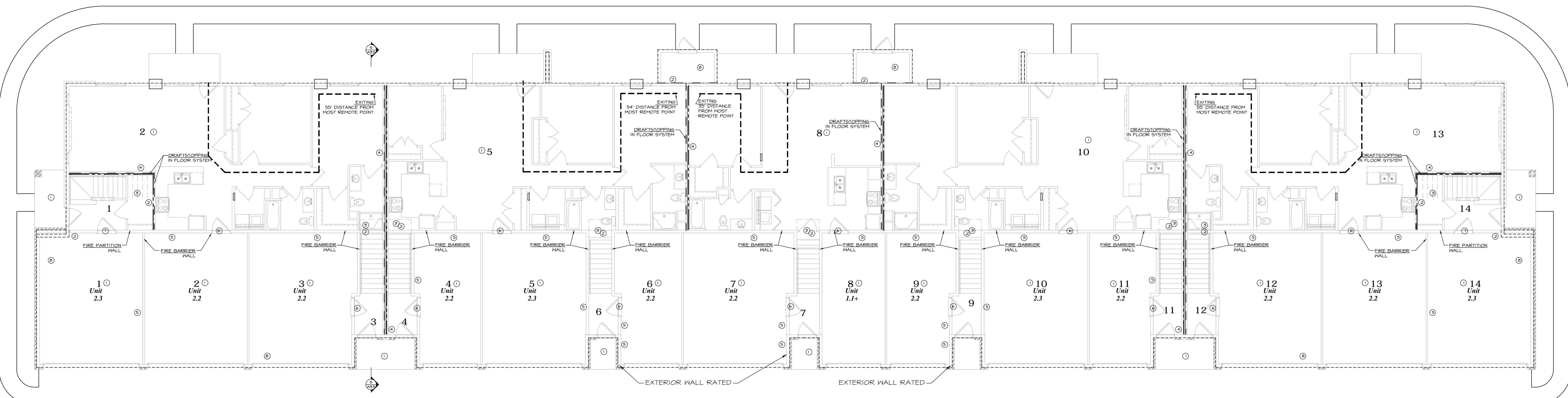
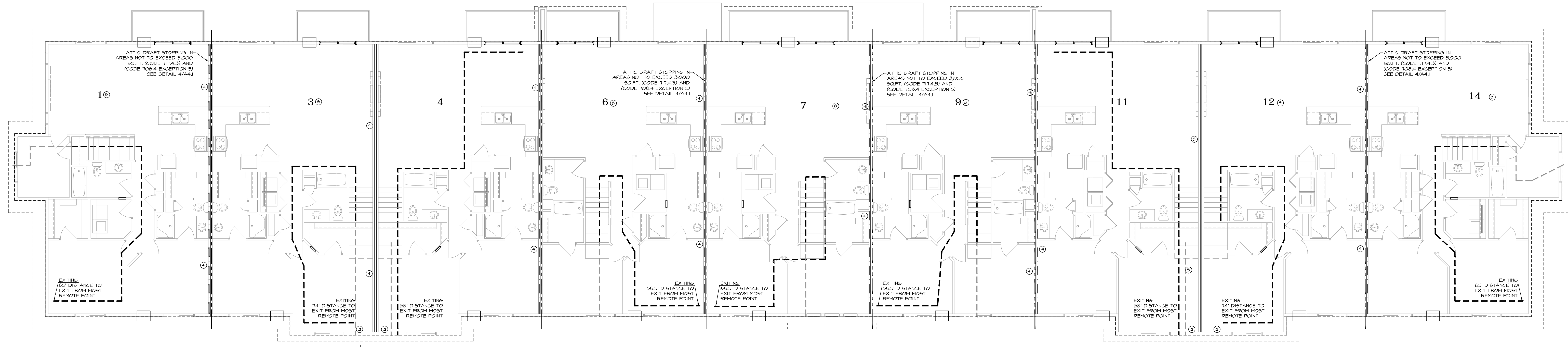
**PDK INVESTMENTS, LLC**  
 LANDSCAPING AND LIGHTING

PROJECT NO. M-21003  
 SHEET NO. LDSCP  
 DRAWING NO. S-3400

DESIGNED BY JEL  
 DATA FILE M-21003 2020.TXT  
 DATE 04-13-21

File: M21003\_Landscape Only\_041421.dwg





SAFETY PLAN LEGEND		
SYMBOL	ITEM	EXPLANATION
	DRAFT STOPPING	IBC 717 - CONCEALED SPACES - FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS. MATERIALS TO BE 3/8" OSB STRUCTURAL WOOD PANEL OR 1/2" GYPSUM BOARD DRAFT STOPPING CONTINUOUS ATTACHED w/ 3/4" @ 6" O.C. AT EDGES. DRAFTSTOPPING (FLOOR) • ABOVE CORRIDOR WALLS. • INLINE WITH UNIT SEPARATIONS. DRAFTSTOPPING (ATTIC) IN AREA NOT TO EXCEED 3,000 SQ.FT. (CODE 717.4.2) AND (CODE 709.4 EXCEPTION 5) FIRE PARTITIONS END AT CEILING.
	1 HOUR RATED FIRE PARTITION	IBC 709 - DWELLING UNIT SEPARATIONS (2) (4)
	2 HOUR RATED FIRE BARRIER	IBC 707 - FIRE WALL SHALL EXTEND FROM TOP OF SLAB TO ROOF DECK ABOVE (2)
	EXIT DISTANCE AND ROUTE	COMMON PATH OF TRAVEL = 75' MAX. (1014.3) EXIT ACCESS TRAVEL DISTANCE NOT APPLICABLE WITH INDIVIDUAL ENTRY UNITS OR 50' TO EXIT PASSAGE ENCLOSURE.
NOTES: 1. IBC 1406.3 NOT APPLICABLE - BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION CAN BE TYPICAL EXTERIOR PRESSURE TREATED LUMBER. 2. REQUIRED FIRE RESISTANCE SHOWN IN SAFETY PLAN, COMPOSITE PLANS / PARTITION TYPES MAY SHOW A HIGHER LEVEL OF FIRE RESISTANCE.		

- SAFETY PLAN NOTES
- (1) ONE HOUR HORIZONTAL ASSEMBLY.
  - (2) ONE HOUR FIRE PARTITION
  - (3) ONE HOUR FINISH RATING
  - (4) ONE HOUR FIRE PARTITION (SOUND WALL)
  - (5) ONE HOUR FIRE BARRIER
  - (6) 45 MINUTE DOOR
  - (7) 20 MINUTE DOOR
  - (8) 5/8" TYPE "X" CEILING LID

