

Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday April 21<sup>st</sup> 2021 at 5:30 P.M. at the Hobart Village Office. NOTICE OF POSTING: Posted this 15<sup>th</sup> day of April, 2021 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

### MEETING NOTICE – SITE REVIEW COMMITTEE

**Date/Time: Wednesday April 21<sup>st</sup> 2021 (5:30 P.M.)**

**Location: Village Office, 2990 South Pine Tree Road**

***NOTE: Based on Federal and State guidance during the COVID-19 crises, anyone attending the Board meeting is asked to practice social distancing, which means maintaining a distance of at least 6 feet (2 meters) from others. Due to the Governor's recent Executive Order, all those present must wear a face mask at the meeting. Thank you for your cooperation.***

#### **ROUTINE ITEMS TO BE ACTED UPON:**

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the March 17<sup>th</sup> 2021 meeting (Page 2)
4. Public Comment on Non-Agenda Items.

#### **ACTION ITEMS**

##### **5. DISCUSSION AND ACTION – Consider request for a 6,000 sf., cold storage building and associated site improvements (774 W. Adam Drive, HB-139-3) (Page 5)**

The property owner is proposing to construct a new 6,000 square foot building towards the rear of their complex that would be utilized as a cold storage building. This new building is planned to be very similar to the storage building that was constructed back in 2017 relative to the exterior building materials and will be located directly to the west of the existing building. This new building will be accessed through the existing construction yard and new concrete pavement will be placed adjacent to the building to provide clear access to this new building.

##### **6. DISCUSSION AND ACTION - Discussion and action on proposed new 2 story, 23,595 sf., office building and associated site improvements (1256 Centennial Centre Blvd., HB-2412) (Page 26)**

This proposed new 23,595 square foot building will be constructed in the northwest corner of an already partially developed parcel. The site currently has a 6,160 square foot office building with associated parking areas and storm water facilities. The development of this new office building and additional parking areas will complete the buildout of the property.

##### **7. ADJOURN**

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg (Chairperson), Debbie Schumacher, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Merlin Zimmer, Steve Riley

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



**Village of Hobart Site Review Committee Minutes  
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI  
Wednesday, March 17, 2021 – 5:30 pm**

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**1. Call to Order, Roll Call:**

The meeting was called to order by Dave Dillenburg at 5:34pm. Roll call: Dave Dillenburg, aye; Debbie Schumacher, aye; Steve Riley, aye; Dave Baranczyk, aye; Merlin Zimmer, excused; Rick Nuetzel, aye; Tom Tengowski, aye.

**2. Verify/Modify/Approve Agenda:**

Motion by Dave Dillenburg, second by Rick Nuetzel, to approve the agenda as presented. All in favor. Motion carried.

**3. Approval of Site Review Minutes:**

Motion by Debbie Schumacher, second by Rick Nuetzel, to approve the site review minutes for December 3, 2020.

**4. Public Comment on Non-Agenda Items:**

None.

Dave Dillenburg introduced Steve Riley as the new committee member and all Committee Members and Village Staff present introduced themselves.

**5. Proposed New 55,000 sf Warehouse Addition and Associated Site Improvements:**

GENERAL INFORMATION

1. Developer: Integrity Warehousing, LLC
2. Applicant: Michael Leidig, Robert E. Lee & Associates, Inc.  
David O'Brien, Bayland Building, Inc.
3. Address/Parcel: 3794 Packerland Dr., HB-950 & HB-950-4
4. Zoning: I-1: Limited Industrial District
5. Use: Warehousing

**BACKGROUND**

This property was recently developed in 2020 to include a new 125,000 square foot warehouse facility and the site improvements consisting of the main access driveway from Packerland Dr. and a secondary access from Camber Ct. along the associated drive and parking areas. The developer is now requesting a building addition for another 55,000 square feet of warehousing space which will include two additional loading docks to be located along the south elevation of the building.

**SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST**

**Section 3, Site Plan Approval**

- A. **Zoning:** I-1: Limited Industrial District
- B. **Green Space:** 49% green space (59.2% on original plan).

- C. Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (60' from Camber Ct. right-of-way, 219' from Packerland Dr. right-of-way, 134' from the south property line, and 223' from the west property line)
- D. Parking:** No changes from original plan (36 spaces proposed, 10 spaces are required per code of 1 stall for every 2 employees (20 employees proposed)).
- H. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- I. Storm Water:** Storm water from the proposed building addition and additional parking areas will be collected by on-site storm sewer before being discharged to a wet detention pond on the east side of the site (near the corner of Packerland Dr. and Camber Ct.). From the new wet pond, the storm water will be discharged in to the ditch line along Packerland Dr.
- M. Refuse Collection:** No changes from original plan (There is no exterior refuse / recycling containers proposed, however, should there be some containers placed on site, they shall be located away from the public roadways and be enclosed and screened from view.)

#### Section 4, Architectural Plan Approval

##### A. Exterior Construction Information:

- 1. Materials:** Metal framed building with masonry components. (To match existing)
- 2. Exterior Materials:** The south elevation will continue with pre-finished metal wall panels. The west and east elevations will also consist of all pre-finished metal wall panels with Staff recommending a requirement being placed on the east elevation (facing Packerland Dr.) that should the next possible building addition (area noted on the attached site plan) not be constructed within 5 years (by December 31, 2026), the east elevation is required to comply with the minimum 35% masonry requirement prior to June 30, 2027. As for the north elevation, the developer is proposing to continue the mix of masonry and pre-fab metal panels to maintain uniformity with the design of the existing building (wall would be constructed of 4'-6" high split-faced block with pre-finished metal wall panels above).
- 3. Height:** Eave height of 27' with an overall height of 34' to peak of roof system.
- 4. Overhead doors:** There will be one at grade overhead door on the east elevation and of the same color as the metal wall panels. This door will only be utilized to gain access to the new building addition area during construction only and will not be used for business activity following building completion. Additionally, there will be two new dock doors along the south elevation of new addition.
- 5. Mechanical equipment:** No mechanical equipment is shown on the plans, however, should such equipment being installed on the roof it shall be screened from view by materials compatible with those used for the principal structure. Any such equipment located on the ground shall be screen from view by landscaping or fencing to compliment the building and overall landscaping.

**Section 5, Landscaping Plan:** With this building addition still being set back a fair distance from Packerland Dr., the large open area to the front of the building towards Packerland Dr. will remain natural and undeveloped with the plan to construct another building addition in this area in the not so distant future. As per the conditional approval of the original plan, 6 new trees are proposed along Camber Ct.

where this new addition will be located. This will be a continuation from the 6 trees proposed along Camber Ct. in the area where the existing building was constructed. Staff would recommend that any additional trees required along Camber Ct. and Packerland Dr. not be planted at this time as they would be in the way for any future building expansion. Staff would recommend that should the possible building addition not be constructed within 5 years (by December 31, 2026), the remaining trees required to comply with the 50' spacing ordinance be planted by June 30, 2027. Additionally, Village Staff would recommend that additional landscaping be implemented around the street sides of the new wet detention pond to make it more of a landscape feature due to its close proximity to the public roadways.

**Section 6, Lighting:** The lighting plan is approved by Staff as submitted, continuation of wall mounted fixture to match existing.

**Section 7, Signage:** No signage is included with this submittal. Formal signage submittal is required prior to signage installation.

**Section 8, Driveway-Curb Cut:** Existing driveway access points from Packerland Dr. and Camber Ct. to remain. The developer is requesting from Brown County for an increase of 16 feet for the access along Packerland Dr. Staff supports the wider driveway at this location due to the use of larger trucks entering and exiting the site.

#### ACTION

Motion by Rick Nuetzel, second by Debbie Schumacher, to approve the overall site layout and building design as presented with the following conditions:

1. Any proposed refuse / recycling containers placed on site, they shall be located away from the public roadways and be enclosed and screened from view;
2. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground.
3. East elevation (facing Packerland Dr.) of proposed building shall be required to comply with the minimum 35% masonry requirement prior to June 30, 2027 should the possible building addition not be constructed within 5 years (by December 31, 2026).
4. Any additional trees required along Camber Ct. and Packerland Dr. should not be planted at this time as they would be in the way for any future building expansion. Should the possible building addition not be constructed within 5 years (by December 31, 2026), the remaining trees required to comply with the 50' spacing ordinance be planted by June 30, 2027.
5. Any proposed signage shall come back to the Committee for approval.
6. Submit a more detailed landscape plan to Staff for approval of the landscape areas around the street sides of the new wet detention pond to make it more of a landscape feature due to its close proximity to the public roadways. This shall be completed at the time of the planting schedule for the additional trees required as part of the future building addition (see timeline in condition #4. above).

All in favor. Motion carried.

#### **6. Adjourn:**

Motion by Tom Tengowski, second by Dave Baranczyk, to adjourn. All in favor. Motion carried. Meeting adjourned at 6:01pm.



**TO: Site Review Committee**

**RE: 774 W. Adam Dr., HB-139-3, 6,000 SF Cold Storage Building**

**FROM: Todd Gerbers, Director of Planning and Code Compliance**

**DATE: April 21, 2021**

**Item:** Consider request for a 6,000 sf., cold storage building and associated site improvements

**Recommendation:** Staff recommends approval subject to any conditions the Committee may identify.

### GENERAL INFORMATION

- Owner / Developer: DeNoble Sewer & Water
- Applicant / Agent: Brandon Robaidek, Robert E. Lee & Associates, Inc.
- Address / Parcel: 774 W Adam Dr., HB-139-3
- Zoning – I-1: Limited Industrial
- Use: Cold Storage Building

### BACKGROUND

The property owner is proposing to construct a new 6,000 square foot building towards the rear of their complex that would be utilized as a cold storage building. This new building is planned to be very similar to the storage building that was constructed back in 2017 relative to the exterior building materials and will be located directly to the west of the existing building. This new building will be accessed through the existing construction yard and new concrete pavement will be placed adjacent to the building to provide clear access to this new building.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### **Section 3, Site Plan Approval**

- A. Zoning:** I-1: Limited Industrial District
- B. Green Space:** 36% green space (building being located in area that is currently gravel)
- C. Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (Approx. 550' from W. Adam Dr. right-of-way, 293' from rear (north property line), 50' from the west property line, and 100' from the east property line)
- D. Parking:** No changes (cold storage building)
- E. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Police Chief and Fire Chief.
- F. Storm Water:** Storm water will consist of an existing dry storage basin to the northern end of the parcel and an underground storage area located on the south side of the parcel to treat the pollutants and peak discharge.
- G. Refuse Collection:** No changes from current operation.

## Section 4, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Materials:** Wood framed building (to match existing)
2. **Exterior Materials:** All four building elevations will consist of metal wall panels with a different color panel around the base of the building and extending up approximately 3' from grade.
3. **Height:** Eave height of 16' with an overall height of 26' to peak of roof system.
4. **Overhead doors:** There will be two at grade overhead door on the south elevation that face into the contractor yard (note: the architectural plans submitted are from the building submitted back in 2017 and the overhead doors and service doors do not depict the correct locations, the floor plan has the correct door layout).
5. **Mechanical equipment:** No mechanical equipment proposed as this is a cold storage building.

**Section 5, Landscaping Plan:** No changes proposed from existing as this building will be constructed over an existing gravel area and screened from the side view by another existing building and mature evergreen trees planted along the property line.

**Section 6, Lighting:** None noted, as there is existing pole lighting located in the yard.

**Section 7, Signage:** No signage submitted as the site currently has a monument sign near the front entrance.

**Section 8, Driveway-Curb Cut:** Existing with no changes proposed.

## RECOMMENDATION/CONDITIONS

Staff recommends approval of the new 6,000 square foot building and limited site improvement as submitted.

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

774 West Adam Drive

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage):

4.99 Acres

Size of facility(square footage):

6,000 SF

Type of facility:

Construction Shop Expansion

Developer:

Denable Construction Inc.

Address:

774 West Adam Drive

Phone: (920) 403-1111

Engineer:

Robert E. Lee + Associates, Inc.

Address:

1250 Centennial Centre Blvd

Phone: (920) 662-9641

Contractor:

Construction Firm:

Address:

Phone:

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial \_\_\_\_\_ Business Park \_\_\_\_\_ Commercial   X  

Multi-Family \_\_\_\_\_

Current Zoning:   I-1 Limited Industrial District  

Other - Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES \_\_\_\_\_ NO

% of Green Space:   31.04%  

B. Orientation - Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)   F=40' R=20'  

C. Setback Information:   S=15'   Complies with Ordinance:   Yes  

D. # of parking stalls ( Include Handicapped parking):   12 (Existing)  

E. Show the following Utilities and all easements including but not limited to the following facilities types:

- 1) Electric underground  overhead
- 2) Natural Gas
- 3) Telephone
- 4) Water / Fire Hydrants
- 5) Fiber Optic Lines
- 6) Other transmission lines \_\_\_\_\_
- 7) Ingress - egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance   X   YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete:   X   YES \_\_\_\_\_ NO



- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_YES \_\_\_NO
  - 2) Not applicable:   X

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:

\_\_\_\_\_

- J. Sidewalks, walkways, and driveways:
- K. Off street loading areas and docks:
- L. Fences and retaining walls or berms:
- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

\_\_\_\_\_

- N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**4. ARCHITECTURAL PLAN APPROVAL**

- A. Exterior construction information:
  - 1) Type of Construction Materials: \_\_\_\_\_
  - 2) Exterior Materials: \_\_\_\_\_
  - 3) Height of Facility: \_\_\_\_\_
  - 4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)
  - 5) Other unique characteristics: \_\_\_\_\_

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

Landscaping was on the plan set for work in 2007

Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

Identify Buffering -Type – Quantity:

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

Identify Parking Lighting – Quantity – Wattage – Location :

Identify other Lighting – Quantity – Wattage – Location:

**7. SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

**8. DRIVEWAY – CURB CUT**

Width of Curb Cut: \_\_\_\_\_

Radius / Flare: \_\_\_\_\_

Apron Dimensions: \_\_\_\_\_

Culvert Size (End-walls Required) \_\_\_\_\_



**Robert E. Lee & Associates, Inc.**  
Engineering • Surveying • Environmental Services

1250 Centennial Centre Boulevard • Hobart, WI 54155 • 920-662-9641 • www.releeinc.com

April 5, 2021

Mr. Todd Gerbers, Director of Planning and Code Compliance  
VILLAGE OF HOBART  
2990 S Pine Tree Road  
Hobart, WI 54155

RE: Shop Building Addition  
Storm Water Management Summary

Dear Mr. Gerbers:

Robert E. Lee & Associates, Inc., is submitting the following Storm Water Management summary for the proposed shop building addition for DeNoble Construction on Parcel HB-139-3. Storm water for the building addition will be split between the existing stormwater BMPs. These BMPs consist of an existing dry storage basin on the North side of the proposed building where the water will slowly be released to the Northern end of the parcel and an underground storage area that is used to treat the storm water for pollutants and peak discharge on the south side of the parcel.

If you have any questions or need any additional information, please do not hesitate to call.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.

Michael R. Leidig, E.I.T.



### Part of Brown County WI

Map printed on 4/15/2021

**1:1,800**  
 1 inch = 150 feet\*  
 1 inch = 0.0284 miles\*  
 \*original page size: 8.5"x11"  
 Appropriate format depends on zoom level

- Parcel ownership key**
- Parcel Boundary
  - Condominium
  - Gap or Overlap
  - Parcel line
  - Right of Way line
  - Meander line
  - Lines between deeds or lots
  - Historic Parcel Line
  - Vacated Right of Way

"hooks" indicate parcel ownership crosses a line

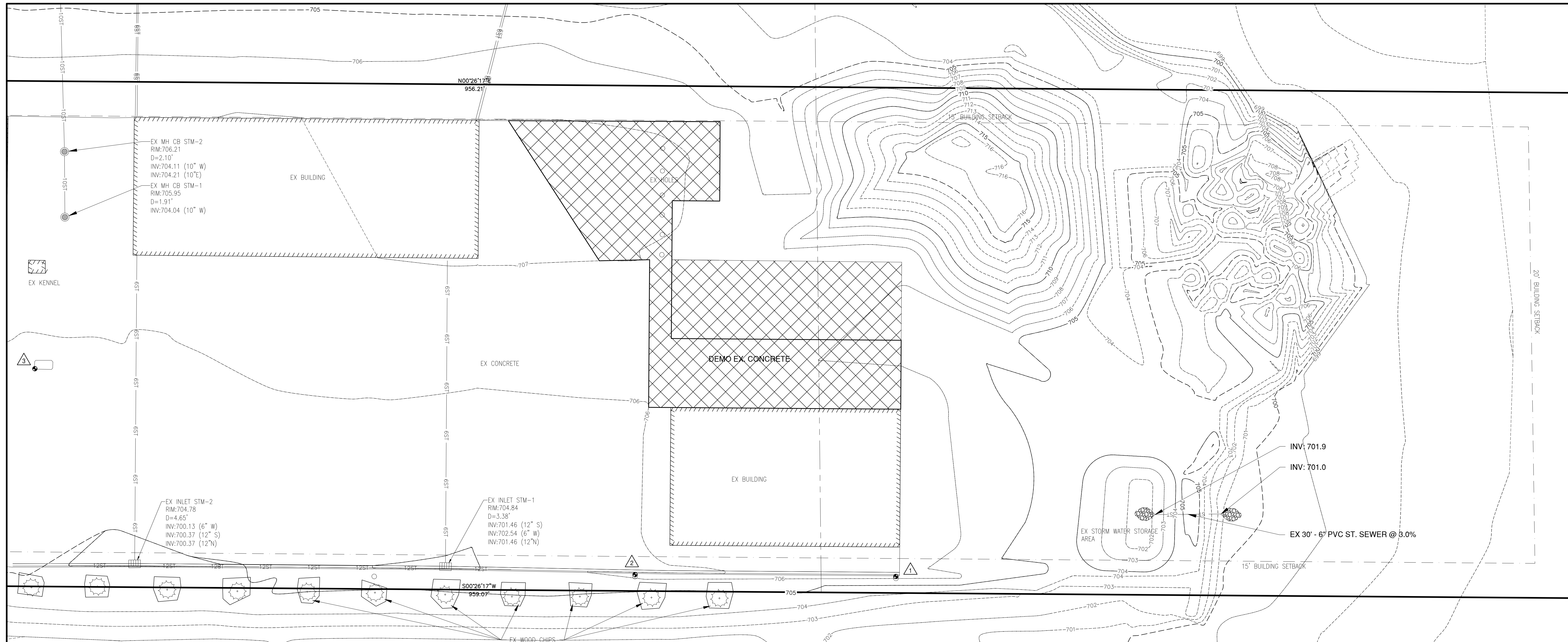
SC-190-2 Parcel ID Number  
 2880257 Document Number  
 0.814 AC Area of parcel  
 279.8' Line Distance  
 3547 Address

A complete key (legend) is available at:  
<https://tinyurl.com/BrownDogKey>



(920) 448-6480  
[maps.gis.co.brown.wi.us](http://maps.gis.co.brown.wi.us)





**LEGEND**

- |   |  |   |  |   |  |  |
|---|--|---|--|---|--|--|
| <ul style="list-style-type: none"> <li>○ FIRE HYDRANT</li> <li>⊗ WATER VALVE/CURB STOP</li> <li>⊙ WATER MANHOLE</li> <li>▽ REDUCER/INCREASER</li> <li>○ SANITARY MANHOLE</li> <li>● AIR RELIEF MANHOLE</li> <li>⊙ STORM MANHOLE</li> <li>⊙ OPEN STORM MANHOLE</li> <li>⊙ STORM INLET</li> <li>⊙ STORM INLET MANHOLE</li> <li>⊙ TANK COVER</li> <li>⊙ SOIL BORING</li> <li>■ POST</li> <li>● IRON PIPE/ROD</li> <li>△ PK NAIL</li> </ul> | <ul style="list-style-type: none"> <li>⊠ POWER POLE</li> <li>⊠ POWER POLE W/GUY WIRE</li> <li>⊠ LIGHT POLE</li> <li>⊠ TRAFFIC SIGNAL POLE</li> <li>⊠ ELECTRIC MANHOLE</li> <li>⊠ ELECTRIC METER</li> <li>⊠ TELEPHONE MANHOLE</li> <li>⊠ TELEPHONE PEDESTAL</li> <li>⊠ CABLE TV MANHOLE</li> <li>⊠ CABLE TV PEDESTAL</li> <li>⊠ GAS VALVE</li> <li>⊠ GAS METER</li> <li>⊠ MAILBOX</li> <li>⊠ SIGN</li> <li>⊠ BOLLARD</li> </ul> | <ul style="list-style-type: none"> <li>🌳 DECIDUOUS TREE</li> <li>🌲 CONIFEROUS TREE</li> <li>🌱 BUSH</li> <li>🌿 RIP RAP</li> <li>⊠ CULVERT</li> <li>⊠ CONCRETE</li> <li>⊠ WETLANDS</li> <li>♿ HANDICAP PARKING</li> </ul> | <ul style="list-style-type: none"> <li>— EDGE OF ASPHALT</li> <li>— EDGE OF GRAVEL</li> <li>— CURB &amp; GUTTER</li> <li>— TREE/BRUSH LINE</li> <li>— CONTOUR LINE</li> <li>— RETAINING WALL</li> <li>— GUARD RAIL</li> <li>— FENCE</li> </ul> | <ul style="list-style-type: none"> <li>8SS 8SS SANITARY SEWER (SIZE NOTED)</li> <li>4FM 4FM FORCEMAIN (SIZE NOTED)</li> <li>10ST 10ST STORM SEWER (SIZE NOTED)</li> <li>6W 6W WATERMAIN (SIZE NOTED)</li> <li>G G GAS LINE</li> <li>OT OT OVERHEAD TELEPHONE LINE</li> <li>T T UNDERGROUND TELEPHONE LINE</li> <li>OE OE OVERHEAD ELECTRIC LINE</li> <li>E E UNDERGROUND ELECTRIC LINE</li> <li>OTV OTV OVERHEAD CABLE TV LINE</li> <li>TV TV CABLE TV LINE</li> <li>FO FO FIBER OPTIC LINE</li> <li>R/W LINE R/W LINE</li> <li>PROPERTY LINE PROPERTY LINE</li> <li>EASEMENT LINE EASEMENT LINE</li> <li>BUILDING SETBACK LINE BUILDING SETBACK LINE</li> <li>SECTION LINE SECTION LINE</li> </ul> | <ul style="list-style-type: none"> <li>GR. GRAVEL</li> <li>BIT. BITUMINOUS</li> <li>ASPH. ASPHALT</li> <li>CONC. CONCRETE</li> <li>SW SIDEWALK</li> <li>BLDG BUILDING</li> <li>HSE HOUSE</li> <li>PED PEDESTAL</li> <li>PP POWER POLE</li> <li>LP LIGHT POLE</li> <li>BM BENCH MARK</li> </ul> | <ul style="list-style-type: none"> <li>WM WATERMAIN</li> <li>HYD. HYDRANT</li> <li>WV WATER VALVE</li> <li>SAN SANITARY SEWER</li> <li>MH MANHOLE</li> <li>ST STORM SEWER</li> <li>CB CATCH BASIN</li> <li>TELE TELEPHONE</li> <li>ELEC ELECTRIC</li> <li>TV TELEVISION</li> <li>STA. STATION</li> </ul> |
|---|--|---|--|---|--|--|

**OWNER INFORMATION:**

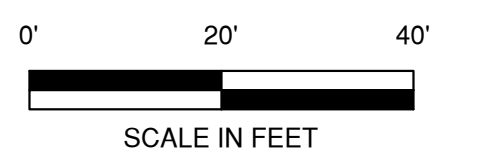
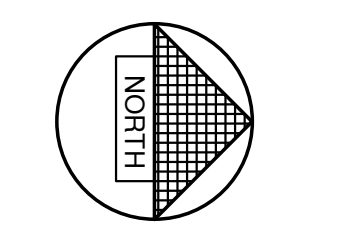
DENOBLE CONSTRUCTION, INC.  
744 WEST ADAM DRIVE  
DE PERE, WI 54115

920-403-1111

CONTACT: JOE DENOBLE

- |                                    |                              |
|------------------------------------|------------------------------|
| VPC VERTICAL POINT OF CURVATURE    | B-B BACK TO BACK (OF CURB)   |
| VPI VERTICAL POINT OF INTERSECTION | F-F FACE TO FACE (OF CURB)   |
| VPT VERTICAL POINT OF TANGENCY     | R/W RIGHT OF WAY             |
| PC POINT OF CURVATURE              | T/C TOP OF CURB              |
| PI POINT OF INTERSECTION           | F/L FLOW LINE                |
| PT POINT OF TANGENCY               | C/L CENTERLINE               |
| R RADIUS                           | R/L REFERENCE LINE           |
| EX EXISTING                        | INV. INVERT                  |
| PR PROPOSED                        | CMP CORRUGATED METAL PIPE    |
| EOR END OF RADIUS                  | RCP REINFORCED CONCRETE PIPE |
| BOC BACK OF CURB                   | CULV. CULVERT                |

| BENCHMARK |                                 | BENCHMARK ESTABLISHED BY:<br>ROBERT E. LEE & ASSOCIATES, INC.<br>FIELD VERIFY BENCHMARKS FOR ACCURACY. |  |
|-----------|---------------------------------|--|--|
| NO.       | DESCRIPTION                     | EL.  |  |
| 1         | WEST SIDE LIGHT POLE BASE TOP   | 708.17   |  |
| 2         | WEST SIDE LIGHT POLE BASE TOP   | 708.12   |  |
| 3         | SOUTH EAST CORNER GAS PUMP SLAB | 706.31   |  |



| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION |
|-----|------|---------|----------|-----|------|---------|----------|
|     |      |         |          |     |      |         |          |

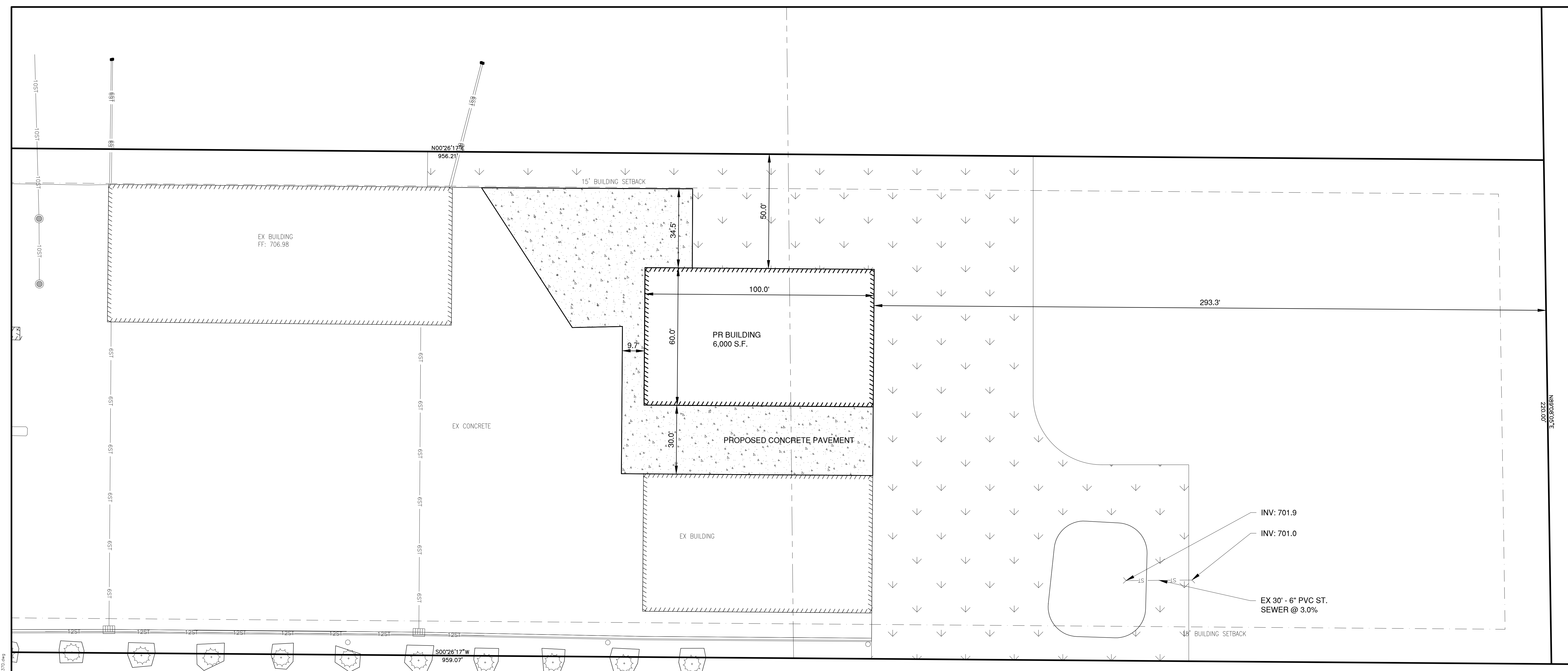
BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EXISTING SITE

|         |          |
|---------|----------|
| DATE    | 03/20/21 |
| FILE    | 3175937T |
| JOB NO. | 3175937  |

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
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SHEET NO.  
**2**



**NOTE**  
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**SITE DATA**  
TOTAL AREA = 4.84 ACRES, 210,625 S.F.  
BUILDING AREA = 0.70 ACRES, 31,300 S.F. (14.9%)  
SIDEWALK/PARKING LOT AREA = 2.52 ACRES, 103,462 S.F. (49.1%)  
GREEN SPACE = 1.80 ACRES, 75,863 S.F. (36.0%)

**ZONING**  
LIMITED INDUSTRIAL DISTRICT (I-1)

**PARCEL NO.**  
HB-139-3

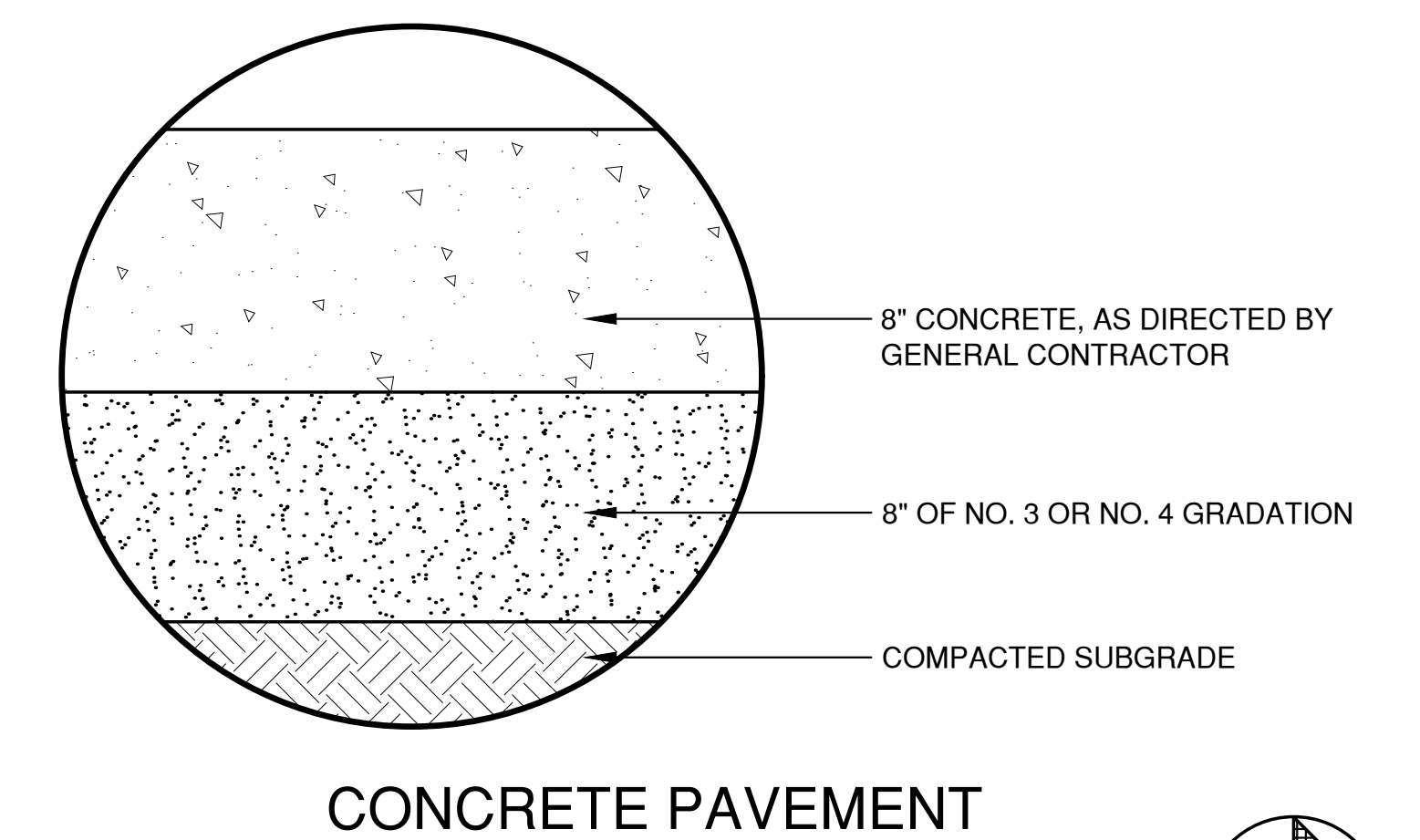
- LEGEND**
- CONCRETE PAVEMENT (18,340 S.F.)
  - LANDSCAPE AREA
  - GREEN SPACE
  - PROPOSED 18" STANDARD CURB AND GUTTER (UNLESS OTHERWISE NOTED)
  - PROPOSED 18" SHEDDING CURB AND GUTTER
  - TRAFFIC FLOW ARROW
  - HANDICAPPED PARKING
  - INDICATES NUMBER OF PARKING STALLS

\*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

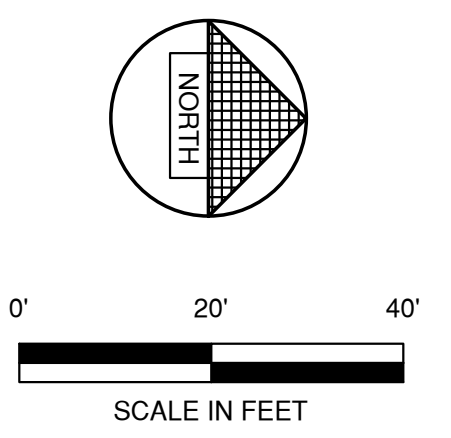
- LEGEND**
- PROPOSED SANITARY SEWER
  - EXISTING SANITARY SEWER (SIZE NOTED)
  - PROPOSED STORM SEWER
  - EXISTING STORM SEWER (SIZE NOTED)
  - PROPOSED WATERMAIN
  - EXISTING WATERMAIN (SIZE NOTED)

- LEGEND**
- PROPOSED
  - EXISTING
  - FIRE HYDRANT
  - WATER VALVE/CURB STOP
  - WATER MANHOLE
  - REDUCER/INCHREASER
  - SANITARY MANHOLE
  - LIFT STATION
  - TRACER WIRE SIGNAL CONNECTION BOX
  - CLEANOUT
  - STORM MANHOLE
  - STORM CATCH BASIN
  - STORM INLET
  - STORM INLET MANHOLE
  - YARD DRAIN
  - STANDPIPE
  - ROOF DOWNSPOUT

- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
  - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
  - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
  - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



**CONCRETE PAVEMENT**



| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION |
|-----|------|---------|----------|-----|------|---------|----------|
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BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

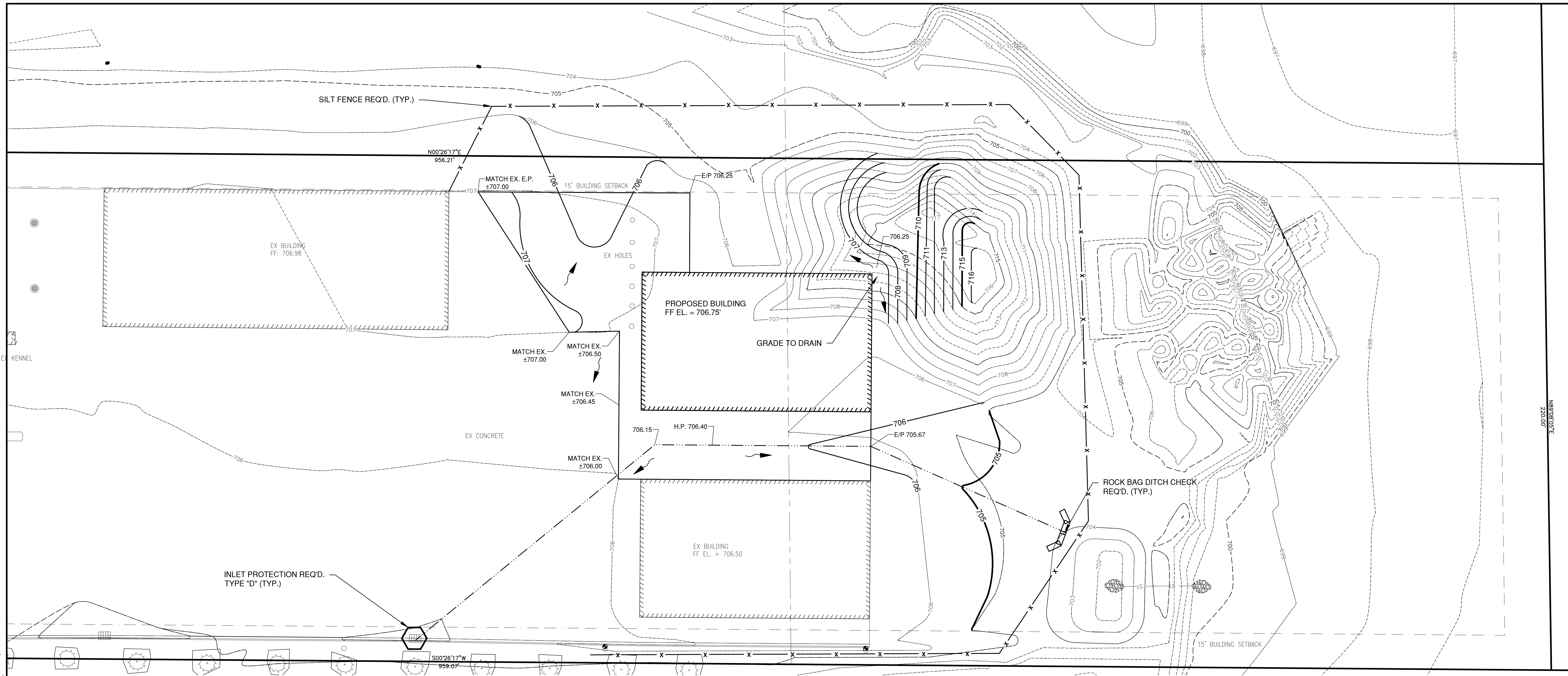
SITE AND UTILITY PLAN

DATE  
03/20/21  
FILE  
3175037D  
JOB NO.  
3175037

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SHEET NO.  
**3**





**LEGEND**

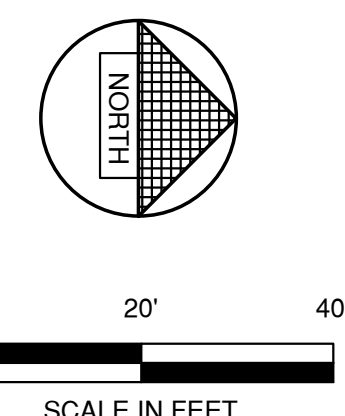
- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- SILT FENCE
- BAILE DITCH CHECK
- FLOW ARROW
- TRACKING PAD
- INLET PROTECTION

**EROSION CONTROL**

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

FILE: P:\3175037D\3175037D.dwg, 3/25/2021, 11:11:00am  
LAYOUT: GRADING PLAN  
DATE: 03/2021



| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION |
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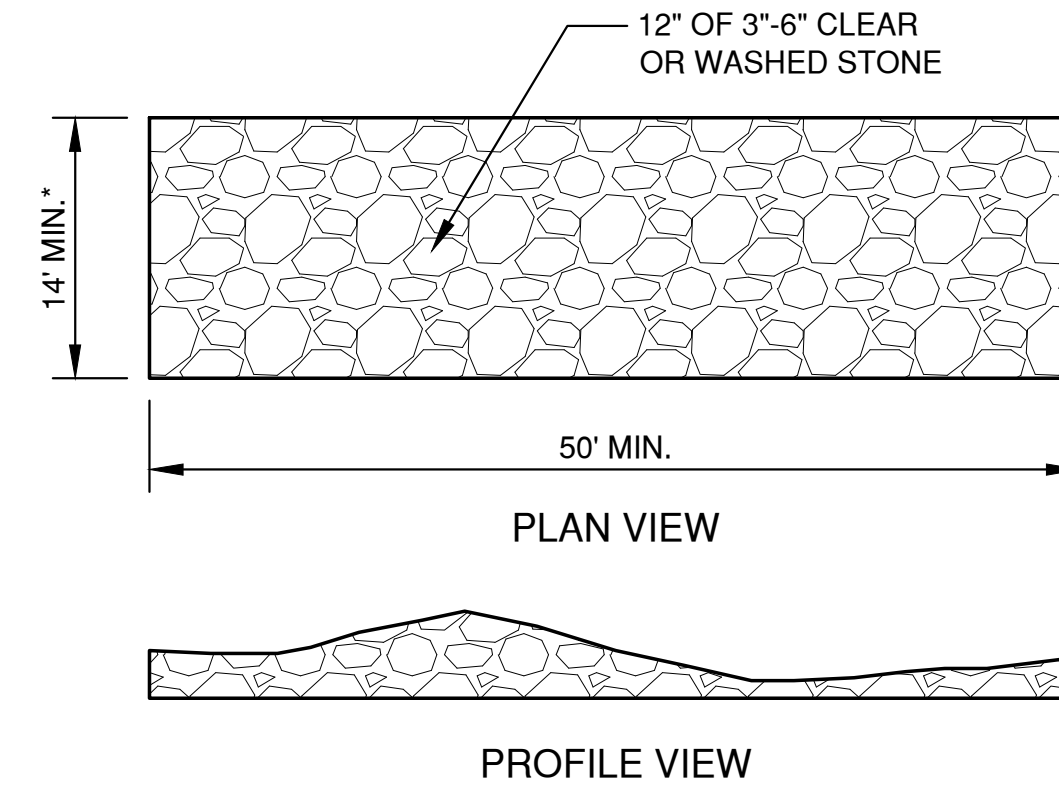
BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

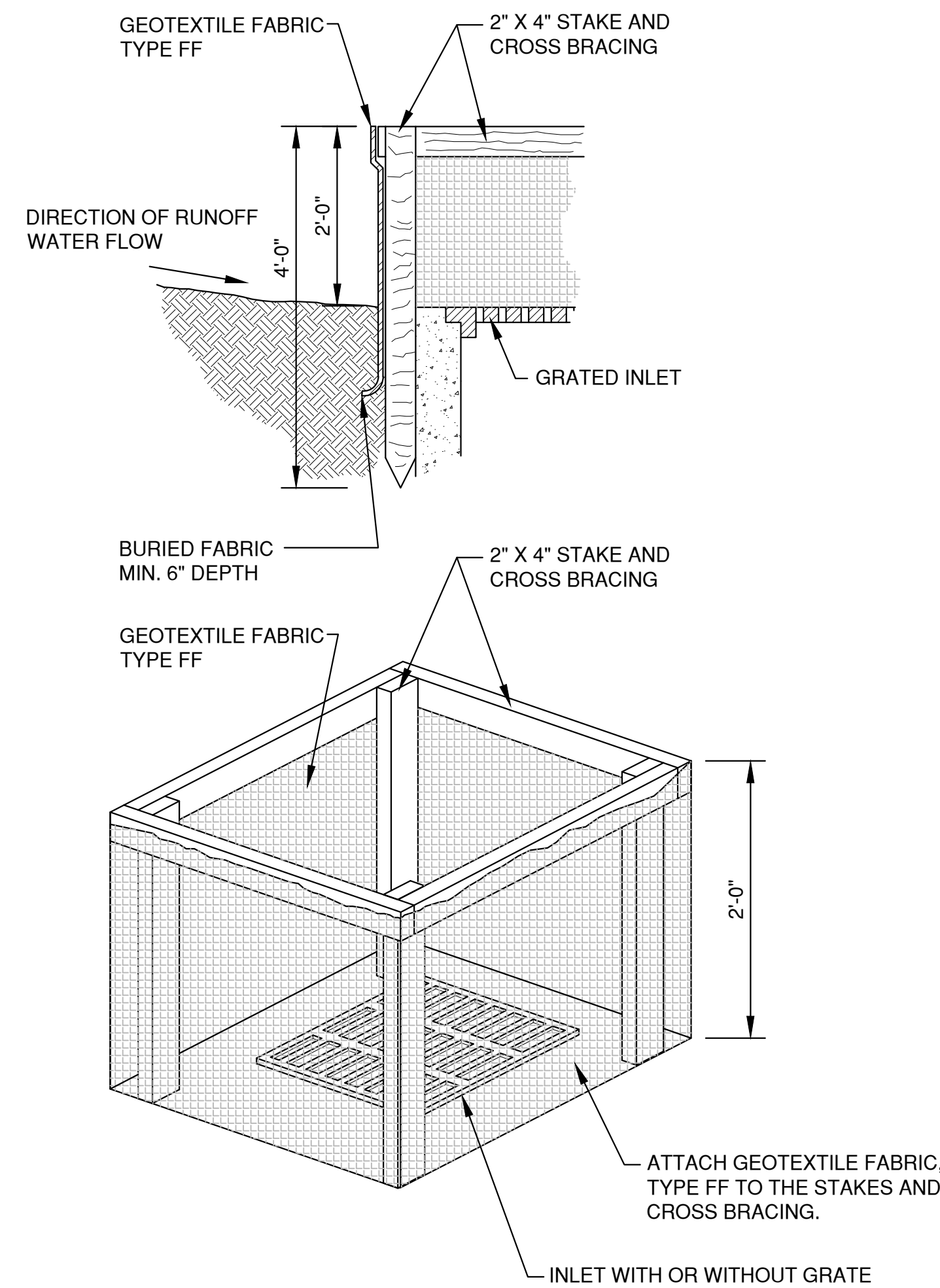
DATE  
03/2021  
FILE  
3175037D  
JOB NO.  
3175037

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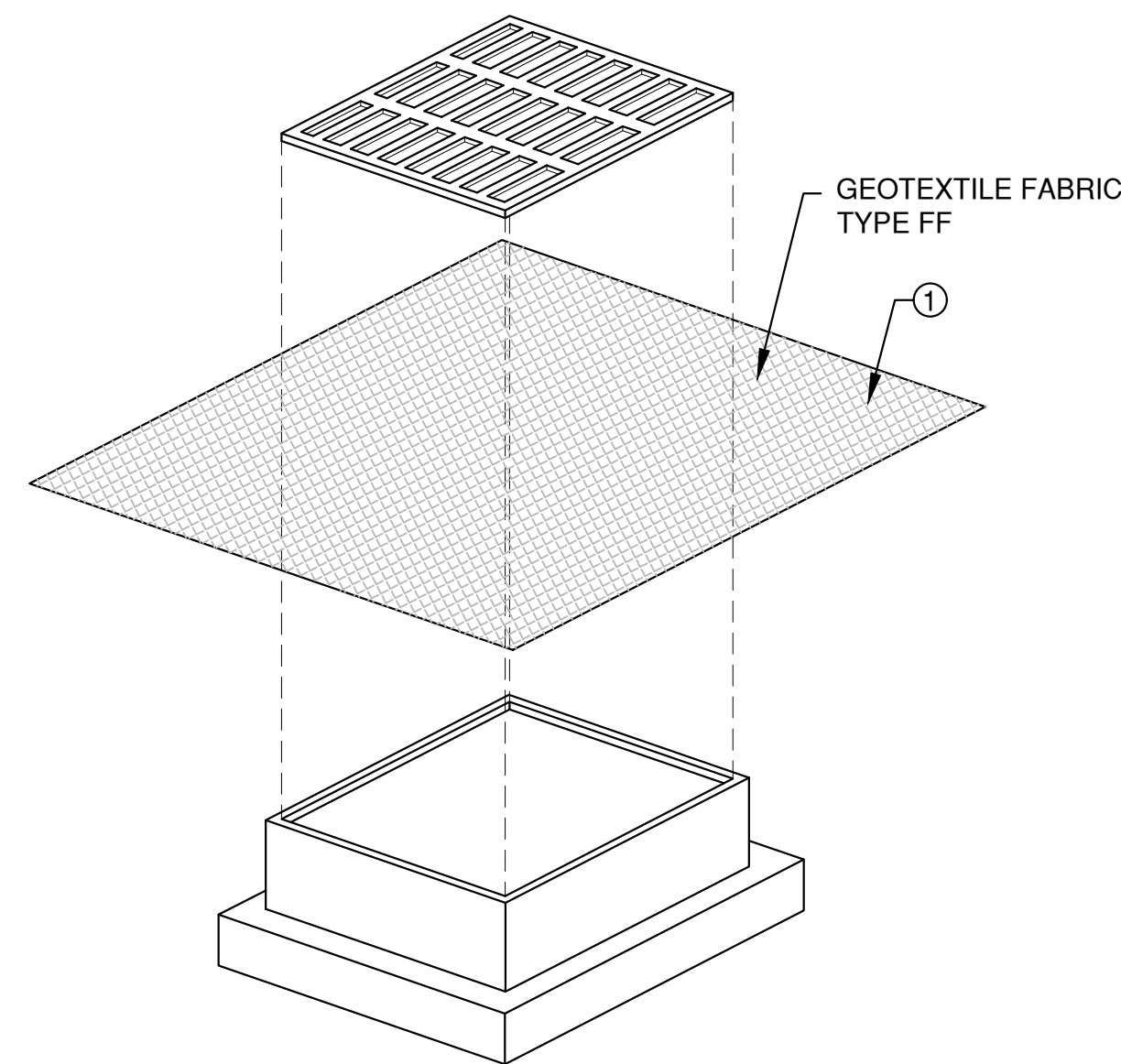
SHEET NO.  
**4**