**PRELIMINARY - NOT FOR CONSTRUCTION**

**PDK Development**  
Coachome Building w/attached Garages  
Arvada II  
Hobart, Wisconsin

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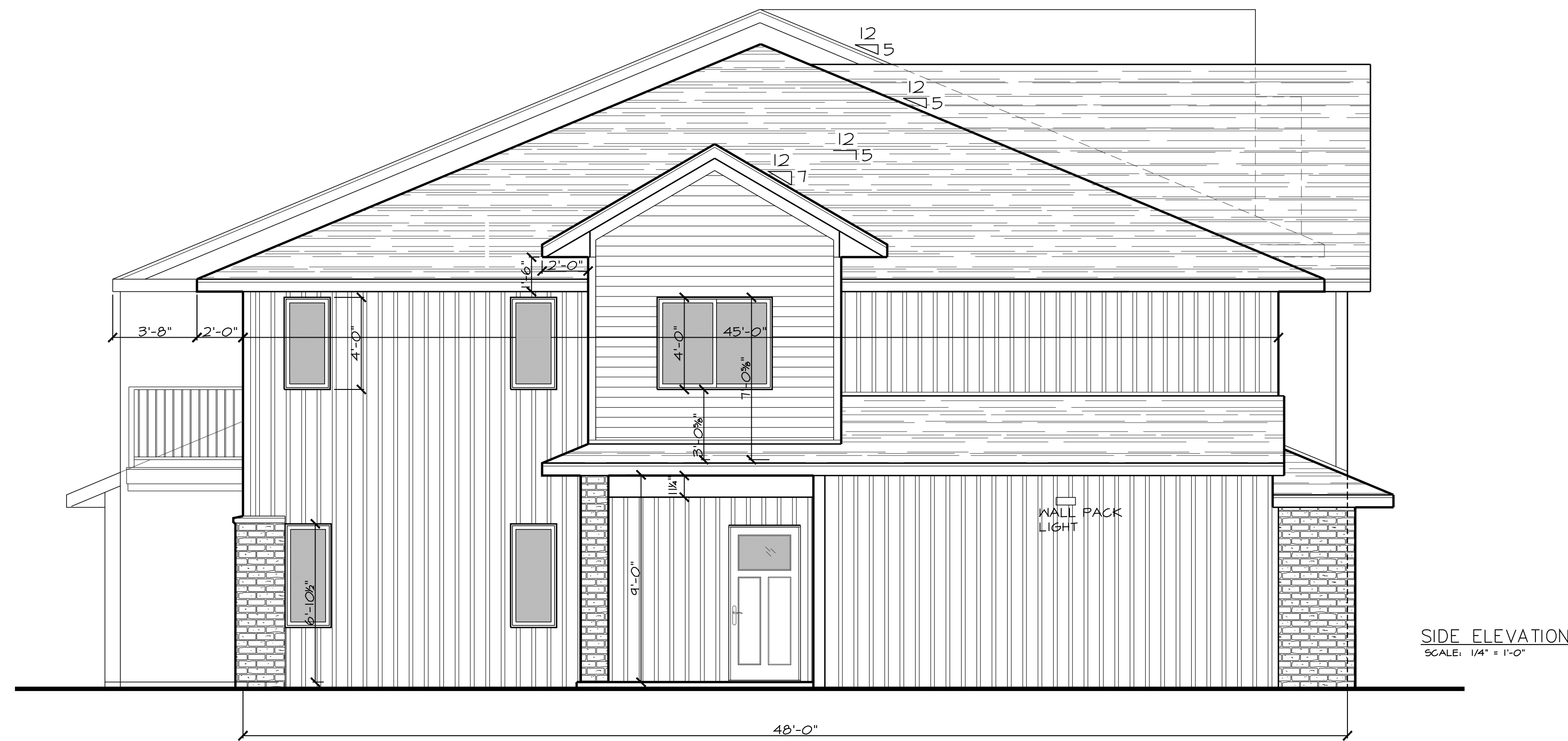
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DATE: 4/30/2021  
PROJECT NO. 361403  
SHEET  
**T 2**

COMPOSITE ELEVATIONS



BACK ELEVATION  
SCALE: 1/8" = 1'-0"



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

TOTAL MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	1,298	15.7
VERTICAL ACCENT SIDING	1,802	21.8
HORIZONTAL SIDING	5,156	62.5
TOTAL	8,256	100

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	81	10.4
VERTICAL ACCENT SIDING	540	69
HORIZONTAL SIDING	162	20.6
TOTAL	783	100

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Arvada II Hobart, Wisconsin

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REVISION	DATE
x	xx

DATE: 4/30/2021  
PROJECT NO. 361403  
SHEET  
**A**  
**1.1**



**Proposed 14 Unit Coachhome with Attached Garages;**

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	652	26.3
VERTICAL ACCENT SIDING	722	29.1
HORIZONTAL SIDING	1,104	44.6
TOTAL	2,478	100

DETAIL OF DRIVEWAY ELEVATION  
SCALE: 1/4" = 1'-0"



253'-0"



DETAIL OF BACK ELEVATION  
SCALE: 1/4" = 1'-0"

243'-0"

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	484	11.5
VERTICAL ACCENT SIDING	0	0
HORIZONTAL SIDING	3,728	88.5
TOTAL	4,212	100

**PDK Development**  
Coachhome Building w/attached Garages  
Arvada II  
Hobart, Wisconsin

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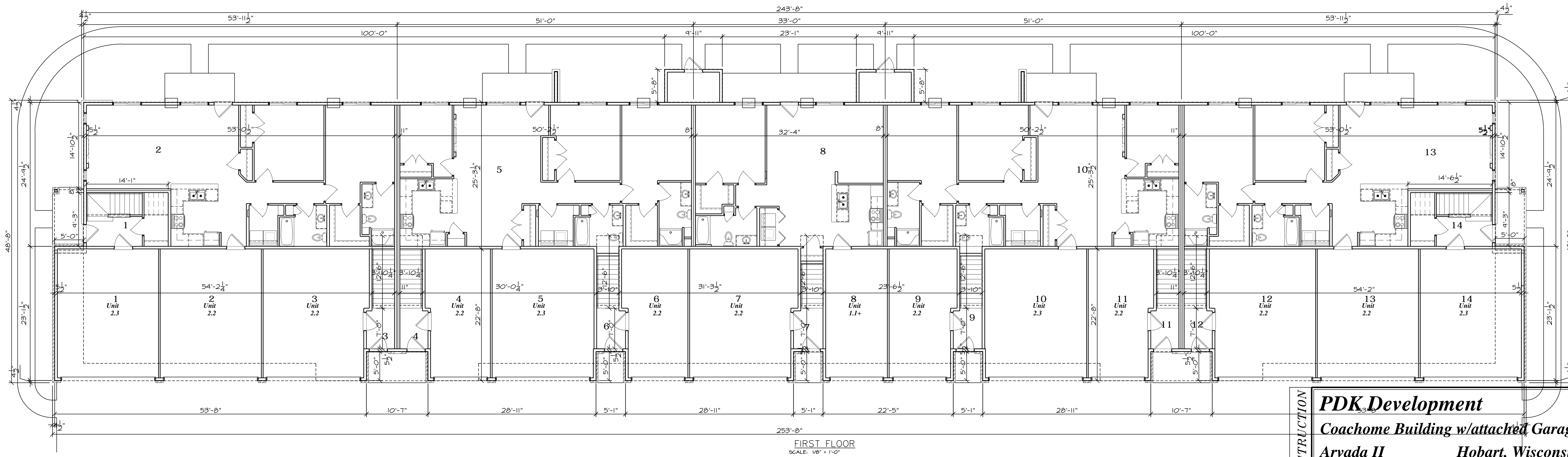
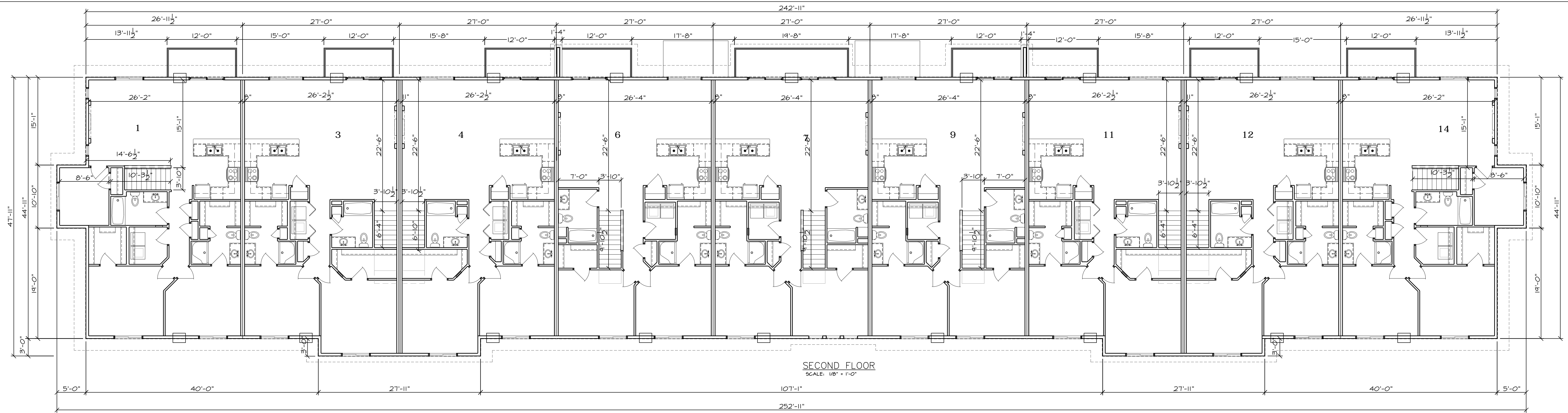
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**COMPOSITE PLANS**

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**PDK Development**  
Coachome Building w/attached Garages  
Arvada II Hobart, Wisconsin

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# Proposed 20 Unit Apartment Building;