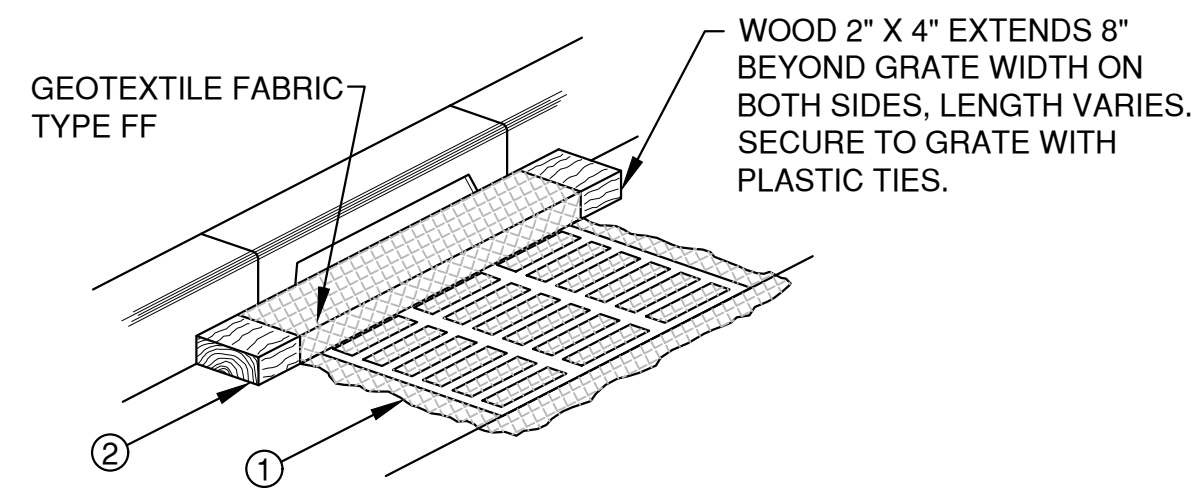
\*14' MIN. OR FULL WIDTH OF THE EGRESS POINT. REFERENCE WDNR TECHNICAL STANDARD 1057.  
**TRACKING PAD DETAIL**  
 (IF APPLICABLE)



**INLET PROTECTION, TYPE A**



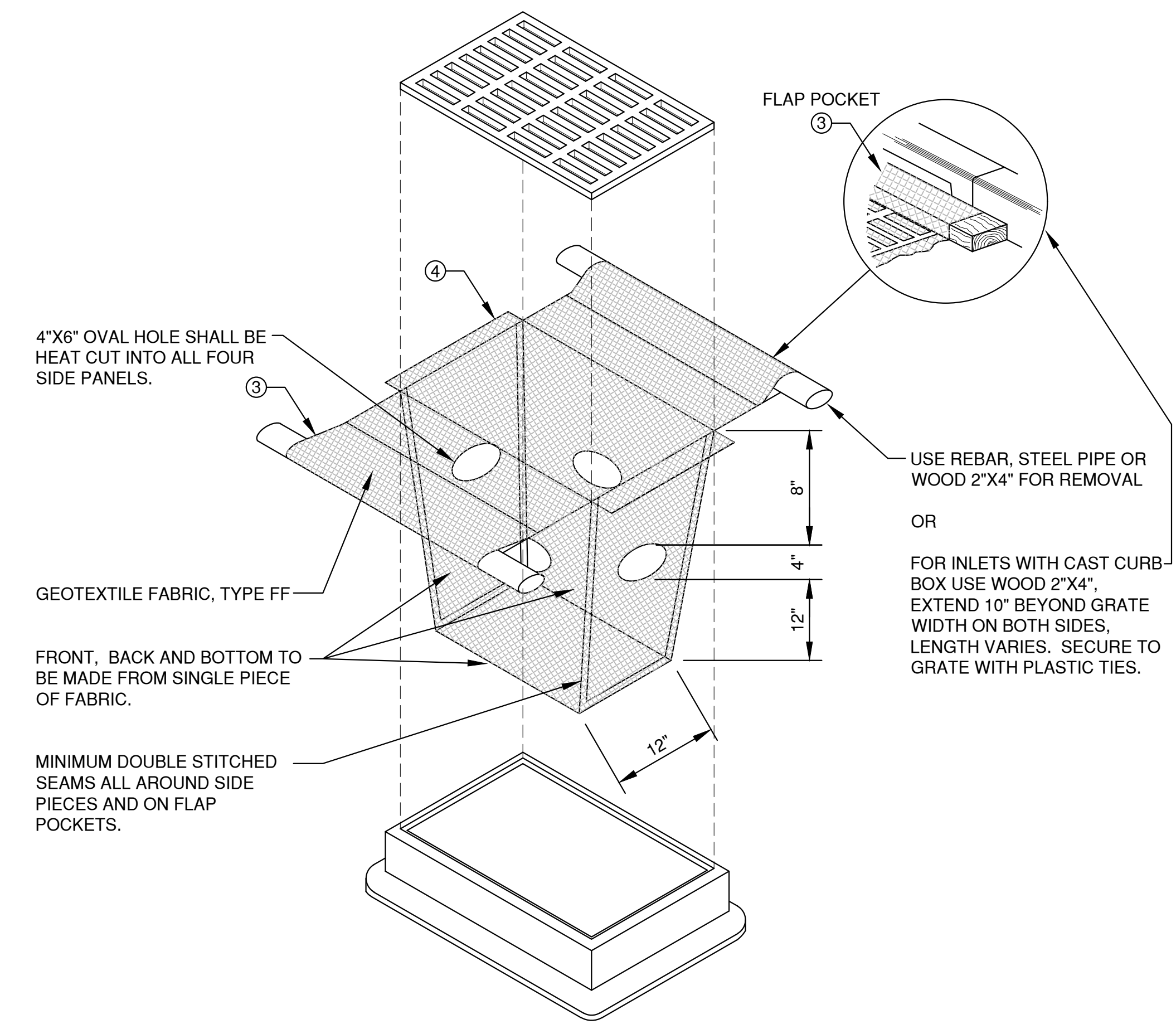
**INLET PROTECTION, TYPE B  
 (WITHOUT CURB BOX)**  
 (CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



**INLET PROTECTION, TYPE C  
 (WITH CURB BOX)**

- INLET PROTECTION NOTES:**
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
  - 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

- INSTALLATION NOTES:**
- TYPE "B" & "C"
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE "D"
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



**INLET PROTECTION, TYPE D**  
 (CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT CURB BOX AS PER NOTE "2")

FILE: P:\3100\3170\31750371.dwg (EROSION CONTROL.dwg)  
 PLOT DATE: Apr 05, 2021 11:41:15 AM  
 INLET PROTECTION LAYOUT

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN    |
|-----|------|---------|----------|-----|------|---------|----------|----------|
|     |      |         |          |     |      |         |          | MRL      |
|     |      |         |          |     |      |         |          | CHECKED  |
|     |      |         |          |     |      |         |          | BDR      |
|     |      |         |          |     |      |         |          | DESIGNED |
|     |      |         |          |     |      |         |          | MRL      |

BUILDING ADDITION FOR  
 DENOLE CONSTRUCTION, INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

EROSION CONTROL  
 INLET PROTECTION TYPES A, B, C AND D  
 AND MISCELLANEOUS DETAILS

|         |                 |
|---------|-----------------|
| DATE    | 03/20/21        |
| FILE    | EROSION CONTROL |
| JOB NO. | 3175037         |

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**NOTES:**

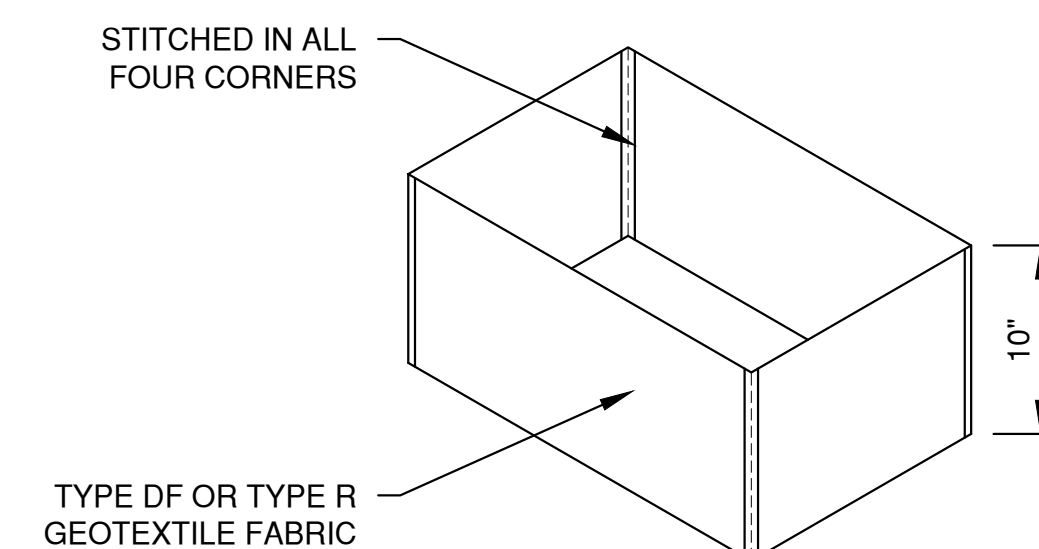
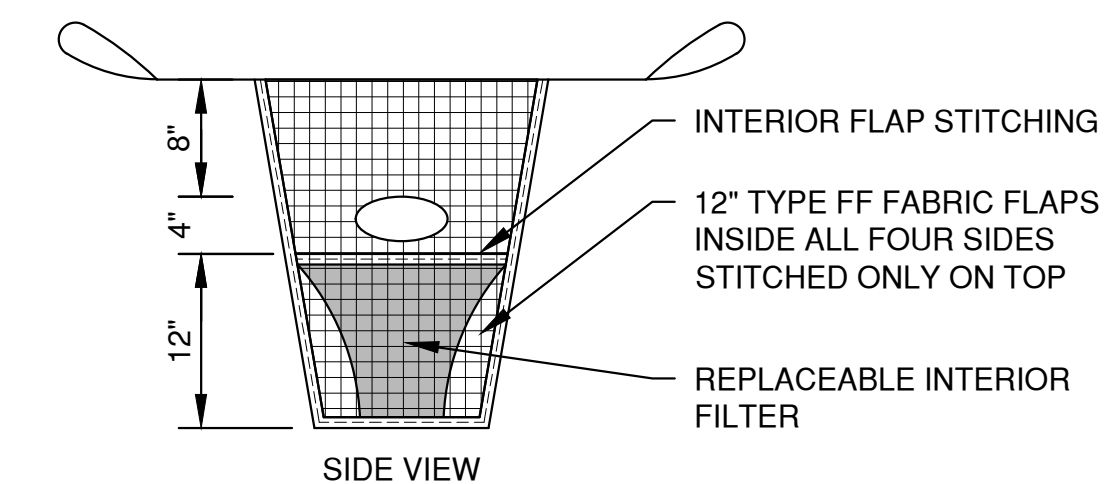
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

**MAINTENANCE NOTES:**

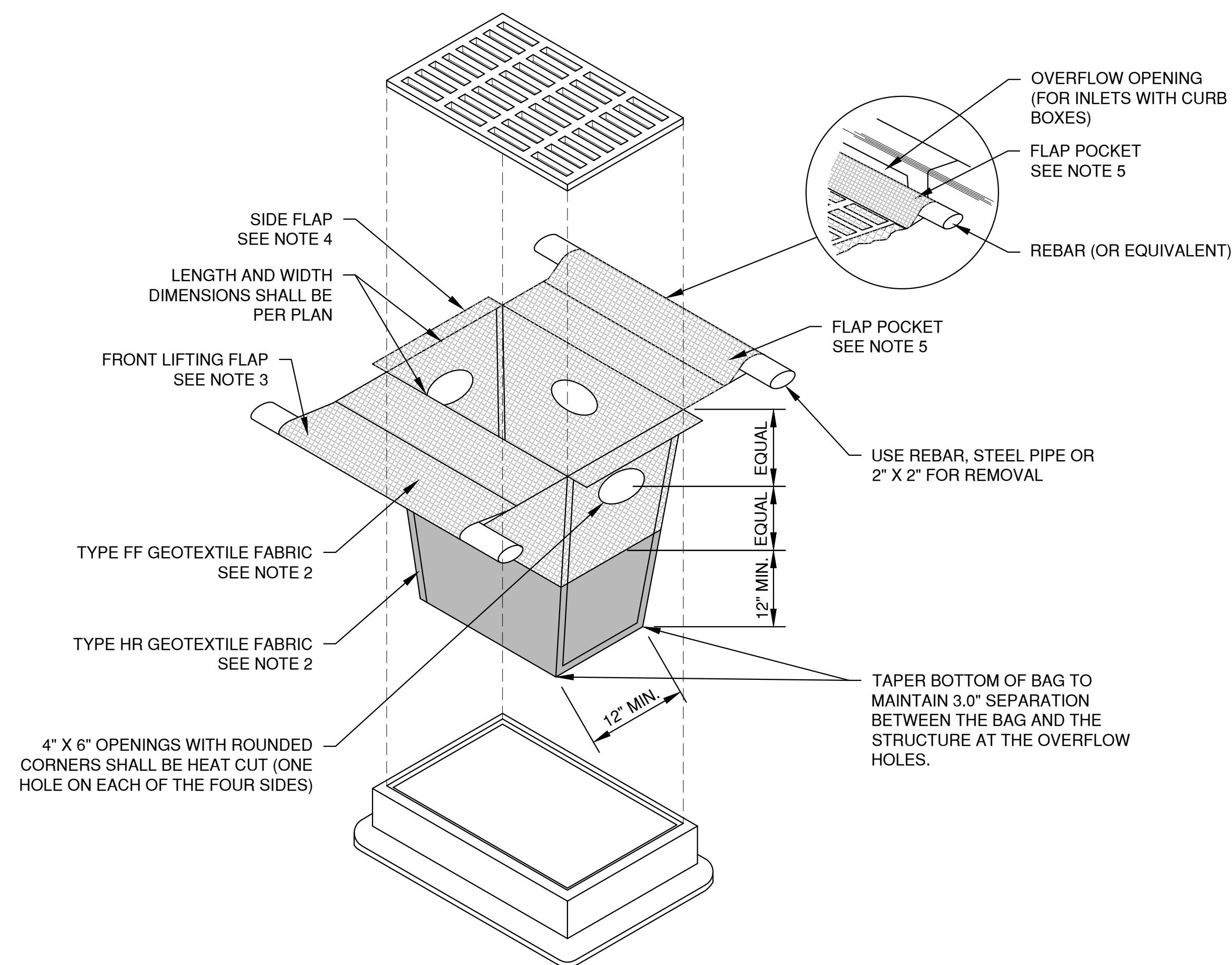
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**NOTES:**

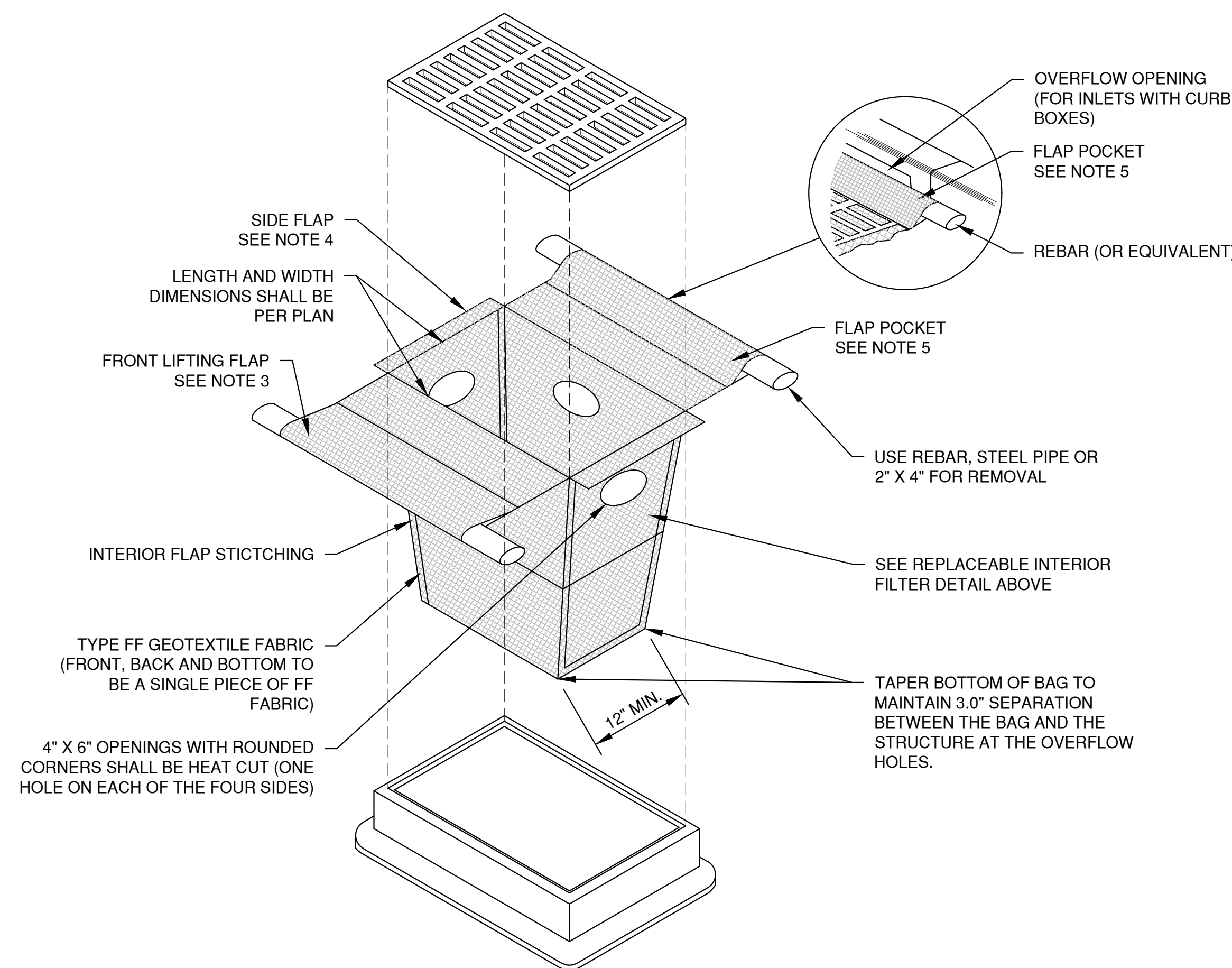
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



**REPLACEABLE INTERIOR FILTER**



**INLET PROTECTION, TYPE D-HR**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**INLET PROTECTION, TYPE D-M**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

LAYOUT: INLET PROTECTION: FILE: P:\3100\3170\31750371.dwg EROSION CONTROL.dwg PLOT DATE: Apr 05, 2021 4:18pm

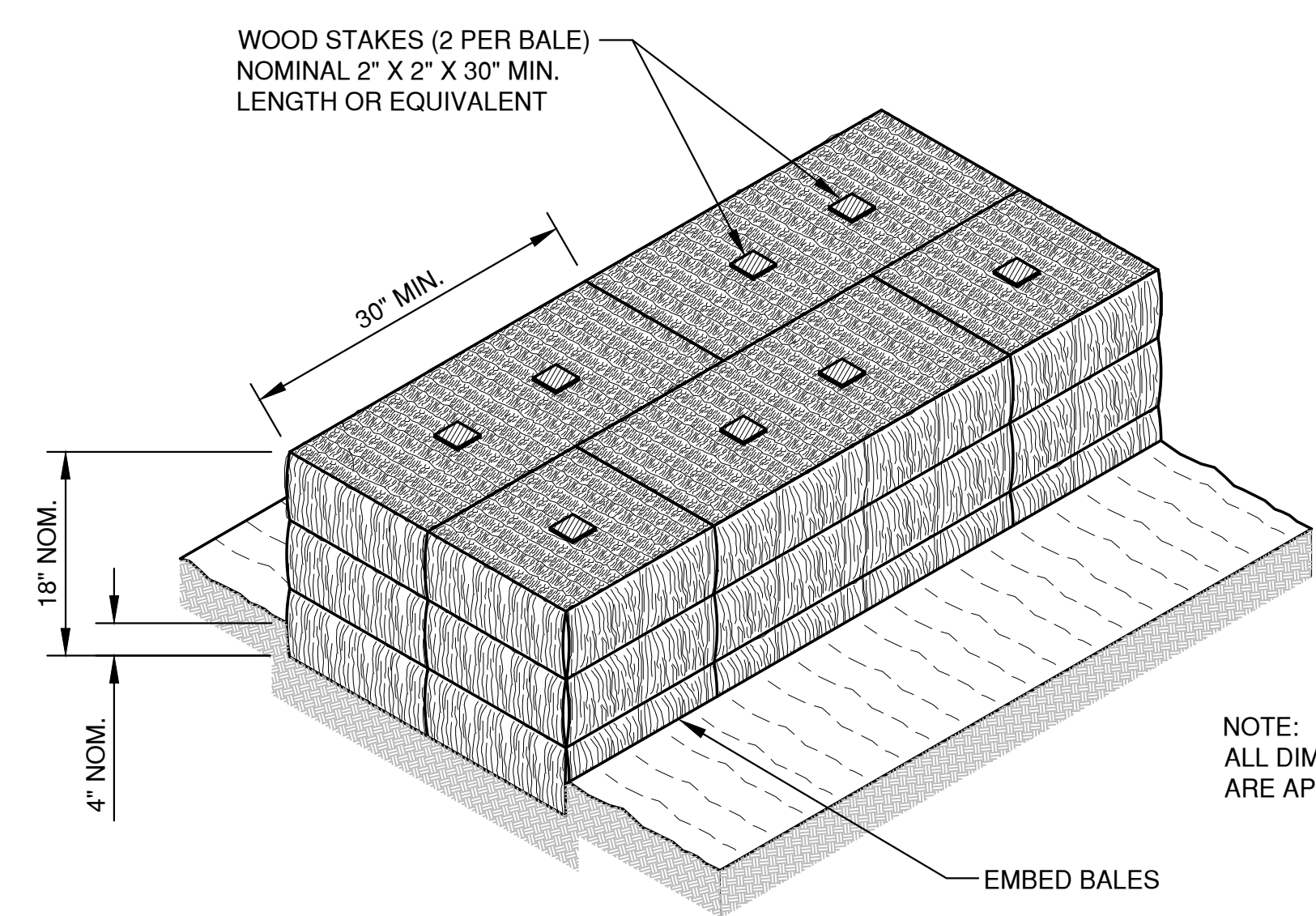
| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION |
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BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
INLET PROTECTION  
TYPE D-HR AND TYPE D-M

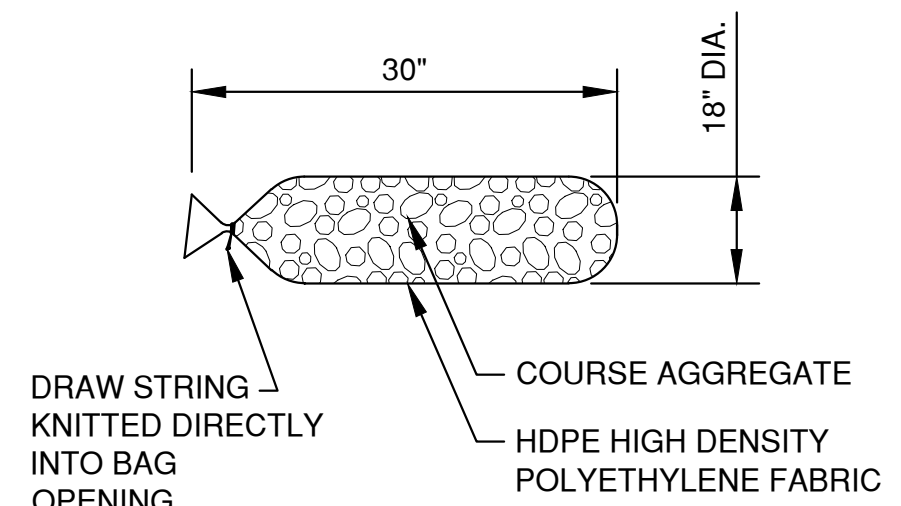
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| DATE    | 03/20/21        |
| FILE    | EROSION CONTROL |
| JOB NO. | 3175037         |

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NOTE:  
ALL DIMENSIONS  
ARE APPROXIMATE

SECTION A-A



FILTER BAG DETAIL

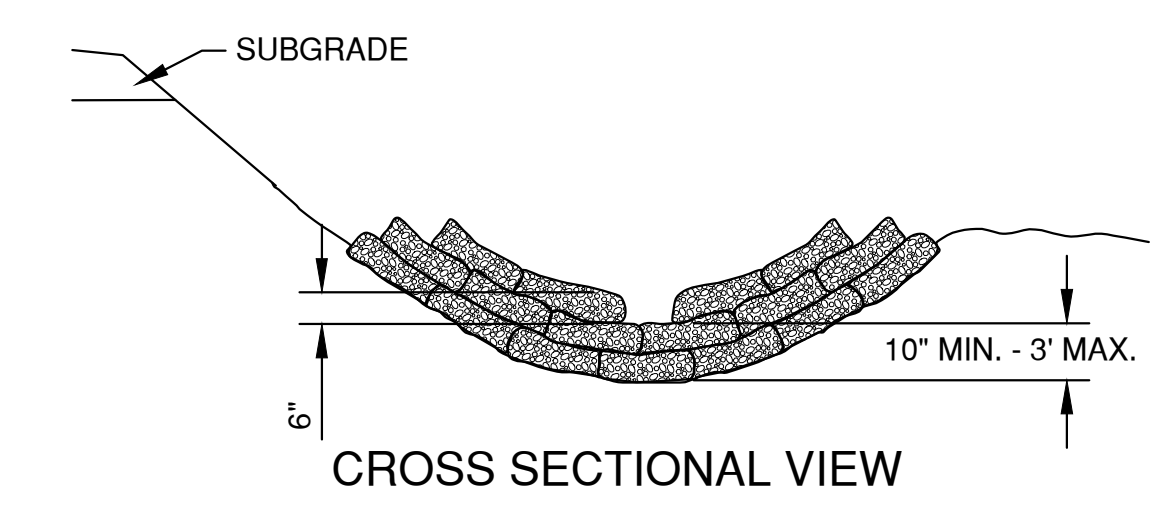
COURSE AGGREGATE INFORMATION

| SIEVE SIZE           | SIZE NO.<br>AASHTO No. 67 (1) |
|----------------------|-------------------------------|
| 2 INCH (50 mm)       | -                             |
| 1 1/2 INCH (37.5 mm) | -                             |
| 1 INCH (25.0 mm)     | 100                           |
| 3/4 INCH (19.0 mm)   | 90-100                        |
| 3/8 INCH (9.5 mm)    | 20-55                         |
| No. 4 (4.75 mm)      | 0-10                          |
| No. 8 (2.36 mm)      | 0-5                           |

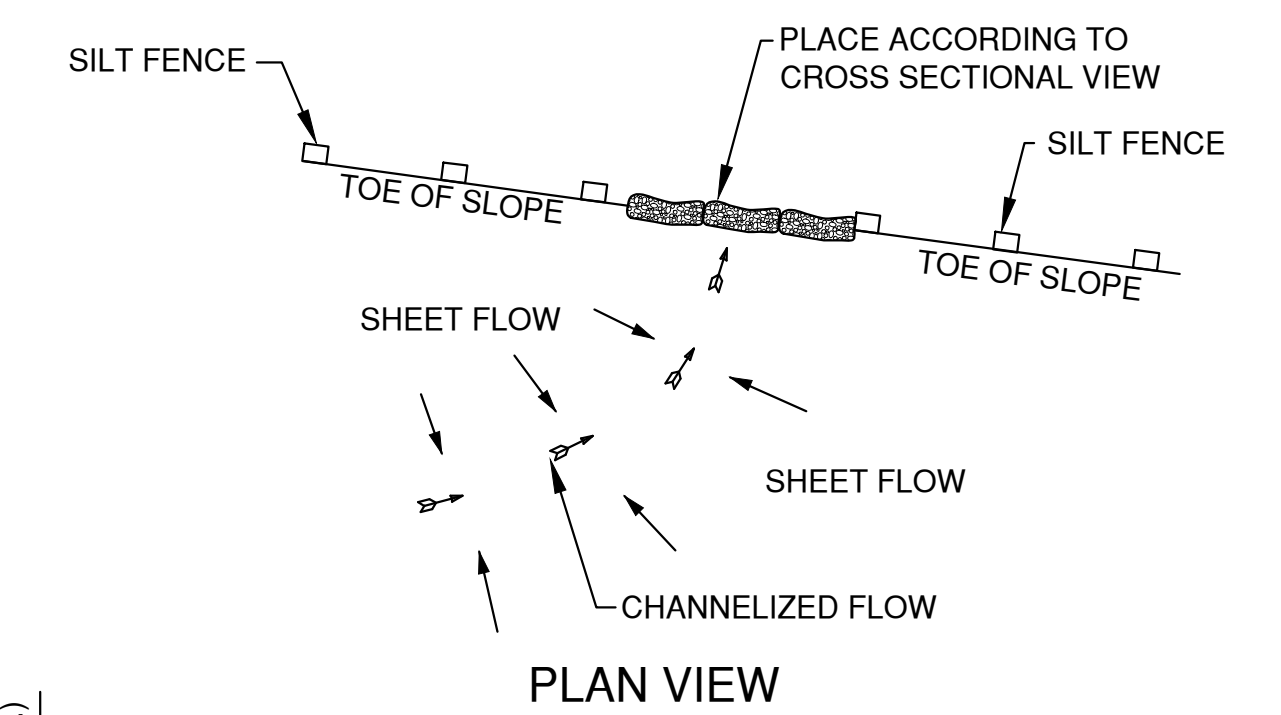
(1) SIZE No. ACCORDING TO AASHTO M 43

NOTES:

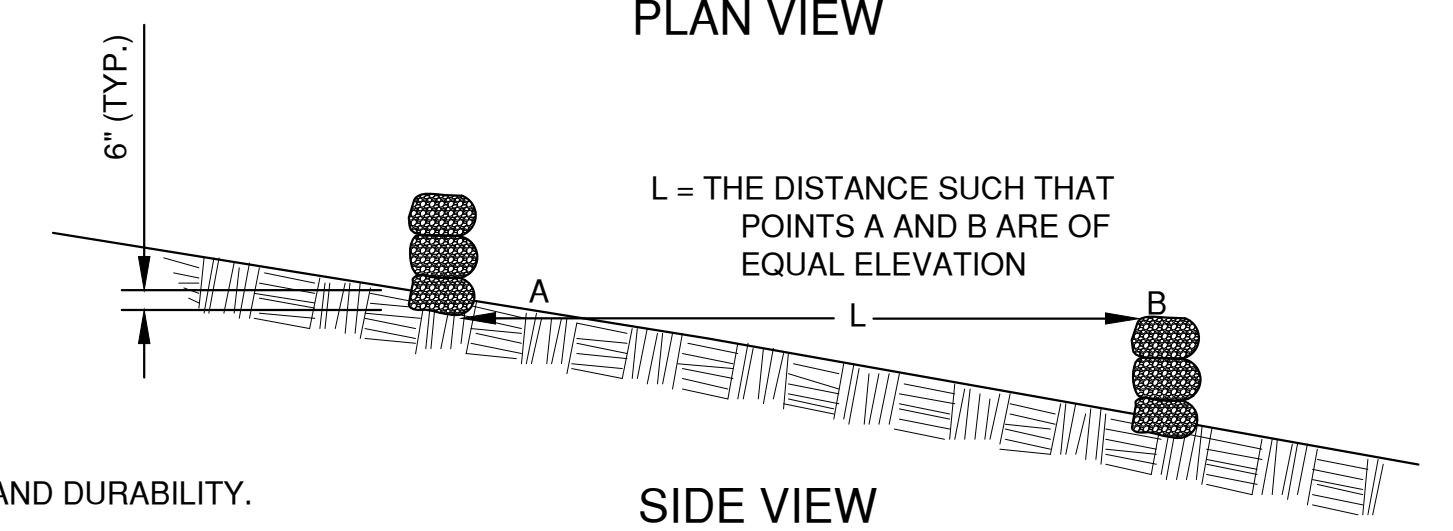
18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:  
 HDPE HIGH DENSITY POLYETHYLENE  
 HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.  
 80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"  
 ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.  
 USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS



CROSS SECTIONAL VIEW

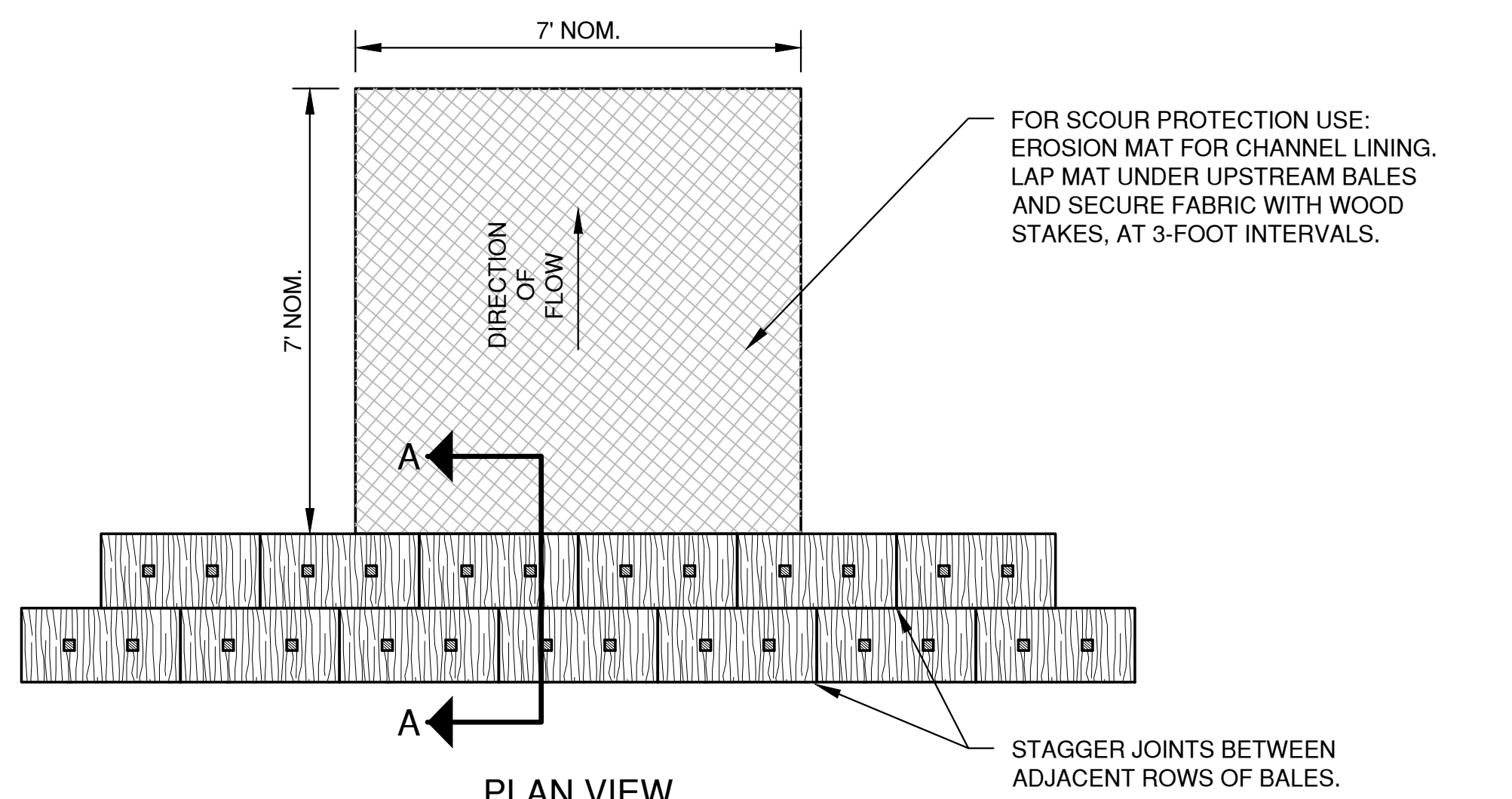


PLAN VIEW

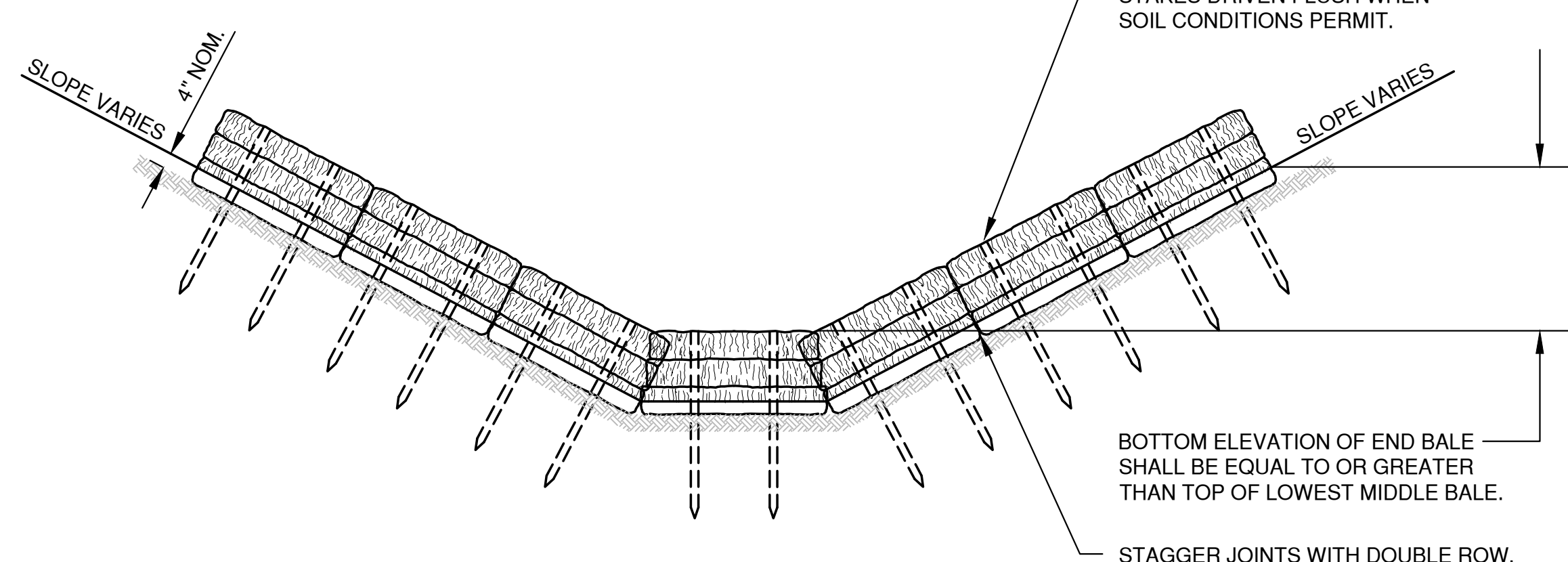


SIDE VIEW

DITCH CHECK DETAIL



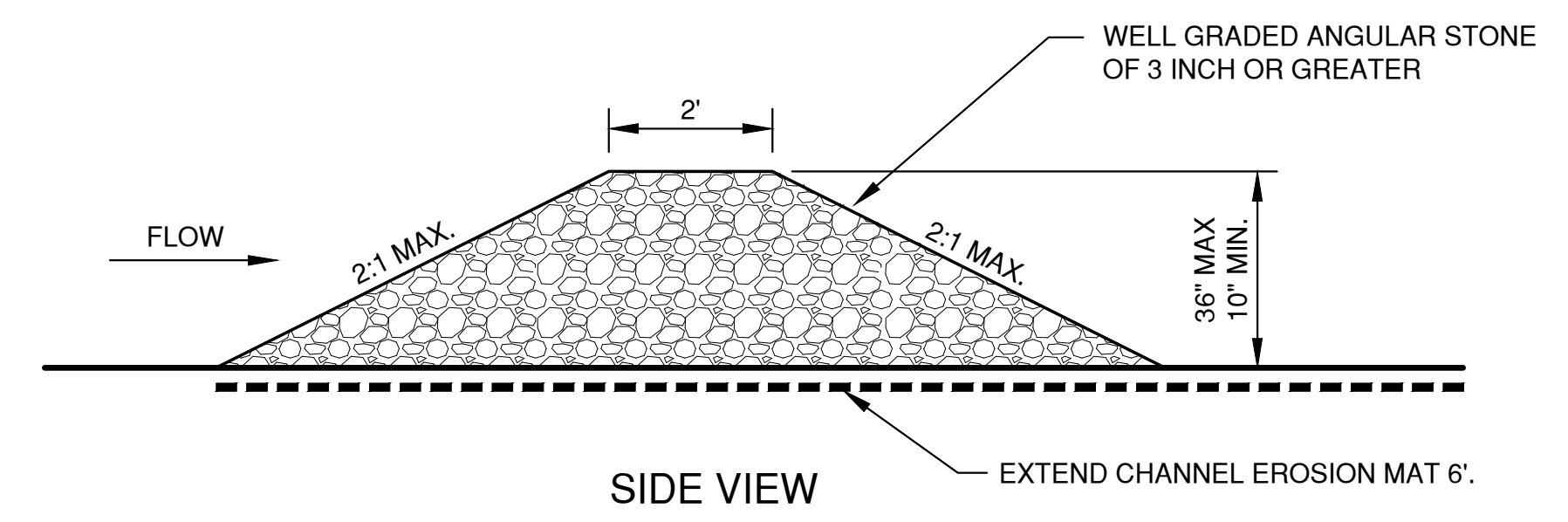
PLAN VIEW



FRONT ELEVATION

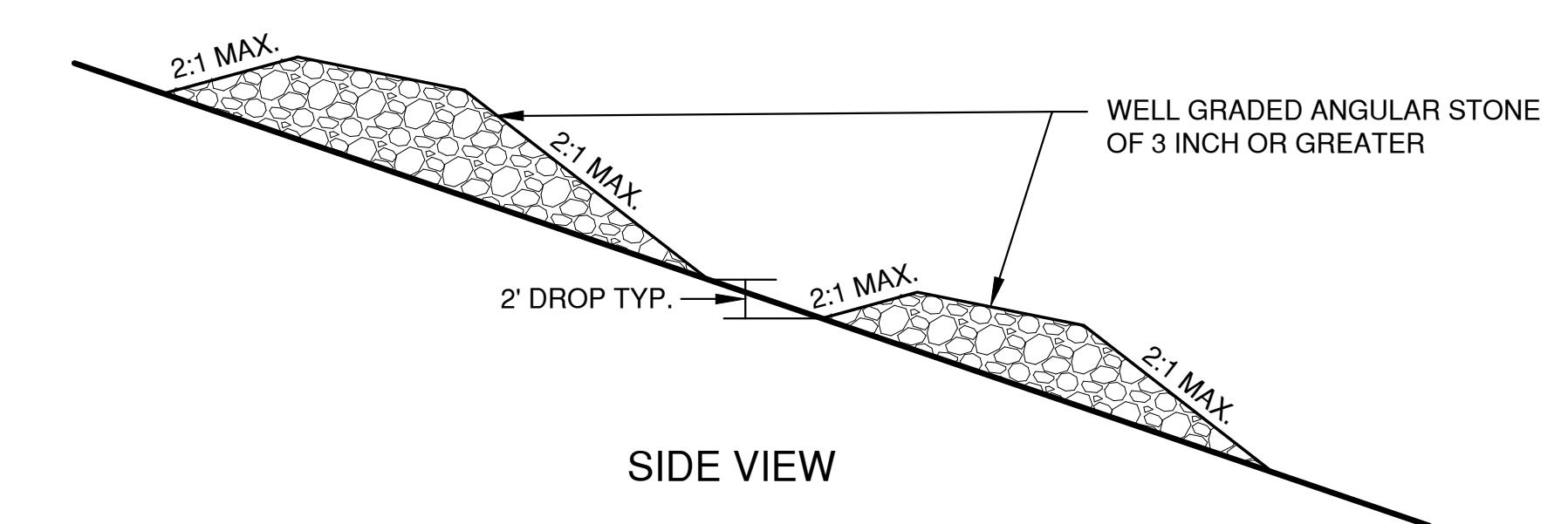
TEMPORARY DITCH CHECK USING EROSION BALES  
TYPE A

ROCK FILLED EROSION CONTROL BAGS  
TYPE B



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE  
TYPE C



SIDE VIEW

FILE: R:\31001\3170\31750371.dwg (EROSION CONTROL.dwg) PLOT DATE: Apr 05, 2021 4:18pm DITCH CHECKS LAYOUT: DITCH CHECKS

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION | DRAWN<br>MRL    |
|-----|------|---------|----------|-----|------|---------|----------|-----------------|
|     |      |         |          |     |      |         |          | CHECKED<br>BDR  |
|     |      |         |          |     |      |         |          | DESIGNED<br>MRL |