## PDK Development @ Arvada II Hobart, WI

BUILDING CODE INFORMATION 2015 IBC (WISCONSIN)			
CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
3	USE AND OCCUPANCY	310.4	R-2 RESIDENTIAL
4	USE AND OCCUPANCY SEPARATION AT GARAGE	406.3	NO MORE THAN 1,000 S.F. OF ADJACENT GARAGE SPACE WITHOUT 1 HOUR FIRE BARRIER WALLS
5	ALLOWABLE HEIGHT STORIES AREA STREET FRONTAGE INCREASE INCIDENTAL USE	504.3 504.4 506.2 506.3  509	TYPE VB - 40' HEIGHT TYPE VB - 2 STORIES R2 = 1,000 PER FLOOR U = 5,500 S.F. R2 = 12,250 S.F. U = 9,625 S.F. (30' SIDES) (30' FRONT AND 30' BACK) METER ROOM INCIDENTAL USE, SMOKE SEPARATION REQUIRED, 0 HOUR RATED WALL
6	CONSTRUCTION TYPE SEPARATION DISTANCE	601 602	VB WOOD FRAME UNPROTECTED; • INTERIOR AND EXTERIOR BEARING WALLS = 0 HOUR • FLOOR = 0 HOUR • ROOF = 0 HOUR ALL EXTERIOR WALLS MORE THAN 10' FROM IMAGINARY PROPERTY LINES, 0 HOUR SEPARATION REQ.
7	RATED CONSTRUCTION FIRE BARRIER CONTINUITY FIRE PARTITION CONTINUITY HORIZONTAL ASSEMBLY PENETRATIONS OPENING PROTECTION BATH FANS / EXHAUST FAN COMBUSTIBLE CONCEALED SPACES	701 708  711  714.4.1.1.2 714.4.2  716.5 716.5.1 716.2  718 718.3 718.3.2 718.4.2	FIRE BARRIER TO SUBDIVIDE GARAGES BELOW 1,000 S.F. • BUILT FROM FLOOR TO UNDERSIDE OF FLOOR DECK ABOVE, 1 HOUR RATED FIRE PARTITION WALLS SEPARATING TENANT SPACES, BUILT FROM FLOOR TO UNDERSIDE OF THE CEILING WHEN DRAFTSTOP USED (EXCEPTION 5) ATTIC DRAFTSTOPPING NOT TO EXCEED 2 DWELLING UNITS OR 3,000 S.F. FLOOR OR ROOF ASSEMBLY, ONE HOUR RATED, SUPPORTING CONSTRUCTION NOT REQUIRED TO BE RATED (EXCEPTION 2) @ SEPARATION OF TENANT SPACE. FLOOR PENETRATIONS (TUB OR TOILET) WALL SHEATHED WITH TYPE X GYPSUM WHEN PENETRATING CEILING OF HORIZONTAL ASSEMBLY (BOTH FLOOR AND ATTIC) FIRE PARTITION 1 HOUR WALL = 20 MINUTE DOOR FIRE BARRIER 1 HOUR WALL (PRIVATE GARAGES) = 45 MINUTE DOOR FIRE DOORS SELF CLOSING MEMBRANE PENETRATION - EXHAUST FAN PENETRATING HORIZONTAL SEPARATION REQUIRES A RADIATION DAMPER ENSURE DRYER EXHAUST (VENT) LENGTH IS NOT EXCEEDED, USE A 4" EXTERIOR HOOD AS NEEDED. EXCEPTION: THROUGH PENETRATIONS A DUCT IS PERMITTED TO PENETRATE THREE FLOORS OR LESS WITHOUT A FIRE DAMPER AT EACH FLOOR PROVIDED SUCH DUCT MEETS ALL THE REQUIREMENTS LISTED IN 717.6.1 (EXCEPTION) FIREBLOCKING - 2x LUMBER USED TO CUT OFF DRAFT OPENINGS DRAFTSTOPPING - 7/16" OSB IN FLOOR ABOVE ALL TENANT SEPARATIONS DRAFTSTOP IN ATTIC EVERY 3,000 S.F. OR TWO TENANT SPACES
8	FINISH REQUIREMENTS	803.11	CLASS C FOR ALL ROOMS SPRINKLERED
9	FIRE PROTECTION PORTABLE FIRE EXTINGUISHER SMOKE DETECTION CARBON MONOXIDE ALARM	903.2.8 903.3.1.2  905.3.1 906 907.2 907.2.1.1.2 907.2.11.5 907.2.11.6 915/5P5 362	AUTOMATIC FIRE SPRINKLER SYSTEM (FOUR STORIES AND 60 FEET MAX.) NFPA 13R FULL SPRINKLER SYSTEM IN BUILDING BALCONIES AND DECKS PROTECTED WHEN ROOF ABOVE 2'-0" EAVE ALLOWED BEFORE COVERAGE REQUIRED. FIRE EXTINGUISHER IN KITCHEN OF EVERY DWELLING UNIT (MINIMUM RATING OF (I-A)-10-B-C) MANUAL FIRE ALARM REQUIRED R2 - GREATER THAN 16 UNITS, AUTOMATIC SMOKE DETECTION SYSTEM NOT REQUIRED (NOT A DORMITORY) SMOKE ALARMS IN EACH BEDROOM AND IN THE IMMEDIATE VICINITY OF EACH BEDROOM, AND MIN. 1 PER FLOOR. INTERCONNECTED WITHIN EACH UNIT SMOKE DETECTORS / ALARMS REQ. ALARMS WITH BATTERY BACKUP NOT REQUIRED IN UNITS, NO FUEL BURNING APPLIANCE OR FIREPLACE
10	MEANS OF EGRESS OCCUPANT LOAD DWELLING WITH ONE EXIT COMMON PATH OF TRAVEL 2 EXITS, MIN. SEPARATION HANDRAIL GUARDS OPEN STAIRS EMERGENCY ESCAPE WINDOWS	1004.1.2  1006.2.1 1006.3.2(3) 1007.1 1010.5  1013.1 1014.2 1015  1015.4 1019.3  1030.1	200 GROSS RESIDENTIAL SECOND FLOOR OCCUPANT LOAD = 9270 / 200 = 47 DIVIDED BY 2 EXITS FIRST FLOOR OCCUPANT = 8266 / 200 = 41 DIVIDED BY 2 EXITS SECOND FLOOR 2 EXITS 125' TRAVEL DISTANCE NOT EXCEEDED FROM FURTHEST POINT OF SECOND FLOOR SINGLE EXIT APARTMENT WITH 2 EXIT BUILDING - 250' MAX. TRAVEL DISTANCE DISTANCE MIN. 1/4 MAXIMUM LENGTH DOORS IN MEANS OF EGRESS MUST HAVE FLUSH FLOOR LANDINGS ON EACH SIDE, EXCEPTION IS MECHANICAL ROOM DOORS CAN HAVE 7" STEP. EXITS MARKED WITH APPROVED EXIT SIGN AND 90 MINUTE ILLUMINATION HANDRAIL HEIGHT WITH EXPANDED ALLOWANCES INDIVIDUAL UNIT GUARDS 36" ABOVE FLOOR (WINDOWS ABOVE FIRST FLOOR, RAILINGS, HALF WALLS) GUARDS WILL NOT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER CONDITION 1 - STAIRS DO NOT NEED TO BE ENCLOSED WHEN UNDER 250' EXIT DISTANCE ACHIEVED FROM THE MOST REMOTE LOCATION FOR ALL SLEEPING ROOMS UNDER 4 STORIES
11	ACCESSIBILITY PARKING SPACES DWELLING UNITS ACCESSIBLE UNITS	1104-1105 1106.1 1107 1107.6.2	ACCESSIBLE ROUTE TO BOTH FRONT DOORS, BOTH ACCESSIBLE ENTRANCES GROUP R-2, 2% BUT NOT LESS THAN 1 - ONE AT EACH BUILDING ALL FIRST FLOOR UNITS TYPE B ACCESSIBILITY MINIMUM SEE AREA DATA TABLE THIS PAGE FOR ACCESSIBLE UNITS IN EACH BUILDING
14	BALCONIES	1406.3	EXCEPTION 3. BALCONIES ON TYPE V BUILDINGS CAN BE PRESSURE TREATED LUMBER (NO FIRE RATING) WHEN PROTECTED BY SPRINKLER.
<b>National Electrical Code</b>			
CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION
110	REQUIREMENTS FOR ELECTRICAL INSTALLATION	110.26	SUFFICIENT WORKING SPACE SHALL BE PROVIDED AROUND ELECTRICAL EQUIPMENT (PANELS). THE DEPTH OF THE SPACE IN THE DIRECTION OF ACCESS TO LIVE PARTS SHALL BE A MINIMUM OF 3 FEET. THE MINIMUM WIDTH OF THE SPACE IN FRONT OF ELECTRICAL EQUIPMENT SHALL BE THE WIDTH OF THE EQUIPMENT OR 30 INCHES, WHICHEVER IS GREATER. THIS WORK SPACE SHALL BE CLEAR AND EXTEND FROM THE FLOOR TO A HEIGHT OF 6.5 FEET. THIS SPACE SHALL NOT BE USED FOR STORAGE.
210	DECKS AND PORCHES	210.52(E)(3)	DECKS AND PORCHES ACCESSIBLE FROM AN INTERIOR DWELLING UNIT SHALL HAVE ONE RECEPTACLE.
240	OVERCURRENT PROTECTION	240.24(d)	OVERCURRENT DEVICES (ELECTRICAL PANELS) SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS.
		R404.1/SP5 363.5404	PROVIDE NOT LESS THAN 50% OF LAMPS AS HIGH EFFICIENCY LAMPS.

LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	WALL TYPE - REFER TO WALL TYPES		PLAN NOTE
	ELEVATION REFERENCE		REVISION MARK - REFER TO TITLE BLOCK FOR REVISION DATE
	WALL SECTION REFERENCE OR DETAIL CUT - REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL		ACCESSIBILITY PLAN NOTE
			SCHEDULED NOTE LIKE STRUCTURAL HEADER
SYMBOL	ITEM	ITEM DESCRIPTION	
	SMOKE DETECTOR ALARM	IBC 907.2.11 - SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE-WARNING EQUIPMENT PROVISIONS OF NFPA 72.	
	BATH FAN	BATH FANS ARE TO BE IN ROOMS CONTAINING ANY BATHING FIXTURES, BATHTUBS, SHOWERS. IBC 1203.4.2.1	
	VINYL WINDOW	LOW E, DOUBLE PANE GLASS, GLAZING, MINIMUM ASSEMBLY U-VALUE = .21 - .29	

### GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF 2015 IBC (WISCONSIN).
- ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, TOILETS, TRUSSES AND OTHER PROJECT REQUIREMENTS.
- ALL CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL CONTRACTORS ARE EACH RESPONSIBLE FOR JOB SITE SAFETY DURING CONSTRUCTION.
- VAPOR RETARDER, REQUIRED ON WARM SIDE OF THERMAL INSULATION
- INFILTRATION BARRIER, HOUSE WRAP TO BE ON ALL EXTERIOR WALLS INCLUDING GABLED ENDS, CLERESTORIES AND GARAGE WALLS. NO DUCT TAPE OR VOIDS ALLOWED.
- WIND WASH PROTECTION, USE OSB @ COLD SIDE OF INSULATION IN ATTICS INCLUDING THROUGH FLOOR SPACE OF ATTIC TRUSSES.
- ALL WALLS GYPSUM 5/8" TYPE X
- FLOOR COVERING IS VINYL PLANK TYPICAL, STAIRS AND BEDROOMS CARPET.

SAFETY PLAN LEGEND	
SYMBOL	ITEM
	DRAFT STOPPING
	1 HOUR RATED FIRE PARTITION
	1 HOUR RATED FIRE BARRIER
	EXIT DISTANCE AND ROUTE

### TYPE "A" ACCESSIBLE UNIT IN EACH OF THE 20 UNIT BUILDINGS

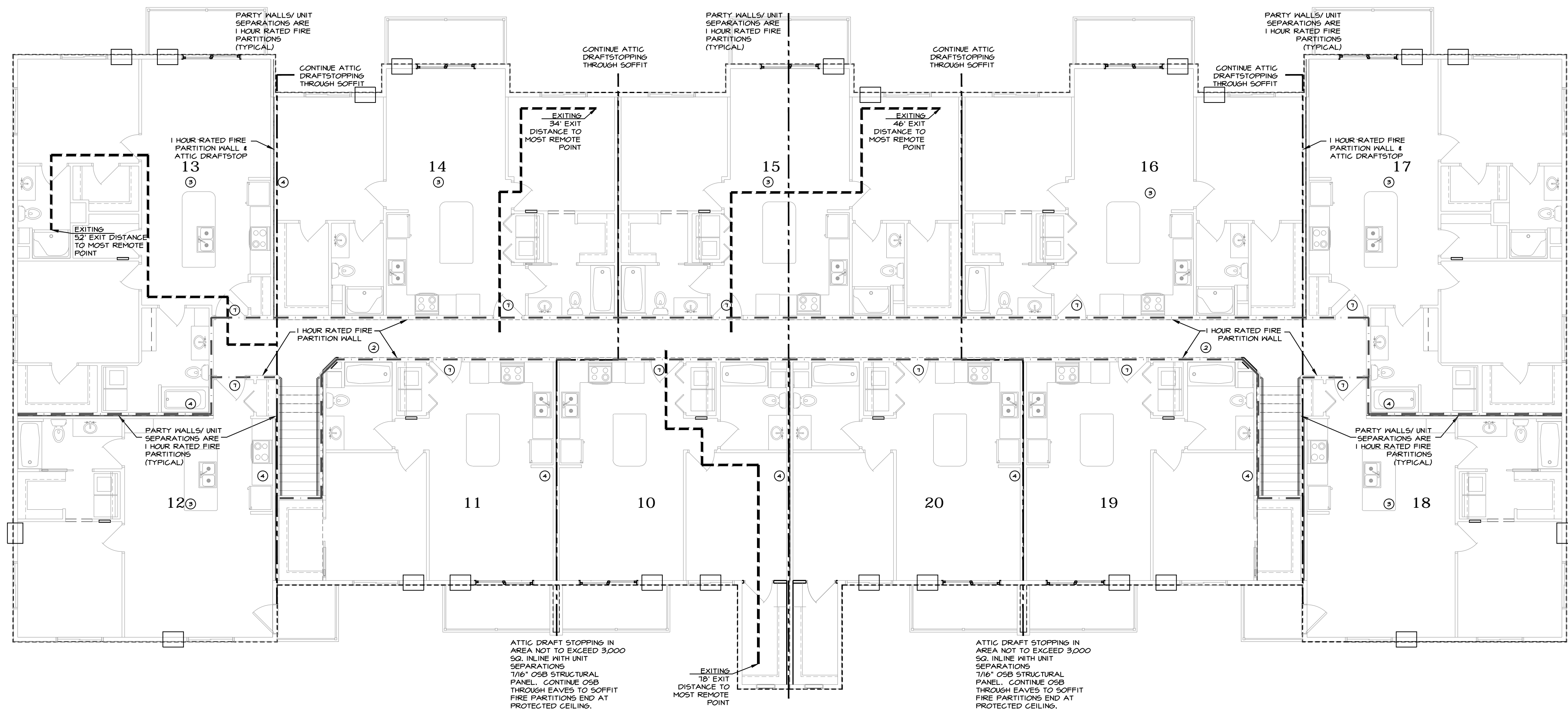
- ICG/IBC-2015, Sec. 1107.6.2.11 - (APARTMENT HOUSES) TYPE "A" UNITS. ALL TYPE "A" UNITS HAVE BEEN ACCOUNTED FOR IN THE 20 UNIT BUILDINGS FOR PHASE II BECAUSE THE A TYPE WERE IN THE 14 UNIT BUILDINGS IN THE FIRST PHASE. THREE UNITS REQUIRED (4 TOTAL) IN A SITE OF 136 UNITS.  
IN GROUP R-2 OCCUPANCIES CONTAINING MORE THAN 20 DWELLING UNITS OR SLEEPING UNITS, AT LEAST TWO (2) PERCENT BUT NOT LESS THAN ONE OF THE UNITS SHALL BE A TYPE "A" UNIT. ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE "A" UNITS.
- ACCESSIBLE ENTRANCES AT BOTH FRONT DOORS