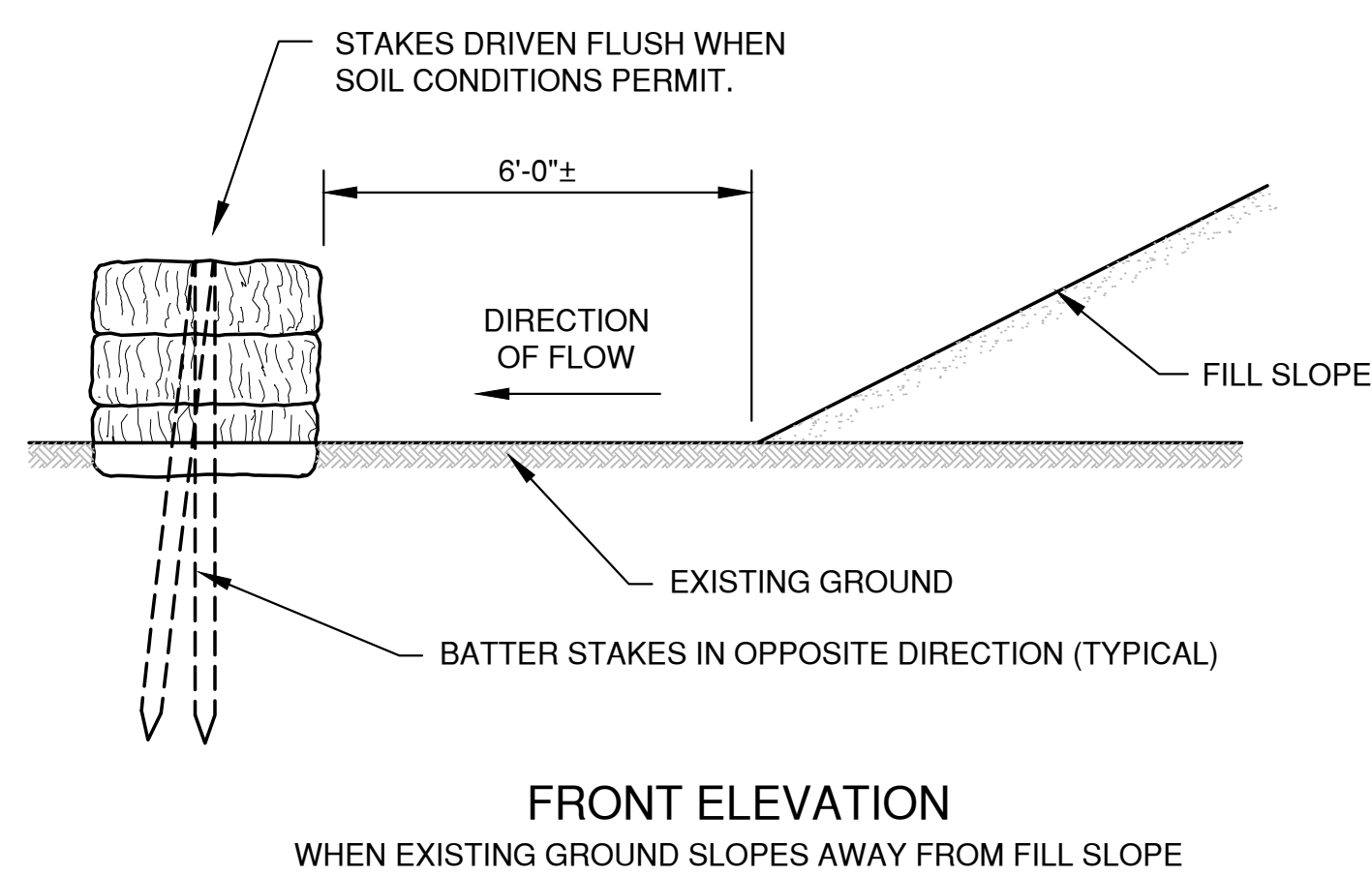
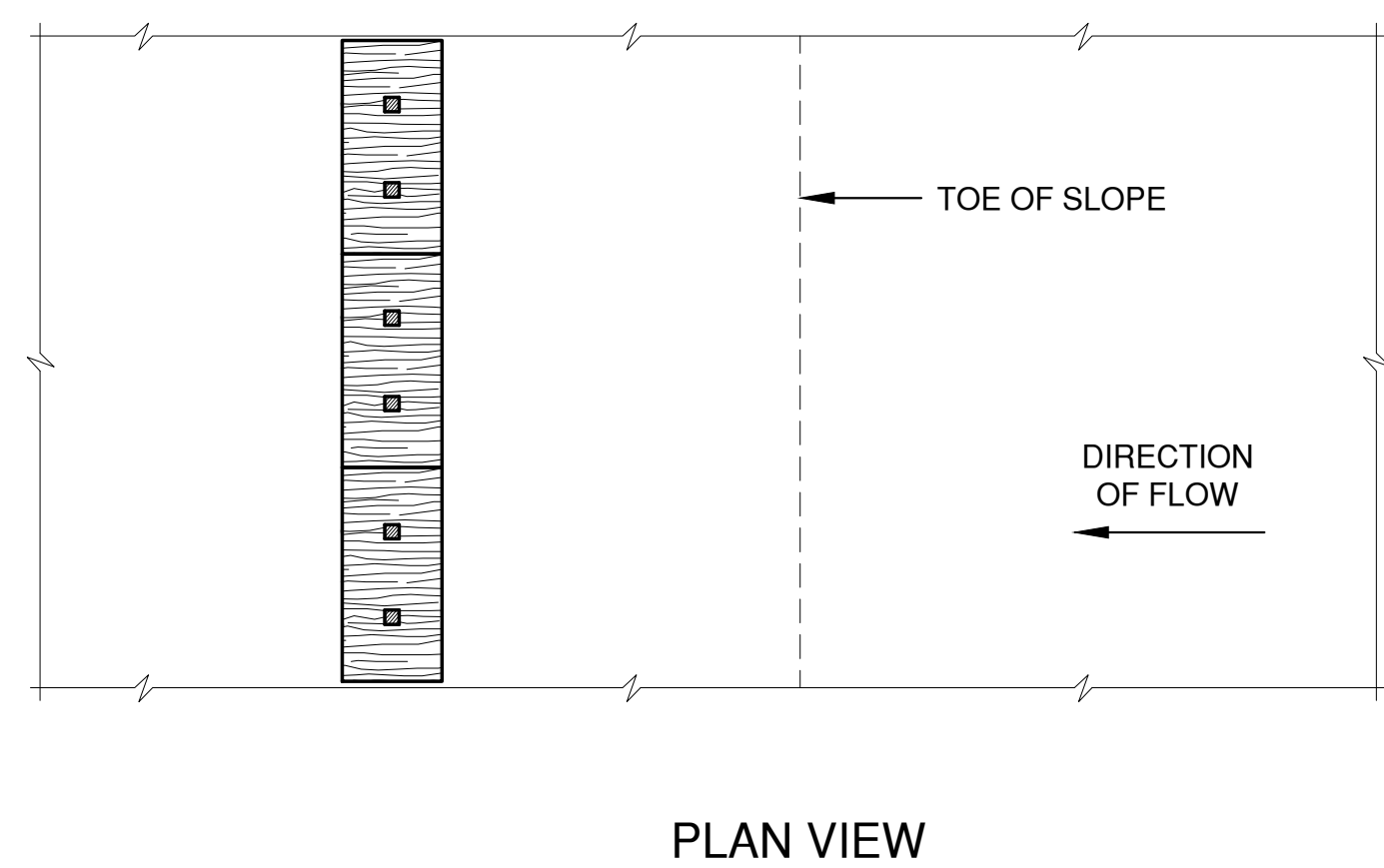
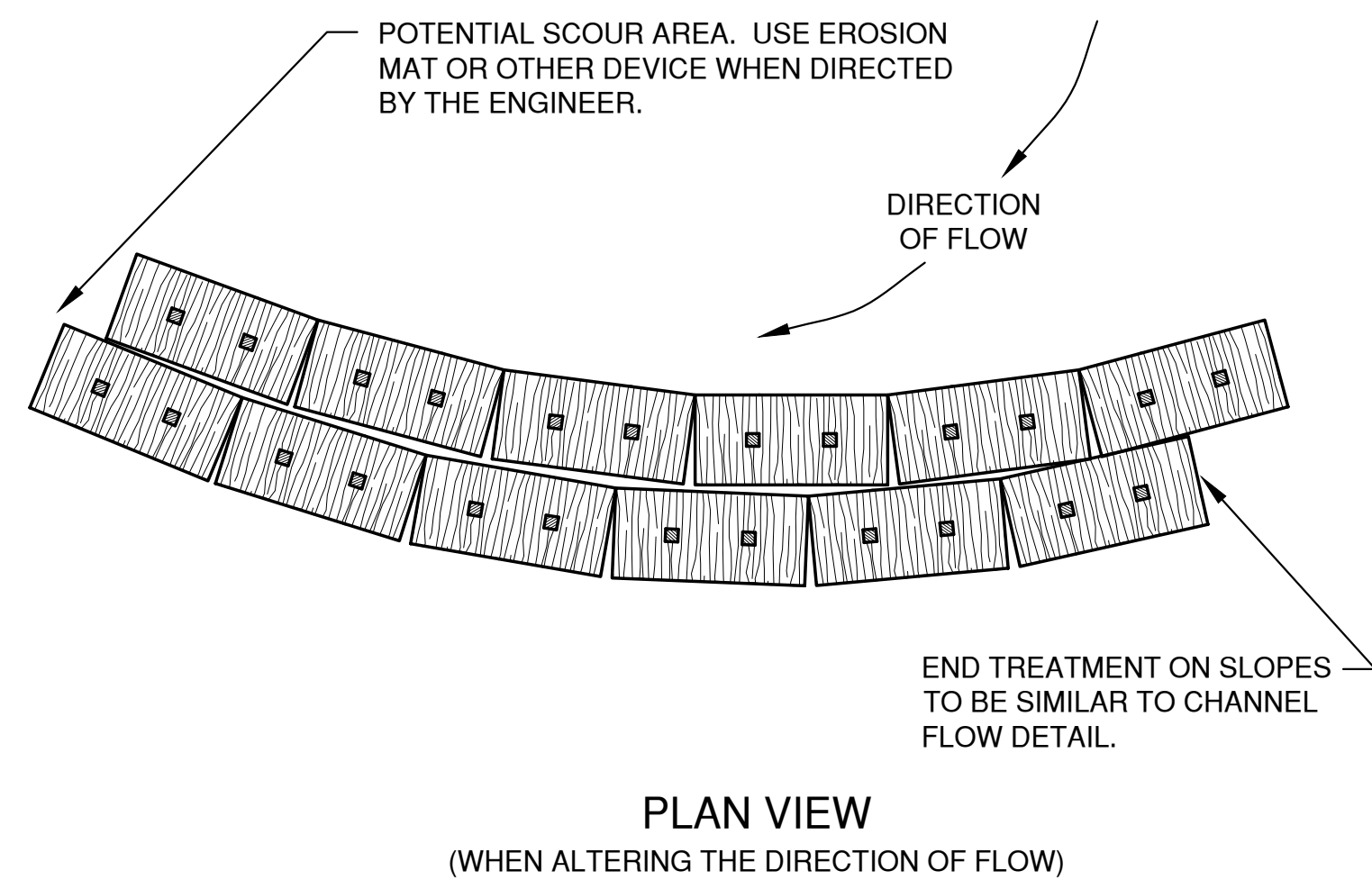
BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
DITCH CHECK DETAILS

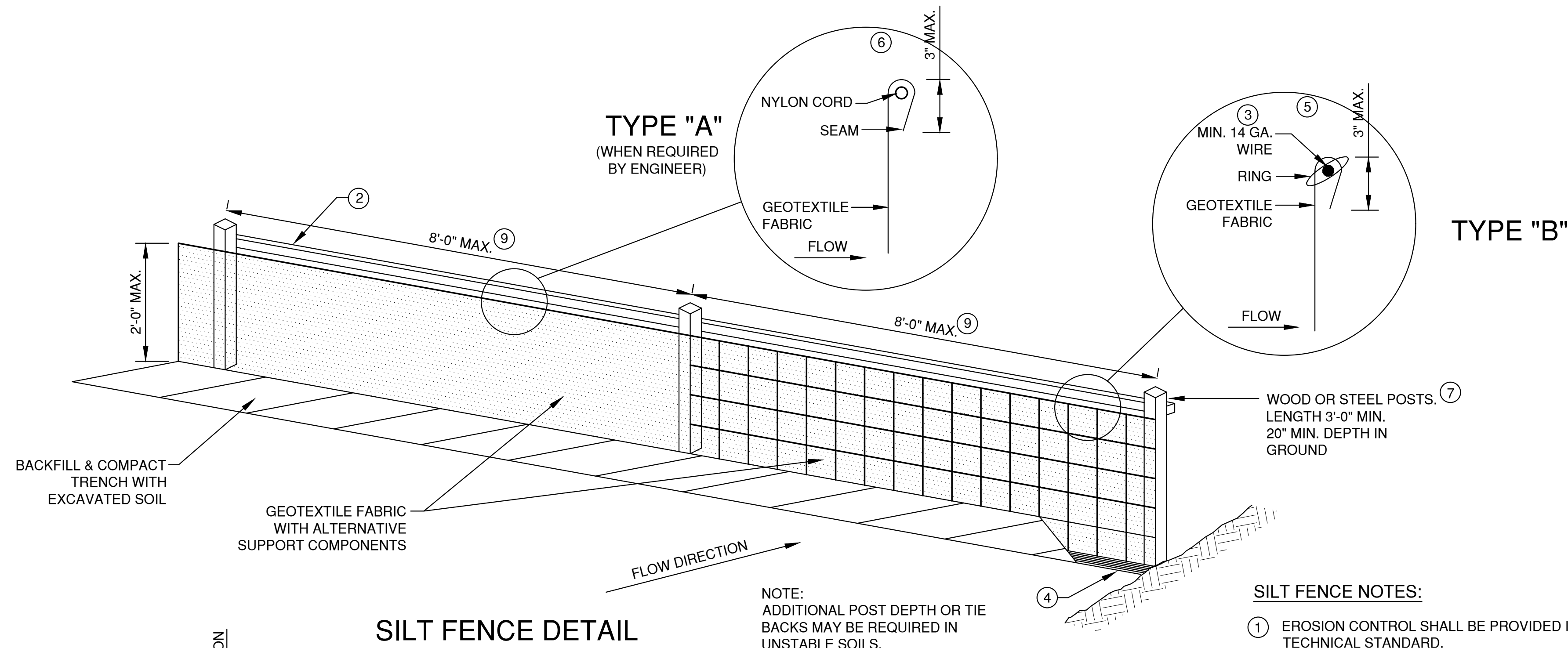
DATE  
03/20/21  
FILE  
EROSION CONTROL  
JOB NO.  
3175037

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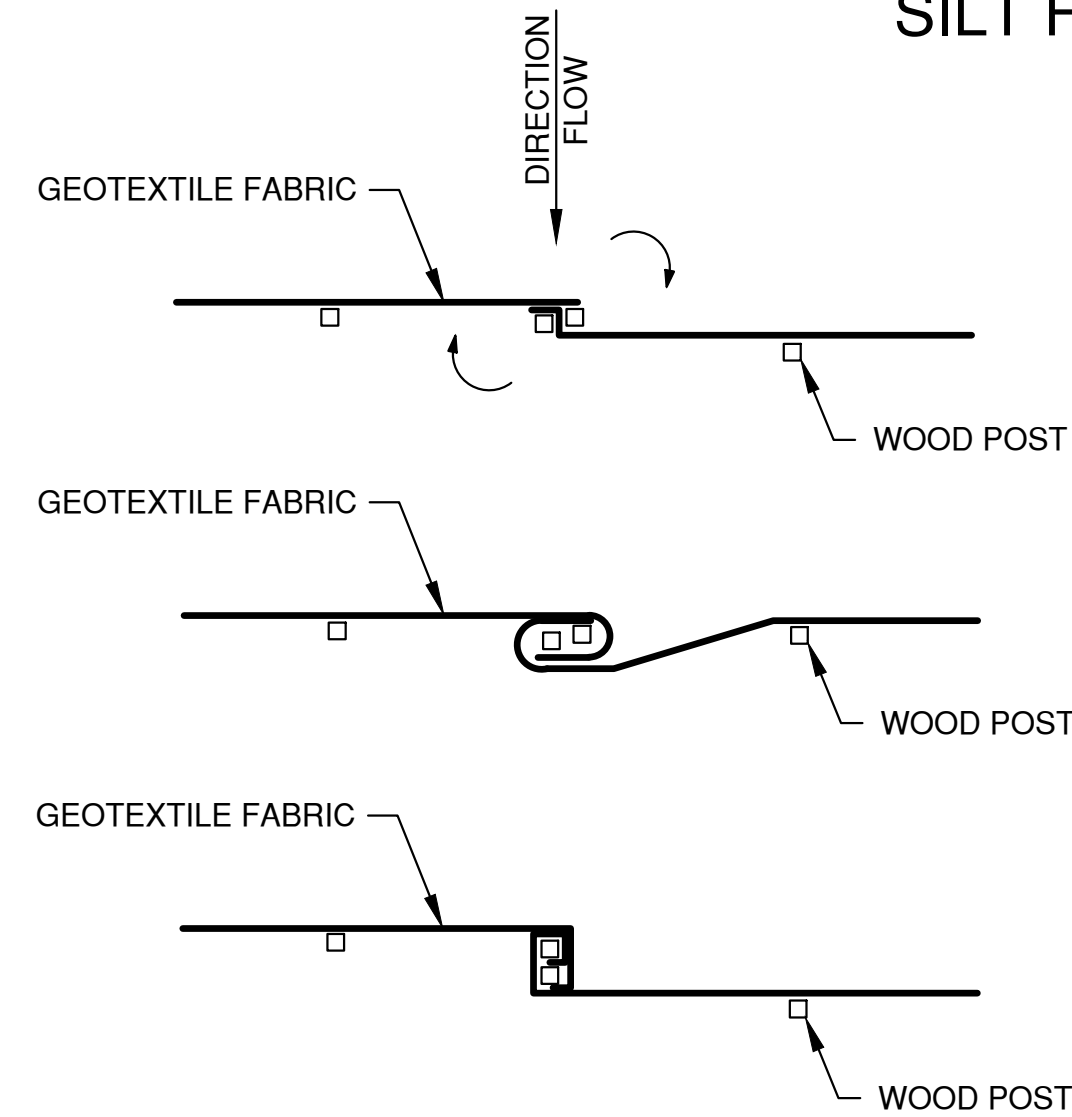
SHEET NO.  
**7**



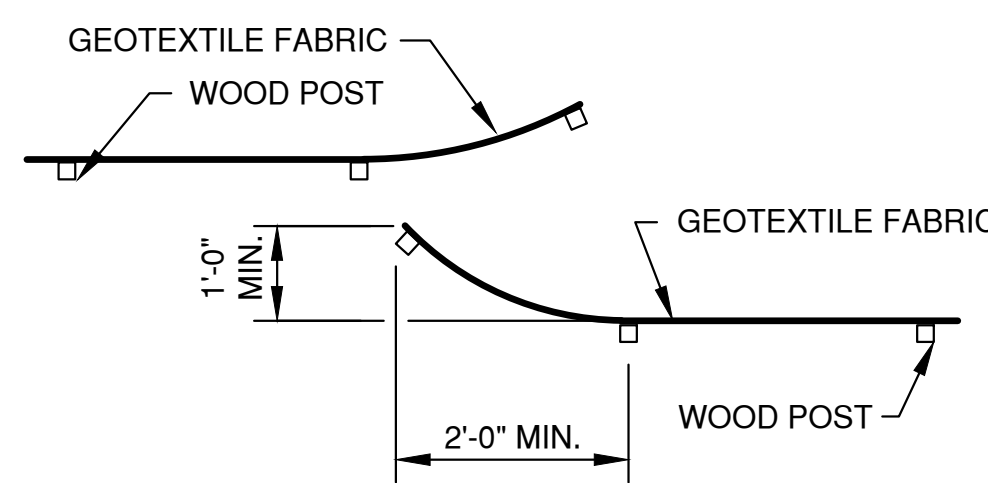
**EROSION BALES FOR SHEET FLOW**



**SILT FENCE DETAIL**

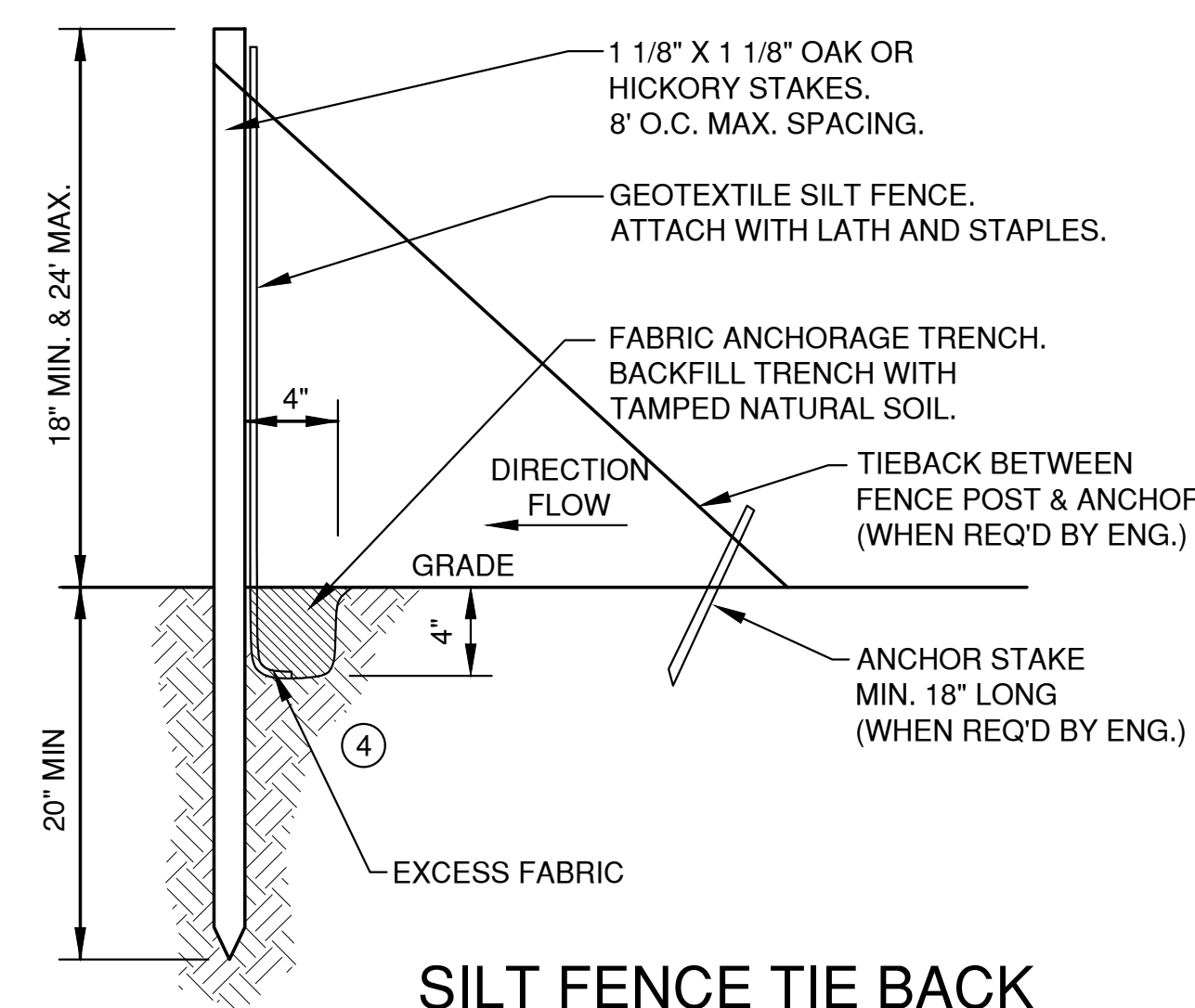


**TWIST METHOD (8)**



**HOOK METHOD (8)**

**JOINING TWO LENGTHS OF SILT FENCE**



**SILT FENCE TIE BACK**

**SILT FENCE NOTES:**

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD.
- CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LIN. FT. (WITHOUT ANCHOR) FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL. IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

**EROSION CONTROL SHEET FLOW NOTES:**

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDING OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE DNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS, LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE PER WEEK AND BEFORE ALL IMMINENT RAINS.
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.

SHEET FLOW  
LAYOUT: SHEET FLOW  
FILE: P:\3100\3170\31703071.dwg (EROSION CONTROL.dwg)  
PLOT DATE: Apr 05, 2021 11:41:09am

| NO. | DATE | APPROV. | REVISION | NO. | DATE | APPROV. | REVISION |
|-----|------|---------|----------|-----|------|---------|----------|
|     |      |         |          |     |      |         |          |
|     |      |         |          |     |      |         |          |
|     |      |         |          |     |      |         |          |

BUILDING ADDITION FOR  
DENOBLE CONSTRUCTION, INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
SHEET FLOW DETAILS

DATE  
03/20/21  
FILE  
EROSION CONTROL  
JOB NO.  
3175037

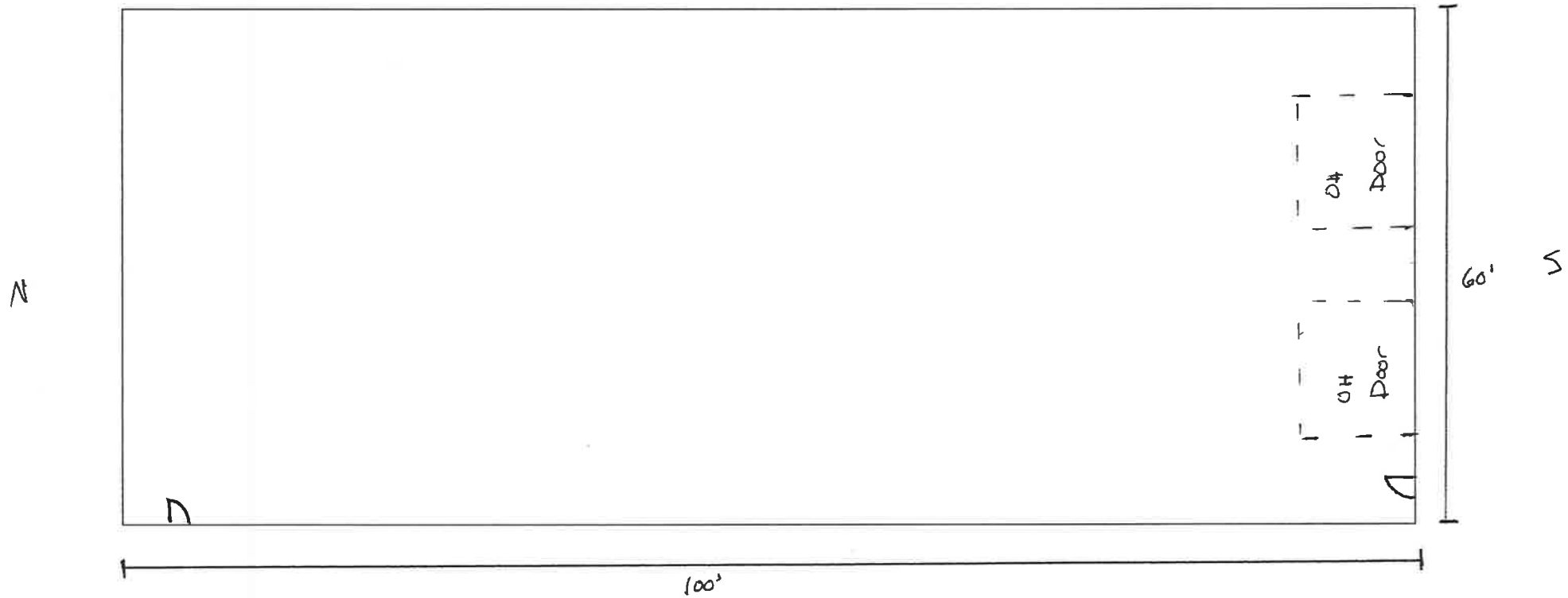
**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 www.releinc.com

SHEET NO.  
**8**

Joe DeNoble Sewer Floor Plan

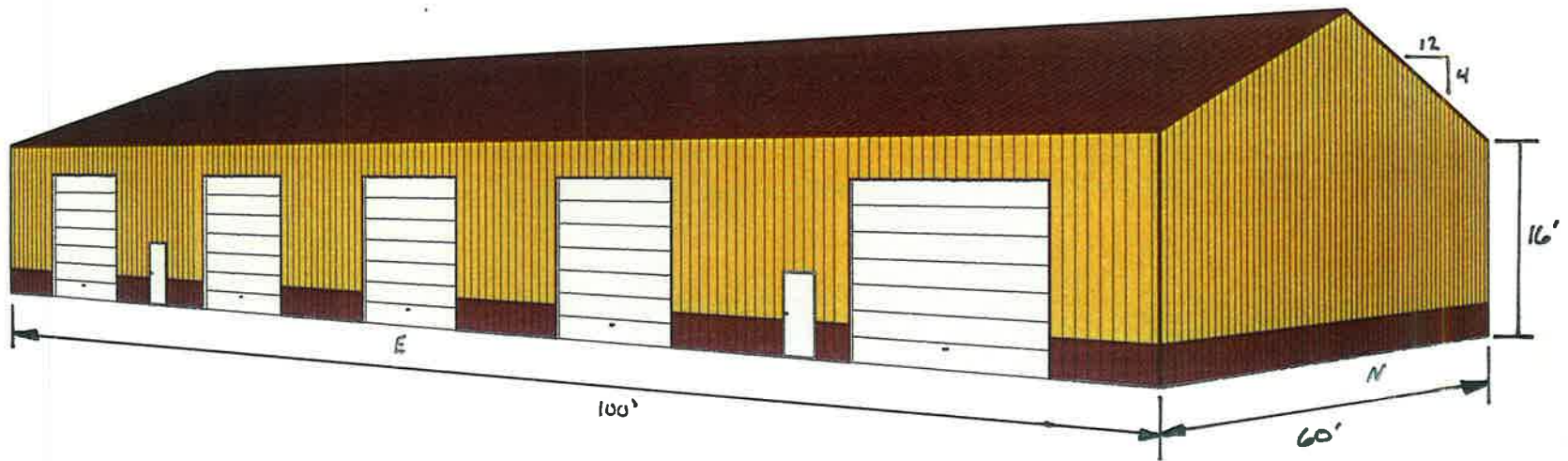
NOTE: PROPOSED BUILDING'S USAGE  
WILL BE TO PROVIDE TRACTOR  
TRAILER STORAGE ALONG WITH  
COLD STORAGE.