INDEX TO DRAWINGS	T1	TITLE SHEET, CODE DATA
	T2	EXISTING AND SAFETY PLANS
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	C1	ARCHITECTURAL SITE PLAN
	A1.1	COMPOSITE ELEVATIONS
	A1.2	DETAILED ELEVATIONS
	A2.0	COMPOSITE FIRST AND SECOND FLOOR PLANS, PARTITION TYPES
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	A3.3	BUILDING SECTION, STAIR DETAIL AND THERMAL ENVELOPE
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	A4.1	DETAILS
	S1.1	STRUCTURAL - GENERAL NOTES, SCHEDULES, DETAILS
	S2.0.1	STRUCTURAL - FOUNDATION & SLAB PLANS COMPOSITE
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S2.0.3	STRUCTURAL - FOUNDATION PLAN DETAIL	
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S2.1.2	STRUCTURAL - FLOOR FRAMING DETAIL & SCHEDULE	
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S2.2.1	STRUCTURAL - ROOF FRAMING COMPOSITE PLANS	
S2.2.2	STRUCTURAL - ROOF FRAMING PLAN DETAIL, LOWER	
S2.2.3	STRUCTURAL - ROOF FRAMING PLAN DETAIL, LOWER	
S2.2.4	STRUCTURAL - ROOF FRAMING PLAN DETAIL, UPPER	
S2.2.5	STRUCTURAL - ROOF FRAMING PLAN DETAIL, UPPER	
S3.1	STRUCTURAL - FOUNDATION DETAILS	
S3.2	STRUCTURAL - FRAMING DETAILS	
S4.1	STRUCTURAL - SHEAR WALL PLANS AND DETAILS	

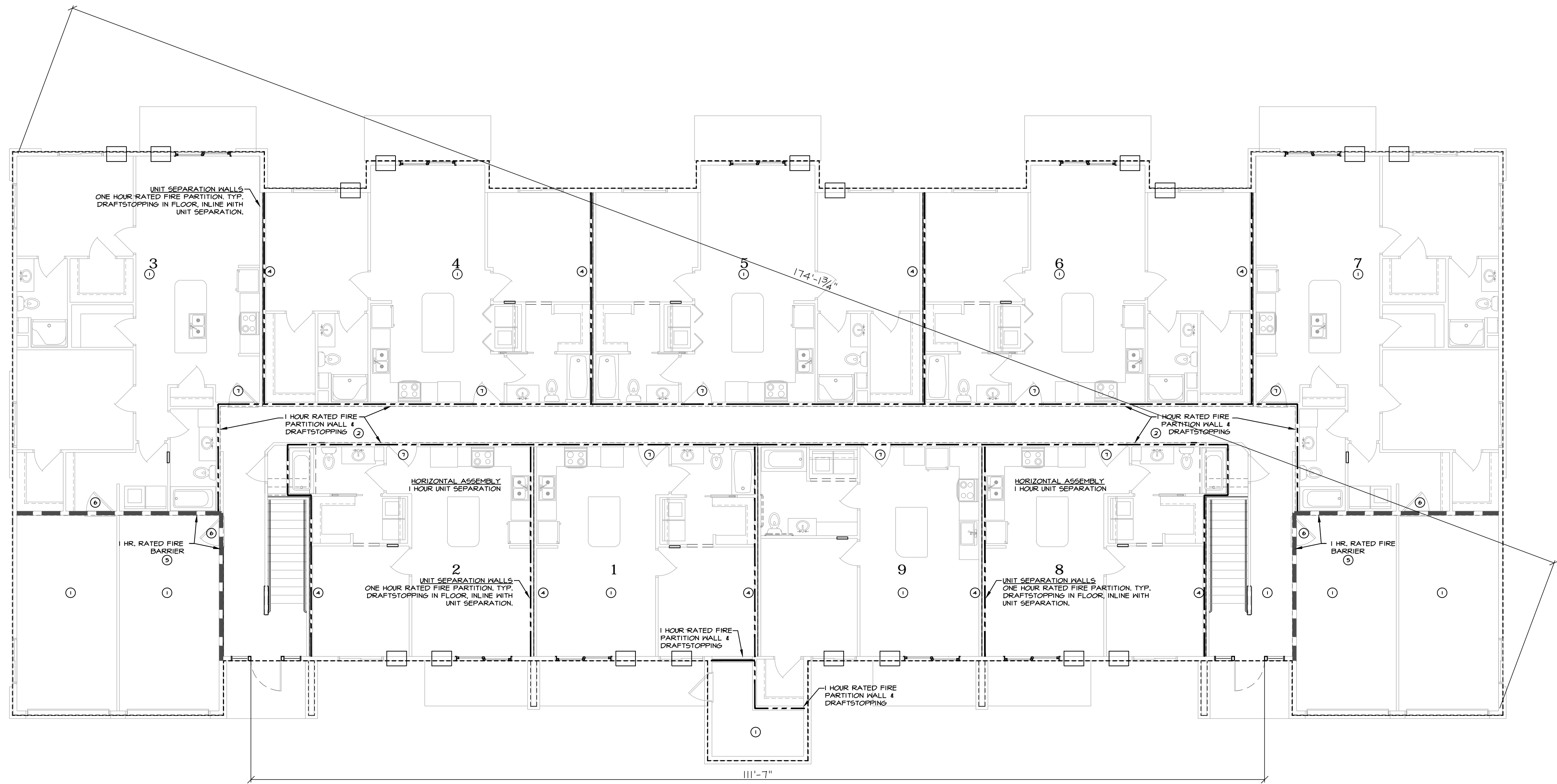
AREA DATA					
UNIT NUMBER	SQUARE FOOTAGE	BEDROOMS BATHROOMS GARAGE	FLOOR	NOTES	
1	592	1 BED / 1 BATH	FIRST	ACCESSIBLE TYPE "B"	
2	604	1 BED / 1 BATH	FIRST	ACCESSIBLE TYPE "B"	
3	1044	2 BED / 2 BATH / GARAGE	FIRST	ACCESSIBLE TYPE "B"	
4	912	2 BED / 2 BATH	FIRST	ACCESSIBLE TYPE "B"	
5	912	2 BED / 2 BATH	FIRST	ACCESSIBLE TYPE "B"	
6	912	2 BED / 2 BATH	FIRST	ACCESSIBLE TYPE "B"	
7	1044	2 BED / 2 BATH / GARAGE	FIRST	ACCESSIBLE TYPE "B"	
8	604	1 BED / 1 BATH	FIRST	ACCESSIBLE TYPE "B"	
9	619	1 BED / 1 BATH	FIRST	ACCESSIBLE TYPE "A"	
10	653	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
11	638	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
12	690	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
13	984	2 BED / 2 BATH / GARAGE	SECOND	NON-ACCESSIBLE WALK-UP	
14	912	2 BED / 2 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
15	912	2 BED / 2 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
16	912	2 BED / 2 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
17	984	2 BED / 2 BATH / GARAGE	SECOND	NON-ACCESSIBLE WALK-UP	
18	690	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
19	638	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
20	653	1 BED / 1 BATH	SECOND	NON-ACCESSIBLE WALK-UP	
TOTALS					
	WITHIN DWELLING UNITS	COMMON MECHANICAL SPACE	HEATED TOTAL	GARAGE	TOTAL
FIRST	7,243	1,023	8,266	1,004	9,270
SECOND	8,666	660	9,326	0	9,326
TOTAL	15,909	1,683	17,592	1,004	18,596

## PDK Development 20 Unit Apartment Building Arvada II Hobart, Wisconsin

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		DATE 4/5/2021 PROJECT NO. 361403 SHEET <b>T 1</b>
EMAIL: laplanarchitecture@yahoo.com OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769		



SECOND FLOOR - SAFETY & EXITING  
SCALE: 1/8" = 1'-0"



FIRST FLOOR - SAFETY & EXITING  
SCALE: 1/8" = 1'-0"

SAFETY PLAN LEGEND		
SYMBOL	ITEM	EXPLANATION
	DRAFT STOPPING	CONCEALED SPACES - FIREBLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS. MATERIALS TO BE 7/16" OSB STRUCTURAL WOOD PANEL CONTINUOUS ATTACHED w/ Bd @ 6" O.C. AT EDGES. DRAFTSTOPPING (FLOOR) • ABOVE CORRIDOR WALLS. • IN LINE WITH UNIT SEPARATIONS. DRAFTSTOPPING (ATTIC) IN LINE WITH UNIT SEPARATIONS OR IN AREA NOT TO EXCEED 3,000 SQ.F. (THIS ALLOWS TOB EXCEPTION 5) FIRE PARTITIONS END AT CEILING.
	1 HOUR RATED FIRE PARTITION	IBC 708 - DWELLING UNIT SEPARATIONS <span style="border: 1px solid black; padding: 2px;">2 4</span>
	EXIT DISTANCE AND ROUTE	COMMON PATH OF TRAVEL = 125' MAX. SINGLE EXIT APARTMENT WITH 2 EXIT BUILDING - 250' MAX. TRAVEL DISTANCE
NOTES: 1. IBC 1406.3 EXCEPTION 3 - BALCONIES ON BUILDINGS OF TYPE V CONSTRUCTION CAN BE TYPICAL EXTERIOR PRESSURE TREATED LUMBER.		

- SAFETY PLAN NOTES**
- ① ONE HOUR HORIZONTAL ASSEMBLY.
  - ② ONE HOUR FIRE PARTITION
  - ③ 5/8" TYPE "X" CEILING LID
  - ④ ONE HOUR FIRE PARTITION (SOUND WALL)
  - ⑤ ONE HOUR FIRE BARRIER
  - ⑥ 45 MINUTE DOOR
  - ⑦ 20 MINUTE DOOR

**PDK Development**  
20 Unit Apartment Building  
Arvada II Hobart, Wisconsin

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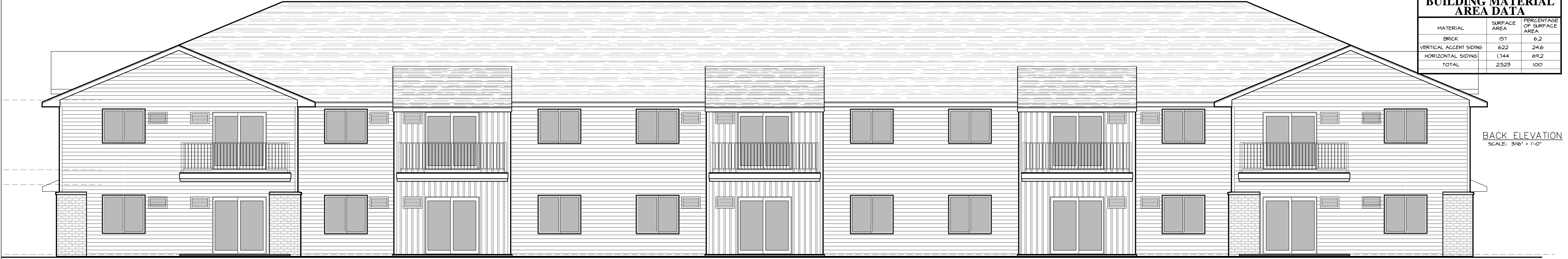
**Proposed 20 Unit Apartment**

FRONT ELEVATION  
SCALE: 3/16" = 1'-0"

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	130	49.6
VERTICAL ACCENT SIDING	661	26.9
HORIZONTAL SIDING	681	27.5
TOTAL	2,478	100



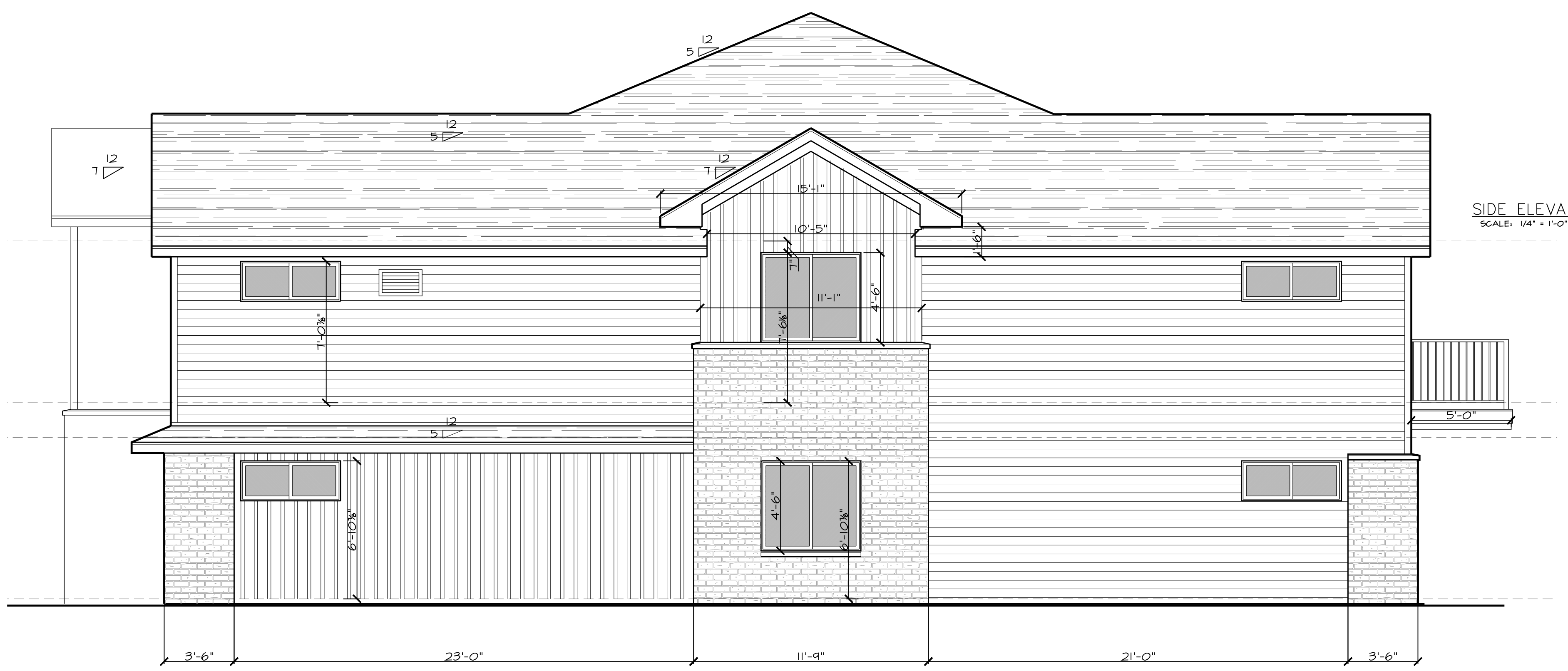
BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	157	6.2
VERTICAL ACCENT SIDING	622	24.6
HORIZONTAL SIDING	1,144	64.2
TOTAL	2,523	100



BACK ELEVATION  
SCALE: 3/16" = 1'-0"

TOTAL MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	1,639	24
VERTICAL ACCENT SIDING	1,649	24
HORIZONTAL SIDING	3,563	52
TOTAL	6,851	100

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	176	18.2
VERTICAL ACCENT SIDING	220	22.8
HORIZONTAL SIDING	564	59
TOTAL	465	100



SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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### Proposed 20 Unit Apartment



GENERAL ELEVATION NOTE:  
MATERIAL SEEN ON FRONT FACE IS THE  
SAME MATERIAL ON SURFACE NOT SEEN IN  
2D ELEVATION  
SCALE: 1/4" = 1'-0"

GENERAL ELEVATION NOTE:  
MATERIAL SEEN ON FRONT FACE IS THE  
SAME MATERIAL ON SURFACE NOT SEEN IN  
2D ELEVATION

GENERAL ELEVATION NOTE:  
MATERIAL SEEN ON FRONT FACE IS THE  
SAME MATERIAL ON SURFACE NOT SEEN IN  
2D ELEVATION



GENERAL ELEVATION NOTE:  
MATERIAL SEEN ON FRONT FACE IS THE  
SAME MATERIAL ON SURFACE NOT SEEN IN  
2D ELEVATION  
SCALE: 1/4" = 1'-0"