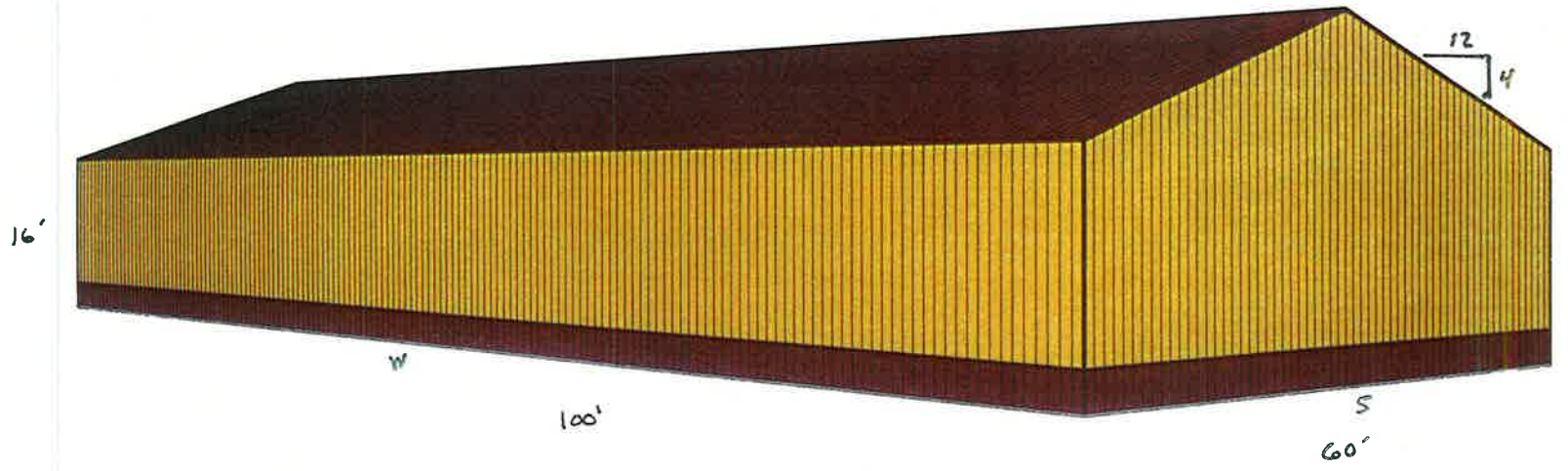
E



W

NOTE: BUILDING ELEVATIONS ARE FROM THE 2017 SUBMITTAL.  
EXTERIOR FINISH TO REMAIN THE SAME.  
NO OVERHEAD DOORS TO BE CONSTRUCTED ALONG THE EAST OR  
WEST SIDE. ONE SERVICE DOOR TO BE CONSTRUCTED ON THE  
NORTH WEST CORNER. TWO OVERHEAD DOORS AND ONE SERVICE  
DOOR TO BE CONSTRUCTED ON THE SOUTH END OF THE BUILDING.











**TO:** Site Review Committee

**RE:** 1256 Centennial Centre Blvd., HB-2412; New 23,595 sf Office building and associated site improvements

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** April 21, 2021

**ISSUE:** Discussion and action on proposed new 2 story, 23,595 sf., office building and associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval of this development along with any conditions the Committee may identify.

### GENERAL INFORMATION

1. Owner/Developer: Lexington Homes, Inc.
2. Applicant/Agent: Robert E. Lee & Associates, Inc.
3. Address/Parcel: 1256 Centennial Centre Blvd., HB-2412
4. Zoning: B-1: Community Business District
5. Use: Office

### ANALYSIS

This proposed new 23,595 square foot building will be constructed in the northwest corner of an already partially developed parcel. The site currently has a 6,160 square foot office building with associated parking areas and storm water facilities. The development of this new office building and additional parking areas will complete the buildout of the property.

### BACKGROUND

This same development was before the Committee most recently back on April 15, 2020 and received conditional approval on a 17,014 square foot building with underground parking. The underground parking has since been removed and replaced with an additional 6,581 square feet of building area at grade level which does include an approximately 1,254 square foot garage area and additional office space. Other than this modification, there is not other changes to building or site improvements from the 2020 submittal. Additionally, since the Site Plan Approval expires at 12 months following any approval, the project needed to be resubmitted as the 12 month timeframe expires on April 15, 2021.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### Section 1, Site Plan Approval

- A. **Zoning:** B-1: Community Business District
- B. **Green Space:** 46.8% green space, exceeding the 25% requirement (REL sheet 2)
- C. **Setbacks:** Compliant with zoning district required setbacks (code/(proposed) – Front 40/(172), Side 10/(10/19.5), Rear 15/(55)) (REL sheet 2)

- D. **Parking:** One parking space shall be provided for each 300 square feet of floor area for the first 8,000 square feet of gross floor area. One additional parking space shall be furnished for each 700 square feet or fraction thereof for the next 12,000 square feet of total floor area, and one additional parking space shall be provided for each 1,000 square feet, or fraction thereof, for total area in excess of 20,000 square feet. One parking space shall also be provided for each staff member or employee on the maximum shift. With this additional 17,014 square feet, the site is required to have a minimum of 67 stalls (47 based on square footage and 1 per 20 employees on site) and the site is proposed to have 100 stalls (88 surface and 12 under the new building).
- E. **Fire Dept. (and Police Dept.):** Both the Fire Chief and Police Chief had not additional comments.
- F. **Storm Water:** Stormwater from the proposed building and parking areas will be collected by the existing stormwater basin in the middle of the parking lot before being discharged to the creek running along the south side of the site. The on-site infiltration basin will treat the stormwater for TSS removal and peak discharge.
- G. **Refuse/Recycling Collection:** None shown

#### **Section 4, Architectural Plan Approval**

##### **A. Exterior Construction Information:**

1. **Materials:** Wood framed building.
2. **Exterior Materials:** This was approved at the September 2019 meeting and consists of stone veneer and vinyl siding (similar to that utilized on the multi-family structures)
3. **Height:** Overall height of 24'
4. **Overhead doors:** One small garage door to access garage area
5. **Mechanical equipment:** If located on the roof or ground, shall be screen from view by materials compatible with the building or landscaping

**Section 5, Landscaping Plan:** Majority of the site has mature trees and planting. There are mostly foundation plantings proposed along with 5 new trees to help screen for the off-ramp from HWY 29

**Section 6, Lighting:** There will be three additional smaller light poles (very similar to the light poles along Centennial Centre Blvd.) installed in the east and north side of the parking area in addition to the wall mounted light fixtures on the proposed building (spec sheet attached).

**Section 7, Signage:** No signage proposed at this time and any future proposed signage would be required to be submitted for approval at a later date.

**Section 8, Driveway-Curb Cut:** No change, existing to be utilized.

#### **RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any conditions the Site Review may identify:

1. Any future proposed signage would be required to be submitted for approval at a later date
2. Refuse/Recycling containers whether existing or proposed shall be screened from public view
3. Overhead garage door shall be of a color to blend with the main colors of the building

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Lexington Homes Office, 1250 Centennial Centre Blvd  
1/4 NE of 1/4 NE T24N R19E Section 13

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 2.70 Acres

Size of facility(square footage): 17,014 SF of office space split between 2 stories

Type of facility: Office

Developer: Lexington Homes

Address: 1300 N Kings Ct Green Bay, WI 54933 Phone: 920-662-1611

Engineer: Robert E Lee + Associates - Brandon Robaidek

Address: 1250 Centennial Centre Blvd, Hobart WI 54155 Phone: 920-662-9641

Contractor: TBD

Construction Firm: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial \_\_\_ Business Park \_\_\_ Commercial X  
Multi-Family \_\_\_

Current Zoning: B-1 Community Business District

Other - Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES X NO

% of Green Space: 46.8%

B. Orientation - Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: Front - 40'  
Side - 10' Complies with Ordinance: YES  
Rear - 25'

D. # of parking stalls ( Include Handicapped parking): 100 stalls  
4 Handicap

E. Show the following Utilities and all easements including but not limited to the following facilities types:

- 1) Electric underground  overhead
- 2) Natural Gas
- 3) Telephone
- 4) Water / Fire Hydrants
- 5) Fiber Optic Lines
- 6) Other transmission lines \_\_\_\_\_
- 7) Ingress - egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance X YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: X YES \_\_\_\_\_ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_ YES \_\_\_  NO
  - 2) Not applicable \_\_\_\_\_

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:

Robert F Lee + Associates, Inc 1250 Centennial Centre Blvd (920) 662-9641

- J. Sidewalks, walkways, and driveways:
- K. Off street loading areas and docks:
- L. Fences and retaining walls or berms:
- M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

N/A

- N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

N/A

**4. ARCHITECTURAL PLAN APPROVAL**

- A. Exterior construction information:

1) Type of Construction Materials: See Architectural plans

2) Exterior Materials: \_\_\_\_\_

3) Height of Facility: 29'0"

4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)

5) Other unique characteristics: \_\_\_\_\_

5. **LANDSCAPING PLAN**

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

See plans  
\_\_\_\_\_

Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

Identify Buffering -Type – Quantity:

\_\_\_\_\_  
\_\_\_\_\_

6. **LIGHTING PLAN**

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

See plans for light pole locations  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Identify Parking Lighting – Quantity – Wattage – Location :

\_\_\_\_\_

Identify other Lighting – Quantity – Wattage – Location:

\_\_\_\_\_  
\_\_\_\_\_

7. **SIGNAGE**

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion:           N/A            
\_\_\_\_\_  
\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut:           N/A          

Radius / Flare: \_\_\_\_\_

Apron Dimensions: \_\_\_\_\_

Culvert Size (End-walls Required) \_\_\_\_\_





# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2990 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3809

**A. Applicant**

Applicant Name: Lexington Homes, Inc. Owner Name: Jeff Marlow  
 Address: 1300 N Kimps Ct Address: 1300 North Kimps Ct  
 City: Green Bay State: WI Zip: 54313 City: Green Bay State: WI Zip: 54313  
 Phone: (920) 662-1611 Phone: (920) 662-1611  
 Email: Jmarlow@lexingtonneighborhoods.com Email: Jmarlow@lexingtonneighborhoods.com

**B. Parcel – Site Information**

Site Address: 1250 Centennial Parcel ID: HB-2412  
 Project Description: Office Building

**Residential ERU Calculations**

| Use                 | <input type="checkbox"/> Single Family | <input type="checkbox"/> Duplex | <input type="checkbox"/> Multi-family |
|---------------------|--|---------------------------------|---------------------------------------|
| Number of Dwellings |  |                                 |                                       |
| ERU's / Dwelling    | 1 ERU                                  | 0.75 ERU                        | 0.6 ERU                               |
| <b>Total ERU's</b>  |  |                                 |                                       |

**Nonresidential Uses - Impervious Surface Calculation**

|                                | Existing      |         | Change (+/-)   |         | = New Total Area |         |
|--------------------------------|---------------|---------|----------------|---------|------------------|---------|
|                                |               | sq. ft. |                | sq. ft. |                  | sq. ft. |
| Building/Structure Foot Prints | 6,160         |         | + 14,900       |         | 21,060           |         |
| Paved/Gravel Areas             | 47,198        |         | - 5,712        |         | 41,486           |         |
| <b>Totals</b>                  | <b>53,358</b> |         | <b>+ 9,188</b> |         | <b>62,546</b>    |         |

ERU Calculation: 62,546 / 4000 sf / ERU = 15.64 ERU's  
 New Total Area sq. ft.

Preparer's Signature: *Brandon Robaidek* Date: 3-31-20  
 Preparer's Printed Name: Brandon Robaidek



**Robert E. Lee & Associates, Inc.**

Engineering, Surveying, Environmental Services

**Green Bay Office**  
1250 Centennial Centre Blvd.  
Hobart, WI 54155  
920-662-9641  
FAX 920-662-9141

April 3, 2020

Mr. Aaron Kramer, Village Administrator  
VILLAGE OF HOBART  
2990 S Pine Tree Road  
Hobart, WI 54155

RE: Lexington Homes Office Building  
Storm Water Management Summary

Dear Mr. Kramer:

Robert E. Lee & Associates, Inc., is submitting the following Storm Water Management summary for the proposed Lexington Homes Office Building at 1260 Centennial Centre Blvd. Storm water running off of the proposed building and parking areas will be collected by the existing stormwater basin in the middle of the parking lot before being discharged to the creek running along the south side of the site. The on-site infiltration basin will treat the stormwater for TSS removal and peak discharge.

If you have any questions or need any additional information, please do not hesitate to call.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Brandon D. Robaidek', written over a faint, illegible typed name.

Brandon D. Robaidek, E.I.T.

Village of Hobart - Master Specification - Draft 2/12/15.

LED Luminaire Base Specification

17 assemblies to include -

Architectural Area Lighting (AAL) Catalog Number - **PROV-T2-32LED-5K-700-LDL-BLK (Qty. 14) mounted on a 16ft pole.**

**PROL-T2-56LED-5K-700-BLK (Qty. 3) mounted on a 21ft pole.**

Banner Arm mounted 18-inches down from the top of pole, 2 x 3.

Banner mounts similar to attached but by Nafco.

Fixture should also include lamp

LED Luminaire Alternates to the present Specification.

Description

The contractor shall supply architectural LED luminaires that meet the criteria in the following list. Any luminaire submitted that does not meet the performance specifications listed below will not be approved for use.

LM-79 photometric test reports shall be provided for the submitted luminaires. LM-79 luminaire photometric reports shall be produced by an independent test laboratory and include the following:

- Name of test laboratory. The test laboratory must hold National Voluntary Laboratory Accreditation Program (NVLAP) accreditation for the IES LM-79 test procedure or must be qualified, verified, and recognized through the U.S. Department of Energy's CALiPER program.
- Report number and date
- Complete luminaire catalog number. Catalog number tested must match the catalog number of the luminaire submitted, except for variations which do not affect performance.
- Description of luminaire, LED light source(s), and LED driver(s)
- Manufacturer must provide TM-21 report stating both calculated and reported L70 lumen maintenance at 55° C, 85°C, and 105°C case temperatures.
- Goniophotometry
- Colorimetry

The submitted luminaire must also meet the criteria below in order to achieve approval.

- Discrete LED driver and lamp compartment shall be located in separate die cast housings.
- LED drivers must be 0-10V dimming capable with a primary voltage operation of 120V-277V.
- LED Drivers must be Class II.
- Luminaire must have integral surge protection.
- Must have an onboard Thermal Protection System.
- Must offer IES distribution Types 2, 3, 4, 5, as well as all left and all right.
- The individual optics that comprise the optical system must be built to IP66 standards.
- Must have an optional house side shield to prevent light trespass.

- The finish of the bezel mounting the optical system to the housing must match the finish of the fixture.
- All mounting brackets and fixture hardware must be stainless steel.

# WPLED13



LED 10W & 13 Wallpacks, Patent Pending thermal management system,  
100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze

Weight: 3.3 lbs

**Project:**

**Type:**

**Prepared By:**

**Date:**

### Driver Info

Type: Constant Current  
120V: 0.13A  
208V: 0.08A  
240V: 0.07A  
277V: 0.06A  
Input Watts: 15W  
Efficiency: 87%

### LED Info

Watts: 13W  
Color Temp: 5000K (Cool)  
Color Accuracy: 66 CRI  
L70 Lifespan: 100,000  
Lumens: 1,064  
Efficacy: 71 LPW

Need help? Tech help line: **888 RAB-1000** Email: [sales@rabweb.com](mailto:sales@rabweb.com) Website: [www.rabweb.com](http://www.rabweb.com)  
Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

Page 1 of 3

# WPLED13



## Technical Specifications

### Listings

#### UL Listing:

Suitable for Wet Locations as a Downlight  
Suitable for Damp Locations as an Uplight  
Wall Mount only. Suitable for Mounting within  
4ft. of ground.

#### Dark Sky Approved:

The International Dark Sky Association has  
approved this product as a full cutoff, fully  
shielded luminaire.

#### IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an  
independent laboratory in accordance with  
IESNA LM-79 and 80, and have received the  
Department of Energy "Lighting Facts" label.

#### DLC Listed:

This product is on the Design Lights  
Consortium (DLC) Qualified Products List and  
is eligible for rebates from DLC Member  
Utilities.

### Optical

#### Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-  
80 results and TM-21 calculations.

#### Fixture Efficacy:

71 Lumens per Watt

#### Lumen Maintenance:

The LED will deliver 70% of its initial lumens at  
100,000 hours of operation.

### Construction

#### Cold Weather Starting:

The minimum starting temperature is -40°  
F/-40°C.

#### Ambient Temperature:

Suitable for use in 50°C (122°F) ambient  
temperatures.

#### Finish:

Our environmentally friendly polyester powder  
coatings are formulated for high-durability and  
long-lasting color, and contains no VOC or  
toxic heavy metals.

#### Green Technology:

RAB LEDs are Mercury and UV free.

#### For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture  
can be used to achieve LEED Credits for Light  
Pollution Reduction.

#### Gaskets:

High Temperature Silicone.

### Electrical

#### Driver:

Multi-chip 13W high output long life LED Driver  
Constant Current, Class 2 100V - 277V, 50/60  
Hz.

#### THD:

12.54% at 120V

#### Surge Protection:

4KV

### LED Characteristics

#### Color Temperature (Nominal CCT):

5000K

#### Color Accuracy:

66 CRI

#### Color Consistency:

7-step MacAdam Ellipse binning to achieve  
consistent fixture-to-fixture color.

#### Color Stability:

LED color temperature is warranted to shift no  
more than 200K in CCT over a 5 year period.

#### Color Uniformity:

RAB's range of CCT (Correlated color  
temperature) follows the guidelines of the  
American National Standard for Specifications  
for the Chromaticity of Solid State Lighting  
(SSL) Products, ANSI C78.377-2008.

### Other

#### Patents:

The design of the LPACK is protected by U.S.  
Pat. D604,004 and patents pending in  
Canada, China and Taiwan.

#### California Title 24:

See WPLED13/PC for a 2013 California Title  
24 compliant model.

#### Warranty:

RAB warrants that our LED products will be  
free from defects in materials and  
workmanship for a period of five (5) years from  
the date of delivery to the end user, including  
coverage of light output, color stability, driver  
performance and fixture finish.

#### Equivalency:

The WPLED13 is Equivalent in delivered  
lumens to a 100W Metal Halide Wallpack.

#### HID Replacement Range:

The WPLED13 can be used to replace 70-  
150W Metal Halide Wallpacks based on  
delivered lumens.

#### Country of Origin:

Designed by RAB in New Jersey and  
assembled in Taiwan.

#### Trade Agreements Act Compliant:

This product is a product of Taiwan and a  
"designated country" end product that  
complies with the Trade Agreements Act.

#### GSA Schedule:

This product is suitable for listing on the GSA  
Schedule of the US General Services in  
accordance with FAR Subpart 25.4.