**PDK Development**  
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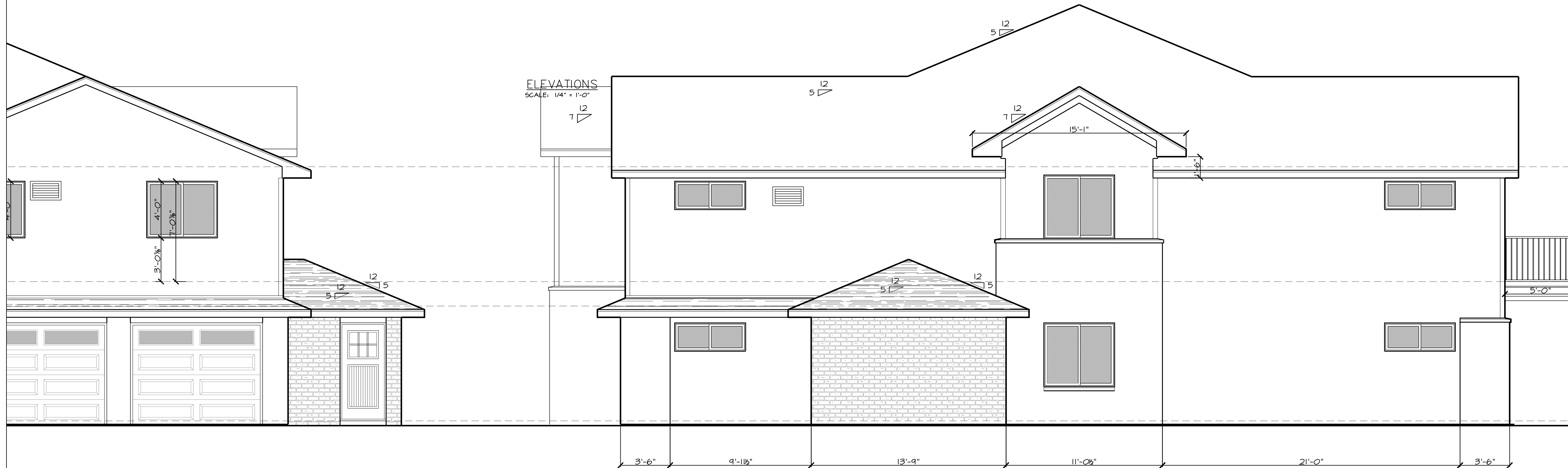
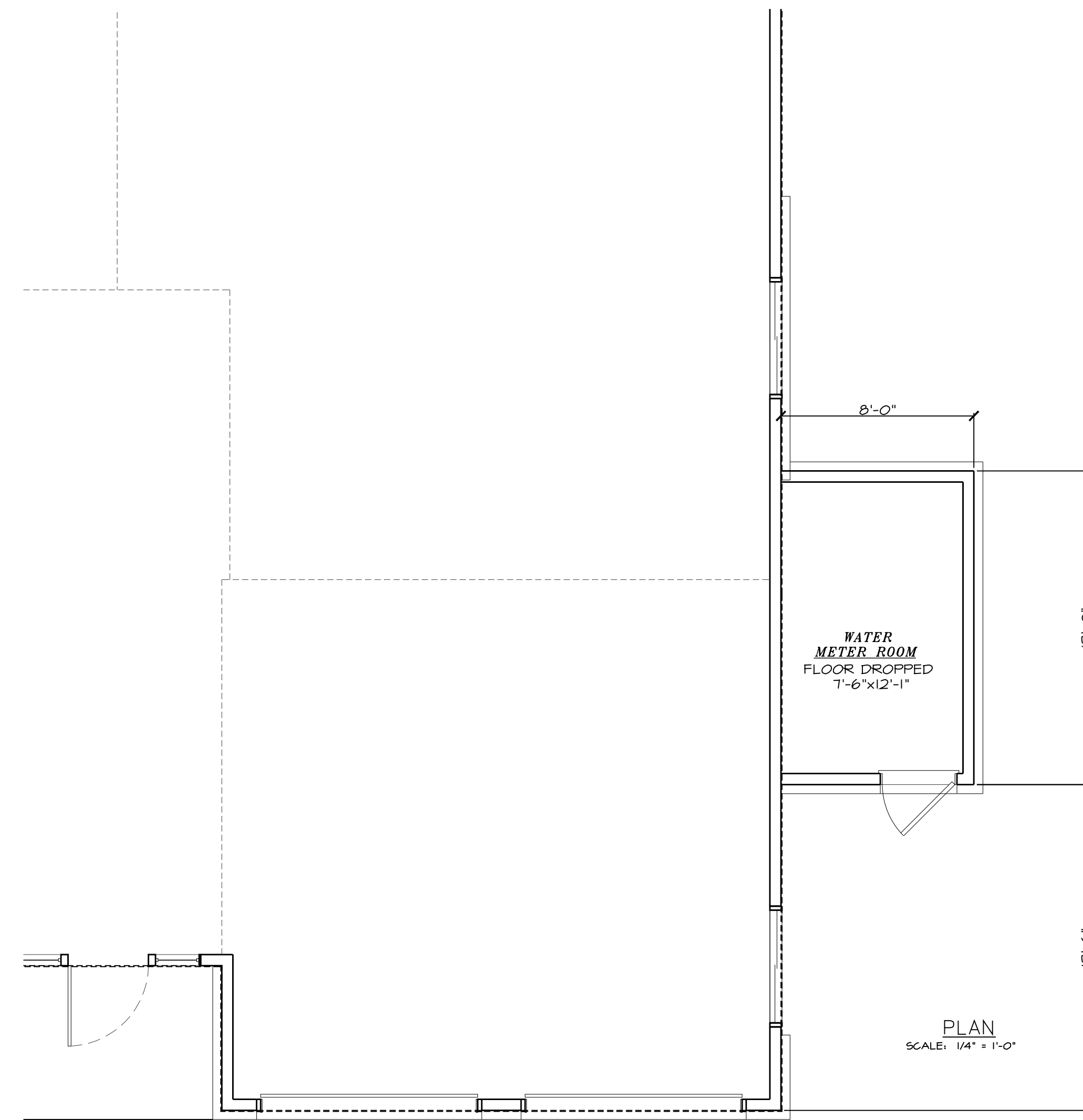
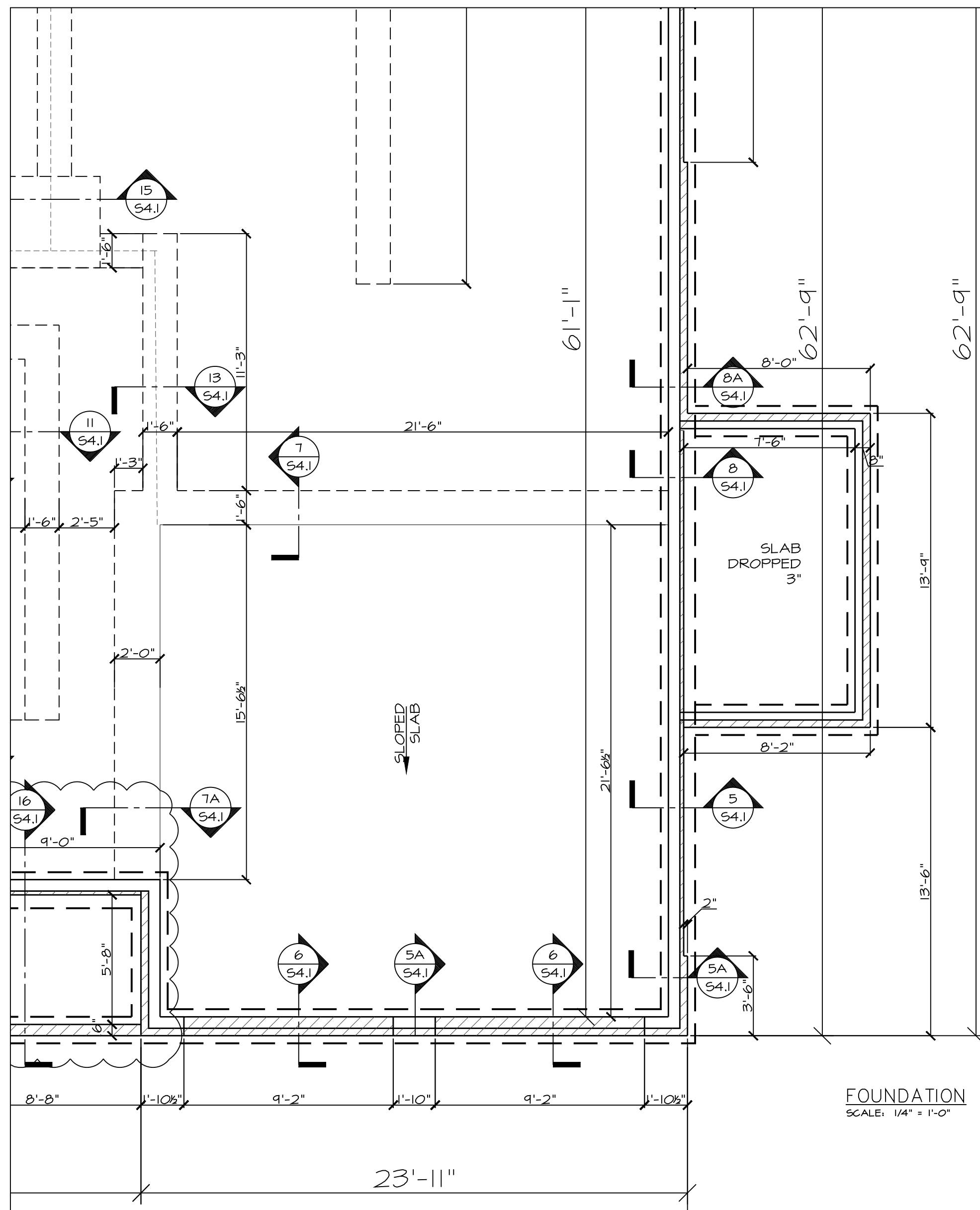
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**Meter Room Option**