Need help? Tech help line: **888 RAB-1000** Email: [sales@rabweb.com](mailto:sales@rabweb.com) Website: [www.rabweb.com](http://www.rabweb.com)  
Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice

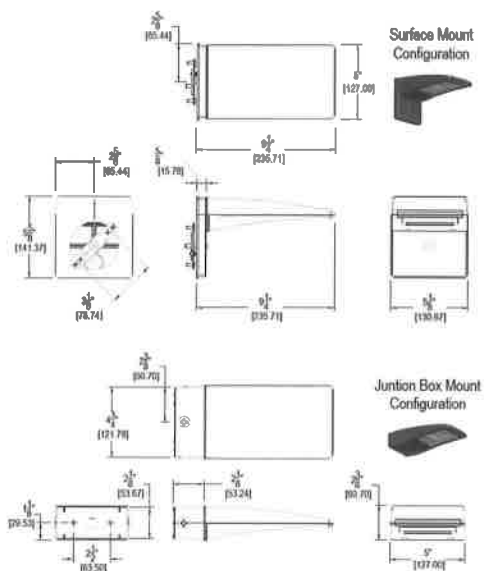
Page 2 of 3



# WPLED13



## Dimensions



## Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 5-year warranty

## Ordering Matrix

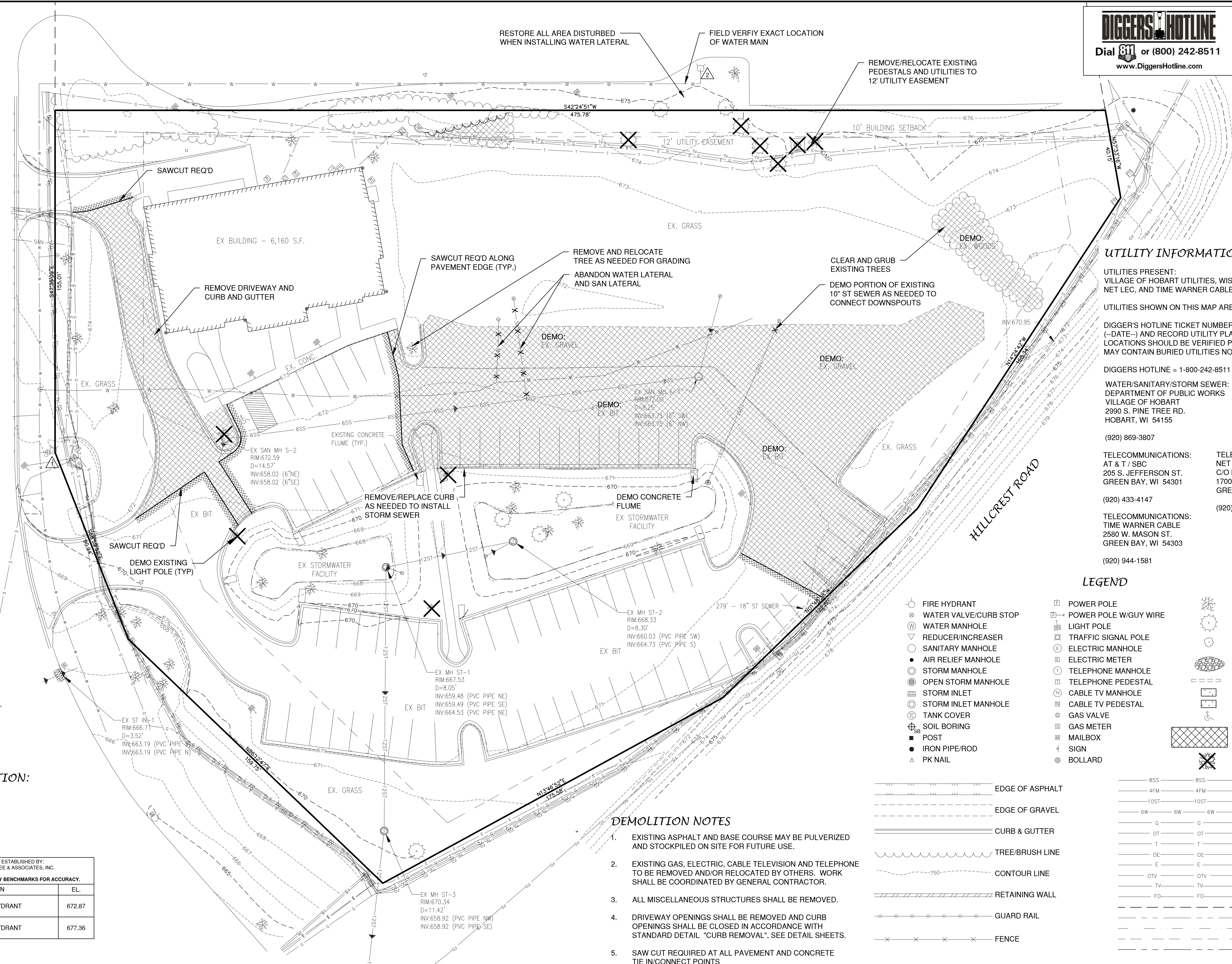
| Family | Watts                | Color Temp                              | Sensor                                | Surface Plate            | Surface Place     | Finish                      | Photocell   |
|--------|----------------------|---|---------------------------------------|--------------------------|-------------------|-----------------------------|---|
| WPLED  | 10 = 10W<br>13 = 13W | Blank = Cool<br>Y = Warm<br>N = Neutral | Blank = No Sensor<br>MS = Mini Sensor | Blank = No Surface Plate | S = Surface Plate | Blank = Bronze<br>W = White | Blank = No Photocell<br>/PC = 120V Button<br>/PCS = 120V Swivel<br>/PC2 = 277V Button |





TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

CENTENNIAL CENTRE BOULEVARD



**UTILITY INFORMATION:**  
UTILITIES PRESENT:  
VILLAGE OF HOBART UTILITIES, WISCONSIN PUBLIC SERVICE CORP, AT&T, NET LEC, AND TIME WARNER CABLE.  
UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:  
DIGGER'S HOTLINE TICKET NUMBER --# & DATE--, VISIBLE OBSERVATION (-DATE-) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.  
DIGGERS HOTLINE = 1-800-242-8511  
WATER/SANITARY/STORM SEWER: DEPARTMENT OF PUBLIC WORKS, VILLAGE OF HOBART, 2990 S. PINE TREE RD, HOBART, WI 54155  
GAS & ELECTRIC: WISCONSIN PUBLIC SERVICE CORP, 700 N. ADAMS ST, GREEN BAY, WI 54307  
TELECOMMUNICATIONS: AT & T / SBC, 205 S. JEFFERSON ST, GREEN BAY, WI 54301  
TELECOMMUNICATIONS: NET LEC / NSIGHT / CELLCOM, C/O MI TECH SERVICES, 1700 INDUSTRIAL DR, GREEN BAY, WI 54302  
TELECOMMUNICATIONS: TIME WARNER CABLE, 2580 W. MASON ST, GREEN BAY, WI 54303  
(920) 869-3807  
(920) 433-4147  
(920) 944-1581

- LEGEND**
- POWER POLE
  - POWER POLE W/GUY WIRE
  - LIGHT POLE
  - TRAFFIC SIGNAL POLE
  - ELECTRIC MANHOLE
  - ELECTRIC METER
  - TELEPHONE MANHOLE
  - TELEPHONE PEDESTAL
  - CABLE TV MANHOLE
  - CABLE TV PEDESTAL
  - GAS VALVE
  - GAS METER
  - MAILBOX
  - SIGN
  - BOLLARD
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - RIP RAP
  - CULVERT
  - CONCRETE
  - WETLANDS
  - HANDICAP PARKING
  - TO BE DEMOLISHED
  - TREE/SHRUB TO BE REMOVED

- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- DEMOLITION NOTES**
- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
  - EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
  - ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
  - DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL". SEE DETAIL SHEETS.
  - SAW CUT REQUIRED AT ALL PAVEMENT AND CONCRETE TIE IN/CONNECT POINTS

**OWNER INFORMATION:**  
LEXINGTON HOMES INC.  
1300 N KIMPS CT  
GREEN BAY, WI 54313  
(920) 662-1611

| BENCHMARK  |                    |        |
|--|--------------------|--------|
| BENCHMARK ESTABLISHED BY:<br>ROBERT E. LEE & ASSOCIATES, INC.<br>FIELD VERIFY BENCHMARKS FOR ACCURACY. |                    |        |
| NO.  | DESCRIPTION        | EL.    |
| 1  | TAGBOLT ON HYDRANT | 672.87 |
| 2  | TAGBOLT ON HYDRANT | 677.36 |

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|---------|---------|----------------------|-----|------|---------|----------|-------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | CBR   |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | CBR   |

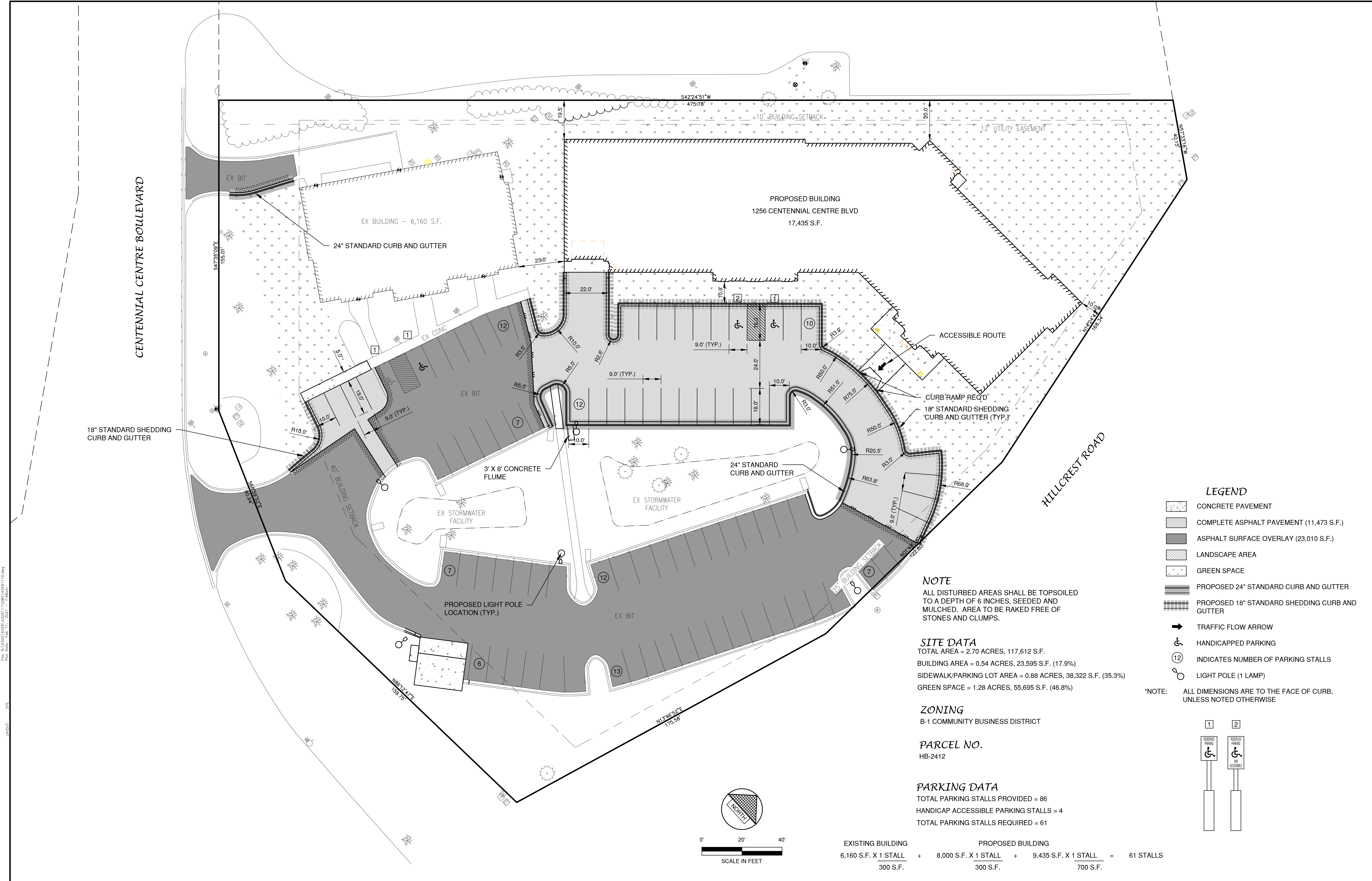
OFFICE BUILDING FOR LEXINGTON HOMES INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

|         |          |
|---------|----------|
| DATE    | 01/20/21 |
| FILE    | 4329111T |
| JOB NO. | 4329111  |

**Robert E. Lee & Associates, Inc.**  
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
920-662-9641 www.releinc.com

SHEET NO. 1



**LEGEND**

- CONCRETE PAVEMENT
- COMPLETE ASPHALT PAVEMENT (11,473 S.F.)
- ASPHALT SURFACE OVERLAY (23,010 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 24" STANDARD CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- LIGHT POLE (1 LAMP)

**NOTE**

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**SITE DATA**

TOTAL AREA = 2.70 ACRES, 117,612 S.F.  
 BUILDING AREA = 0.54 ACRES, 23,595 S.F. (17.9%)  
 SIDEWALK/PARKING LOT AREA = 0.88 ACRES, 38,322 S.F. (35.3%)  
 GREEN SPACE = 1.28 ACRES, 55,695 S.F. (46.8%)

**ZONING**

B-1 COMMUNITY BUSINESS DISTRICT

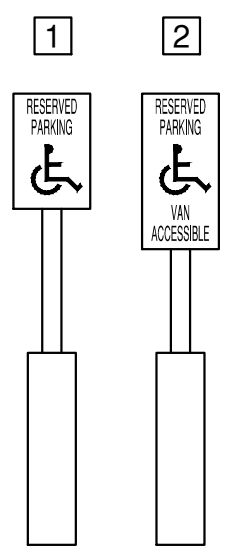
**PARCEL NO.**

HB-2412

**PARKING DATA**

TOTAL PARKING STALLS PROVIDED = 86  
 HANDICAP ACCESSIBLE PARKING STALLS = 4  
 TOTAL PARKING STALLS REQUIRED = 61

NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



EXISTING BUILDING 6,160 S.F. X 1 STALL = 300 S.F. + PROPOSED BUILDING 8,000 S.F. X 1 STALL = 300 S.F. + 9,435 S.F. X 1 STALL = 700 S.F. = 61 STALLS

FILE: P:\A\2019\A129\A129111\DWG\A1291110.dwg  
 PLOT DATE: Feb 11, 2021 7:28:00am  
 SITE  
 LAYOUT:

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|---------|---------|----------------------|-----|------|---------|----------|-------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP   |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | LLP   |

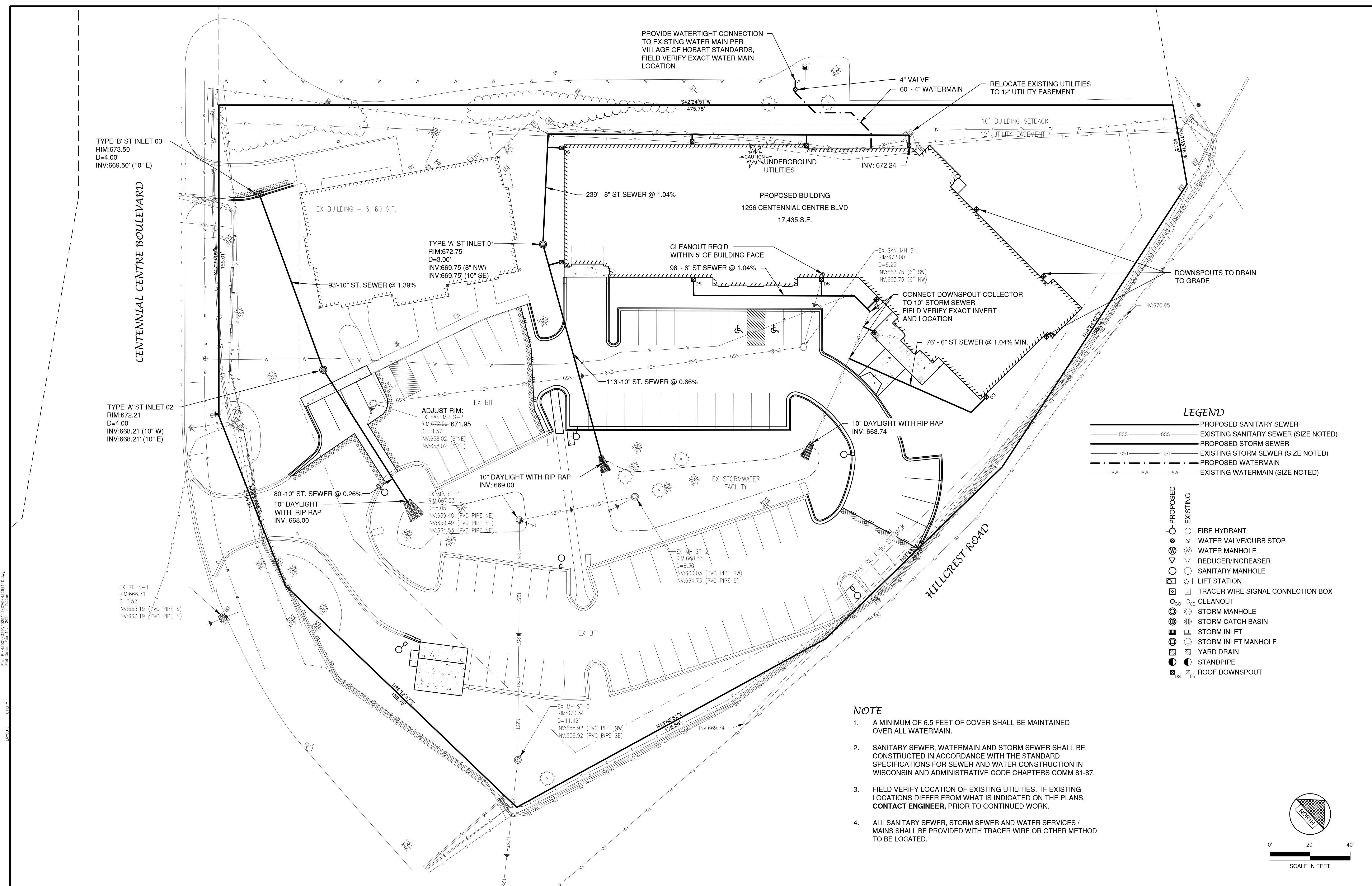
OFFICE BUILDING FOR  
 LEXINGTON HOMES INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

SITE PLAN

DATE 09/2019  
 FILE 4329111D  
 JOB NO. 4329111

**Robert E. Lee & Associates, Inc.**  
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SHEET NO. **2**



PROVIDE WATERTIGHT CONNECTION TO EXISTING WATER MAIN PER VILLAGE OF HOBART STANDARDS. FIELD VERIFY EXACT WATER MAIN LOCATION

RELOCATE EXISTING UTILITIES TO 12' UTILITY EASEMENT

TYPE 'B' ST INLET 03  
RIM:673.50  
D=4.00'  
INV:669.50' (10" E)

TYPE 'A' ST INLET 01  
RIM:672.75  
D=3.00'  
INV:669.75 (8" NW)  
INV:669.75 (10" SE)

TYPE 'A' ST INLET 02  
RIM:672.21  
D=4.00'  
INV:668.21 (10" W)  
INV:668.21' (10" E)

ADJUST RIM:  
EX SAN MH S-2  
RIM:672.54  
D=14.57'  
INV:658.02 (6" NE)  
INV:658.02 (6" SE)

EX ST IN-1  
RIM:666.71  
D=3.52'  
INV:663.19 (PVC PIPE S)  
INV:663.19 (PVC PIPE N)

EX MH ST-1  
RIM:667.53  
D=8.05'  
INV:659.48 (PVC PIPE NE)  
INV:659.49 (PVC PIPE SE)  
INV:664.53 (PVC PIPE NE)

EX MH ST-2  
RIM:668.33  
D=8.30'  
INV:660.03 (PVC PIPE SW)  
INV:664.73 (PVC PIPE S)

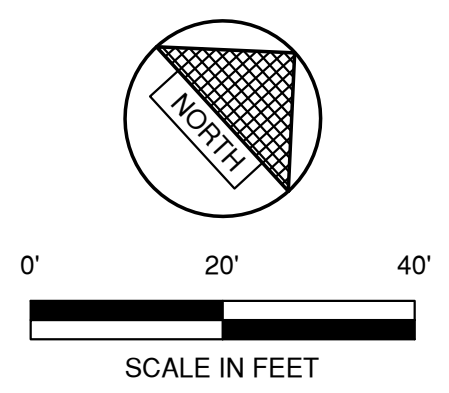
EX MH ST-3  
RIM:670.34  
D=11.42'  
INV:658.92 (PVC PIPE NW)  
INV:658.92 (PVC PIPE SE)

**LEGEND**

|  |                                      |
|--|--------------------------------------|
|  | PROPOSED SANITARY SEWER              |
|  | EXISTING SANITARY SEWER (SIZE NOTED) |
|  | PROPOSED STORM SEWER                 |
|  | EXISTING STORM SEWER (SIZE NOTED)    |
|  | PROPOSED WATERMAIN                   |
|  | EXISTING WATERMAIN (SIZE NOTED)      |

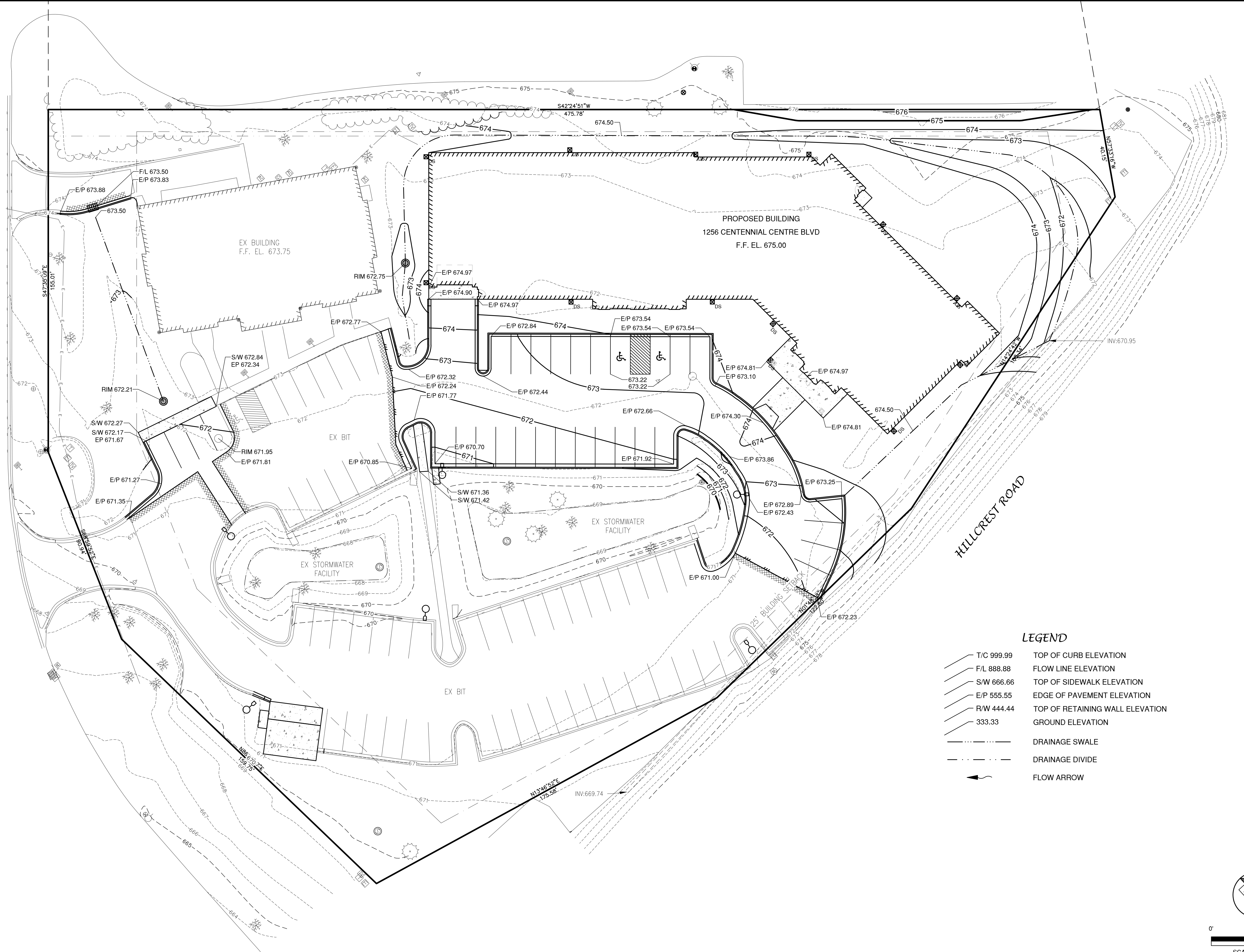
|  |                                   |
|--|-----------------------------------|
|  | PROPOSED                          |
|  | EXISTING                          |
|  | FIRE HYDRANT                      |
|  | WATER VALVE/CURB STOP             |
|  | WATER MANHOLE                     |
|  | REDUCER/INCREASER                 |
|  | SANITARY MANHOLE                  |
|  | LIFT STATION                      |
|  | TRACER WIRE SIGNAL CONNECTION BOX |
|  | CLEANOUT                          |
|  | STORM MANHOLE                     |
|  | STORM CATCH BASIN                 |
|  | STORM INLET                       |
|  | STORM INLET MANHOLE               |
|  | YARD DRAIN                        |
|  | STANDPIPE                         |
|  | ROOF DOWNSPOUT                    |

- NOTE**
- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
  - SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
  - FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
  - ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.