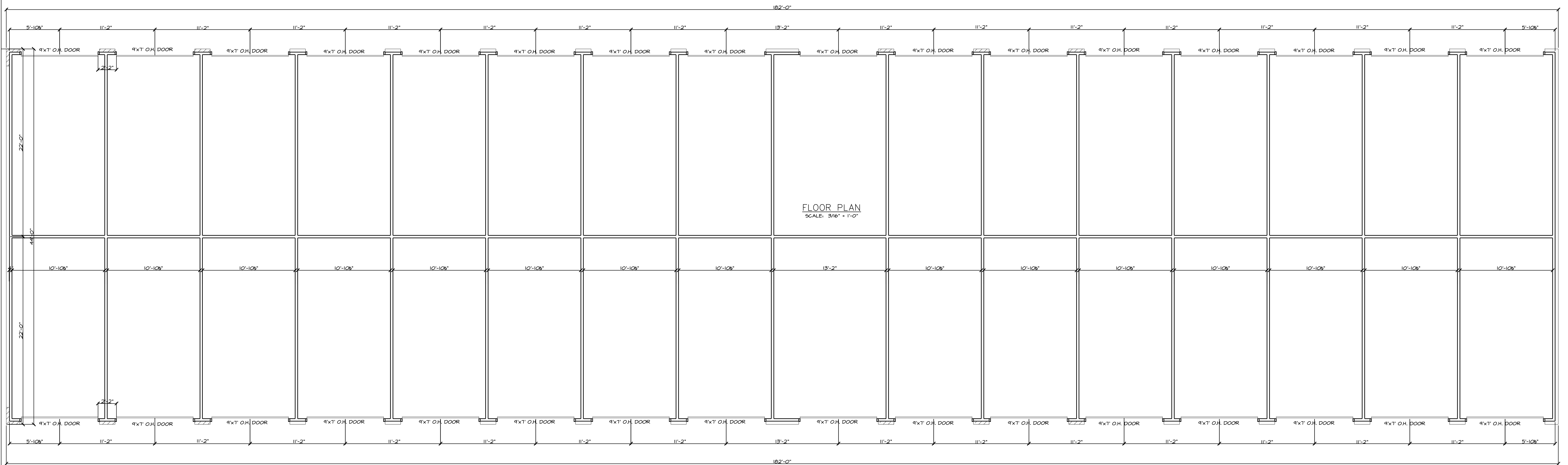
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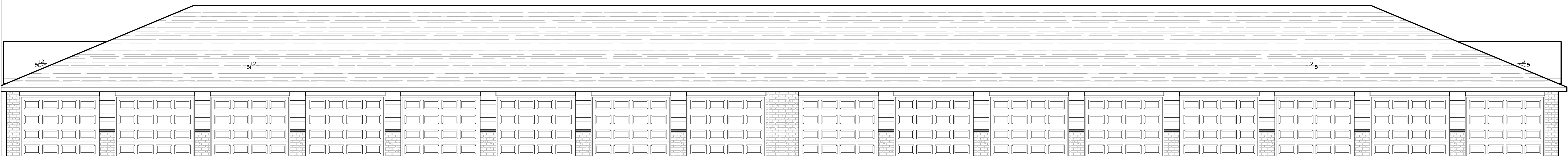
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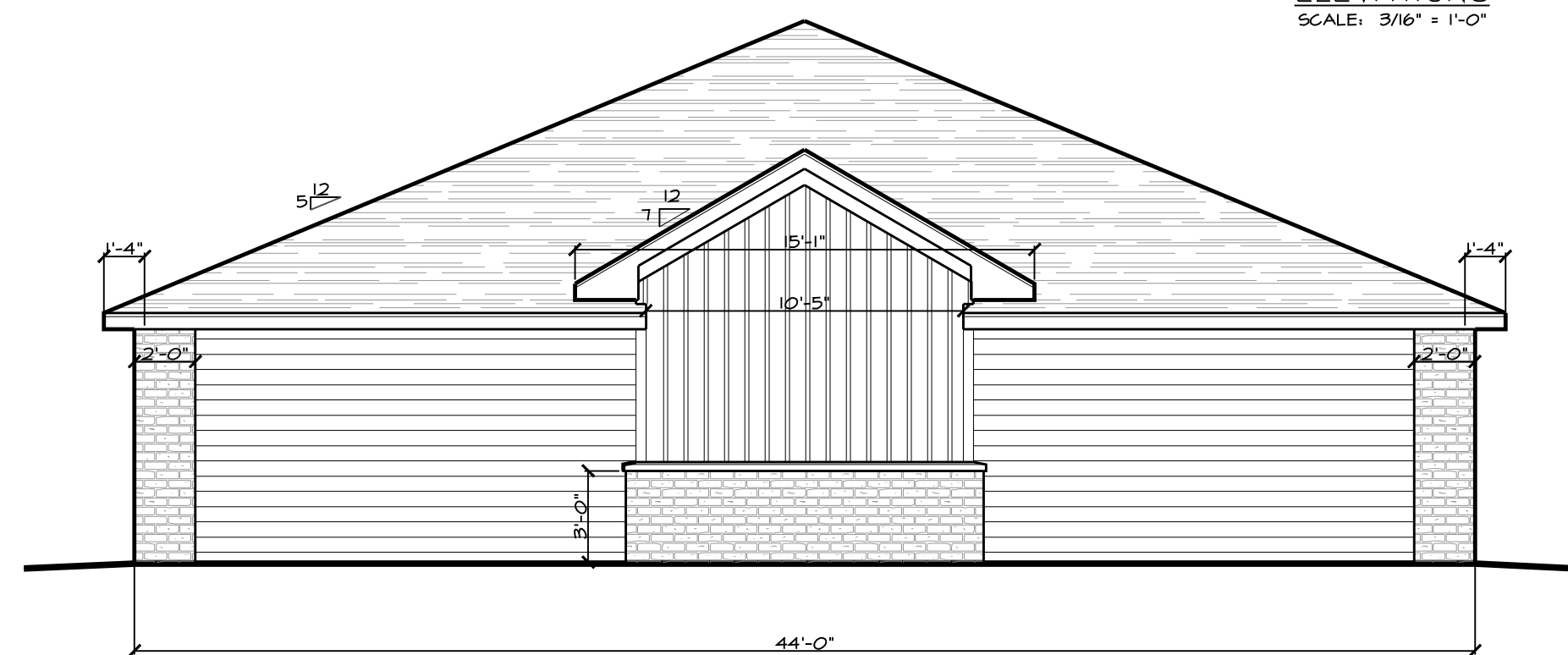
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**1.3**



FLOOR PLAN  
SCALE: 3/16" = 1'-0"



ELEVATIONS  
SCALE: 3/16" = 1'-0"



BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	124	64.4
VERTICAL ACCENT SIDING	0	0
HORIZONTAL SIDING	57	30.6
TOTAL	186	100

TOTAL MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	340	35.4
VERTICAL ACCENT SIDING	166	15.1
HORIZONTAL SIDING	546	44.5
TOTAL	1022	100

BUILDING MATERIAL AREA DATA		
MATERIAL	SURFACE AREA	PERCENTAGE OF SURFACE AREA
BRICK	66	18
VERTICAL ACCENT SIDING	83	22
HORIZONTAL SIDING	216	60
TOTAL	365	100

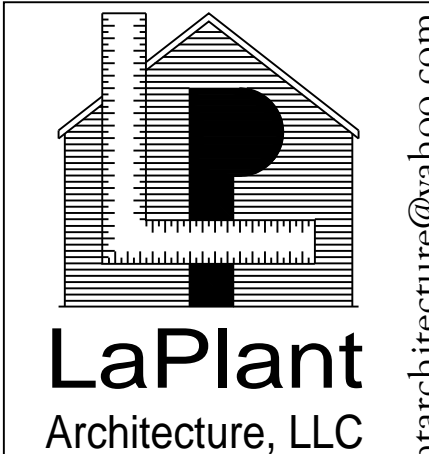
**PDK Development, Inc.**

**Garages**

**Arvada II**

**Hobart, Wisconsin**

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