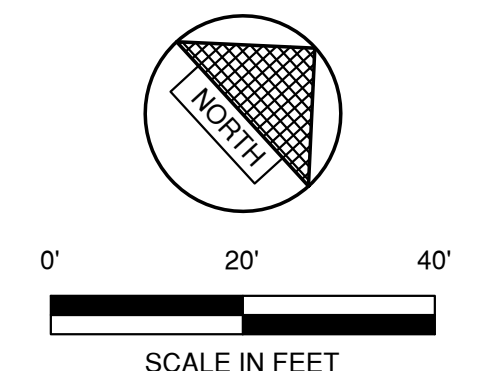
|     |         |         |                      |     |      |         |          |                 |   |              |                    |  |                       |
|-----|---------|---------|----------------------|-----|------|---------|----------|-----------------|---|--------------|--------------------|--|-----------------------|
| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN<br>LLP    | OFFICE BUILDING FOR<br>LEXINGTON HOMES INC.<br>VILLAGE OF HOBART<br>BROWN COUNTY, WISCONSIN | UTILITY PLAN | DATE<br>01/2021    | <b>Robert E. Lee &amp; Associates, Inc.</b><br>ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES<br>1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155<br>920-662-9641 www.releecinc.com | SHEET NO.<br><b>3</b> |
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | CHECKED<br>JGS  |   |              | FILE<br>4329111D   |  |                       |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | DESIGNED<br>BDR |   |              | JOB NO.<br>4329111 |  |                       |

CENTENNIAL CENTRE BOULEVARD



**LEGEND**

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW



File: P:\A\2021\A1256\A1256111.DWG, A1256111.dwg  
 Plot Date: Feb 11, 2021 7:28am  
 LAYOUT: GRADING

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN           |
|-----|---------|---------|----------------------|-----|------|---------|----------|-----------------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP             |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | CHECKED<br>JGS  |
|     |         |         |                      |     |      |         |          | DESIGNED<br>BDR |

OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

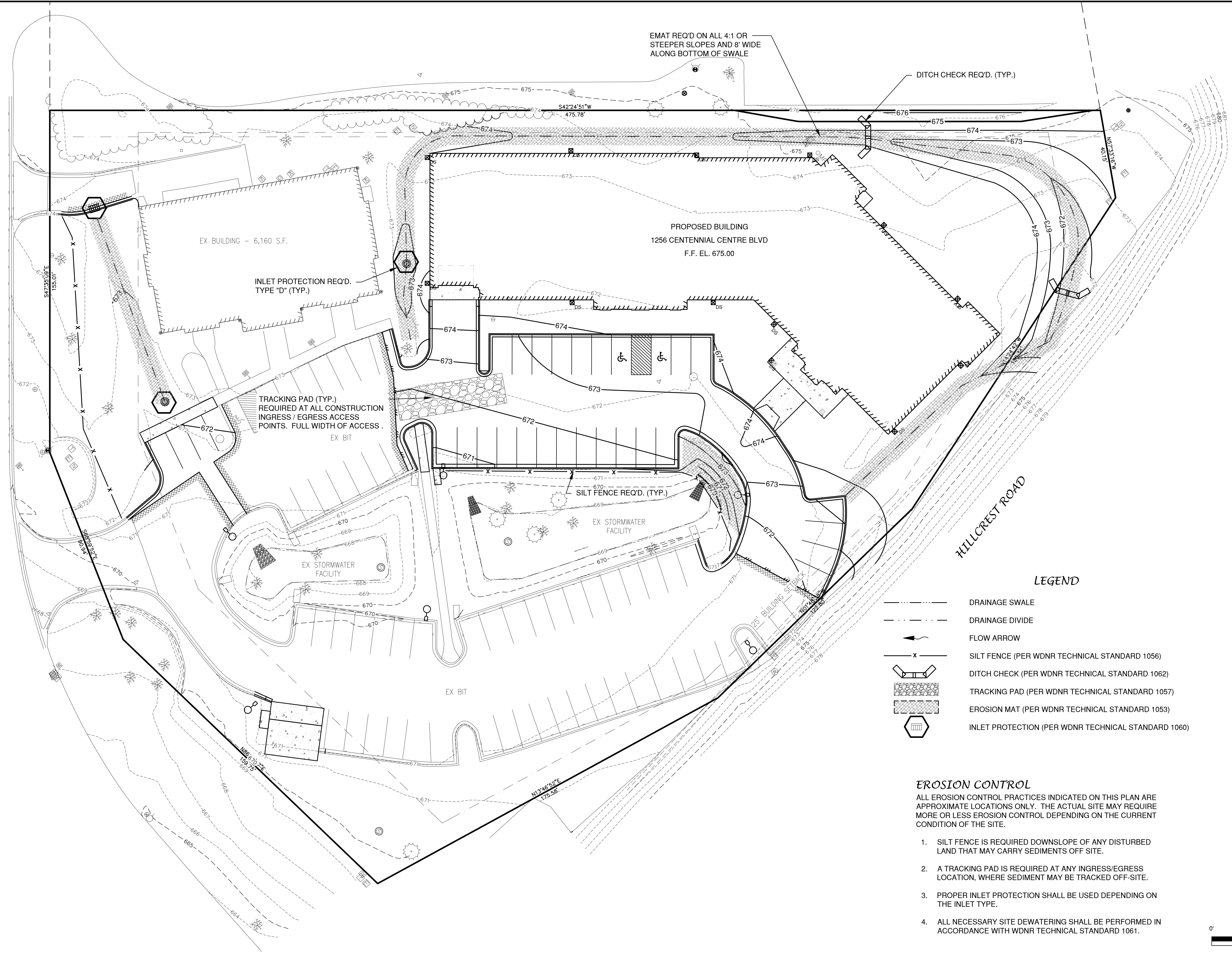
GRADING PLAN

|         |          |
|---------|----------|
| DATE    | 01/2021  |
| FILE    | 4329111D |
| JOB NO. | 4329111  |

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SHEET NO.  
**4**

CENTENNIAL CENTRE BOULEVARD



HULLCREST ROAD

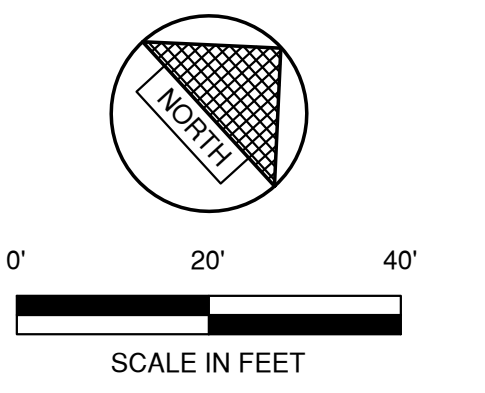
LEGEND

- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



File: P:\A\2021\A1256\A1256111\DWG\A1256111.dwg  
 Plot Date: Feb 11, 2021 8:00am  
 EROSION CONTROL

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN                             |
|-----|---------|---------|----------------------|-----|------|---------|----------|-----------------------------------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP                               |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | CHECKED<br>JGS<br>DESIGNED<br>BDR |

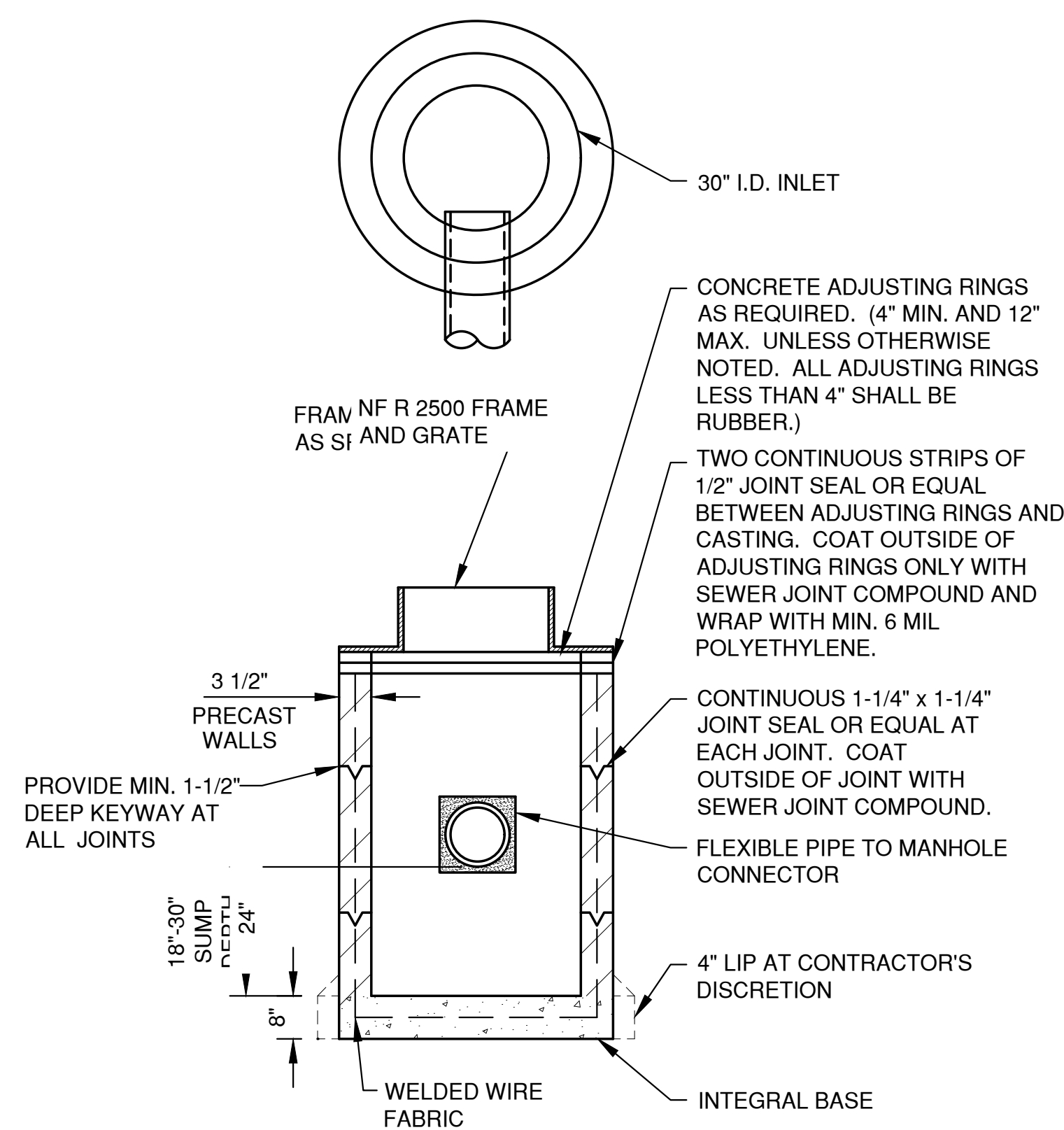
OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL PLAN

|         |          |
|---------|----------|
| DATE    | 01/20/21 |
| FILE    | 4329111D |
| JOB NO. | 4329111  |

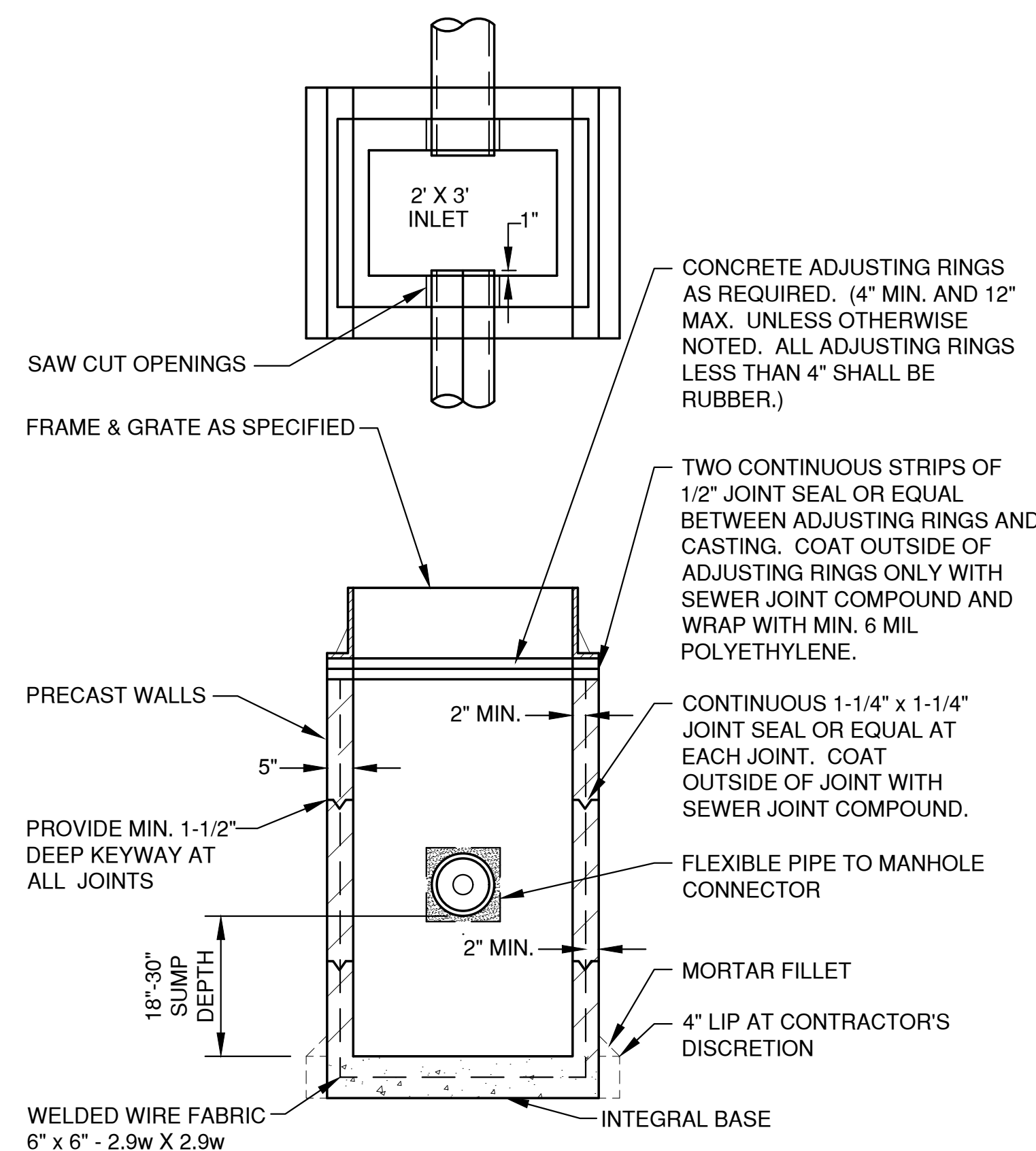
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 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
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SHEET NO.  
**5**



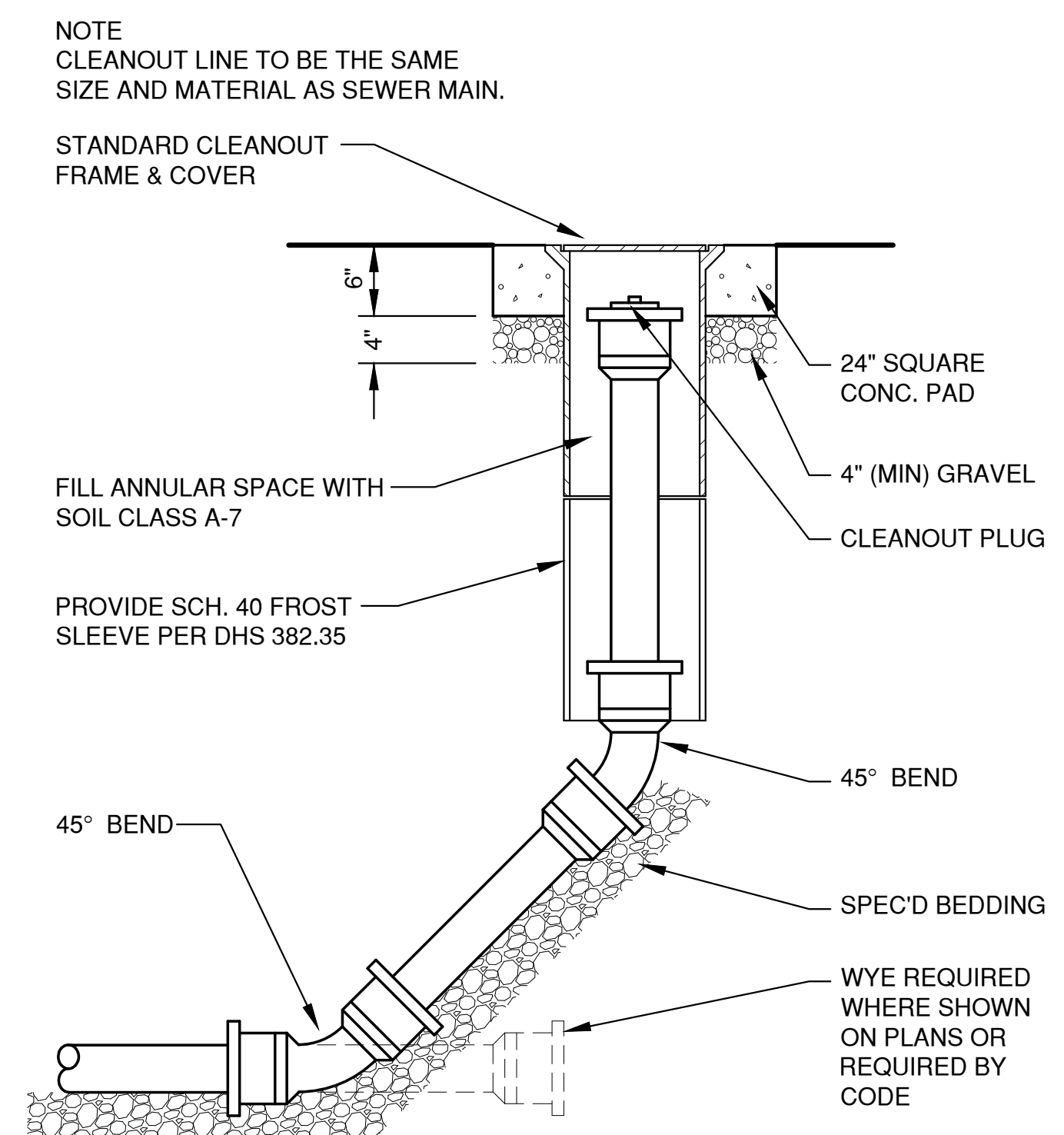
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'A' STORM INLET

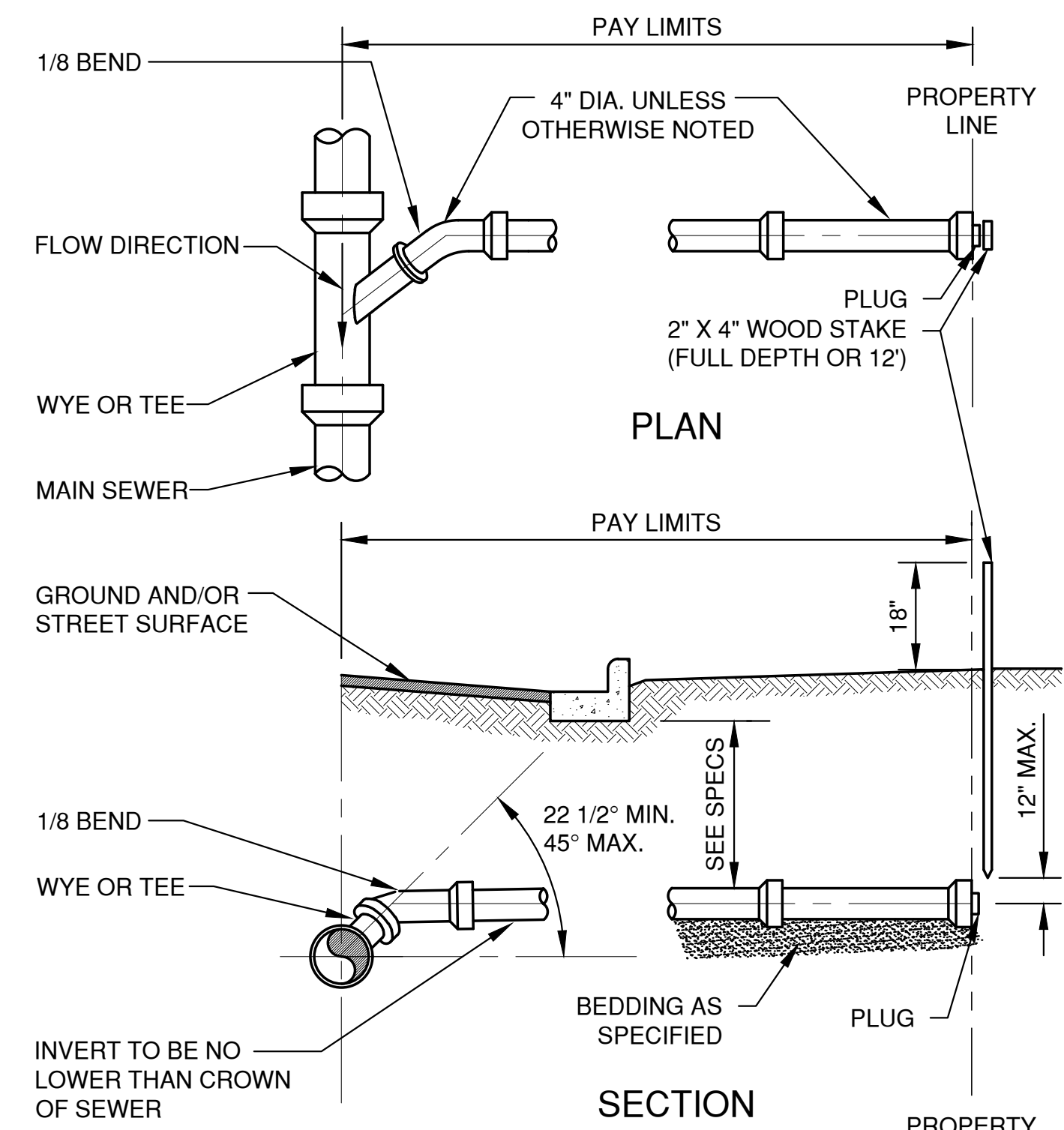


ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'B' STORM INLET

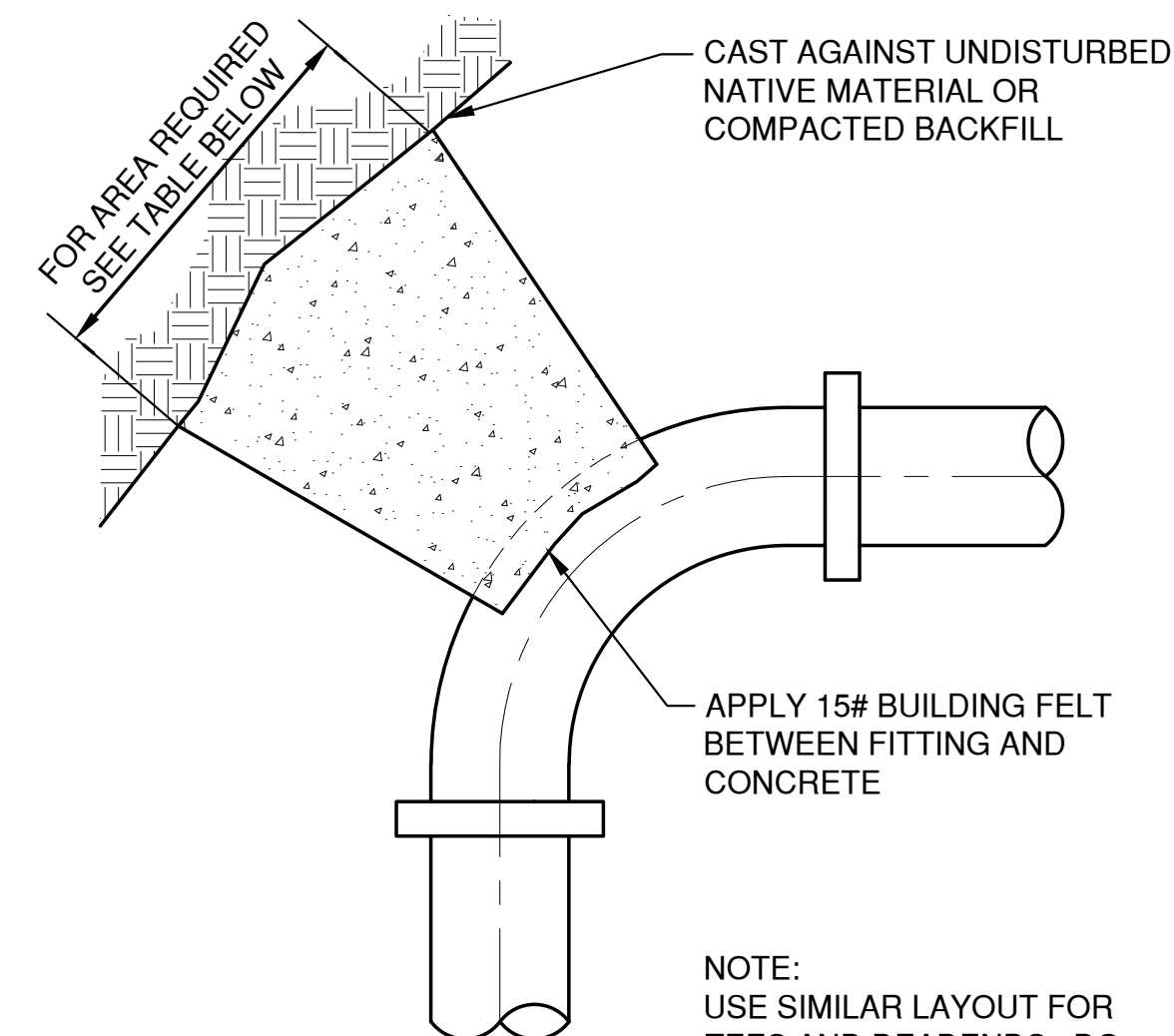


CLEAN-OUT DETAIL (TRAVELED AREAS)



- NOTES:
1. SADDLE CONNECTIONS NOT PERMITTED.
  2. BACKFILL TO CONFORM TO MAIN SEWER.
  3. MINIMUM SLOPE: 1/8 INCH PER FOOT.
  4. MAXIMUM SLOPE: 1/2 INCH PER FOOT.

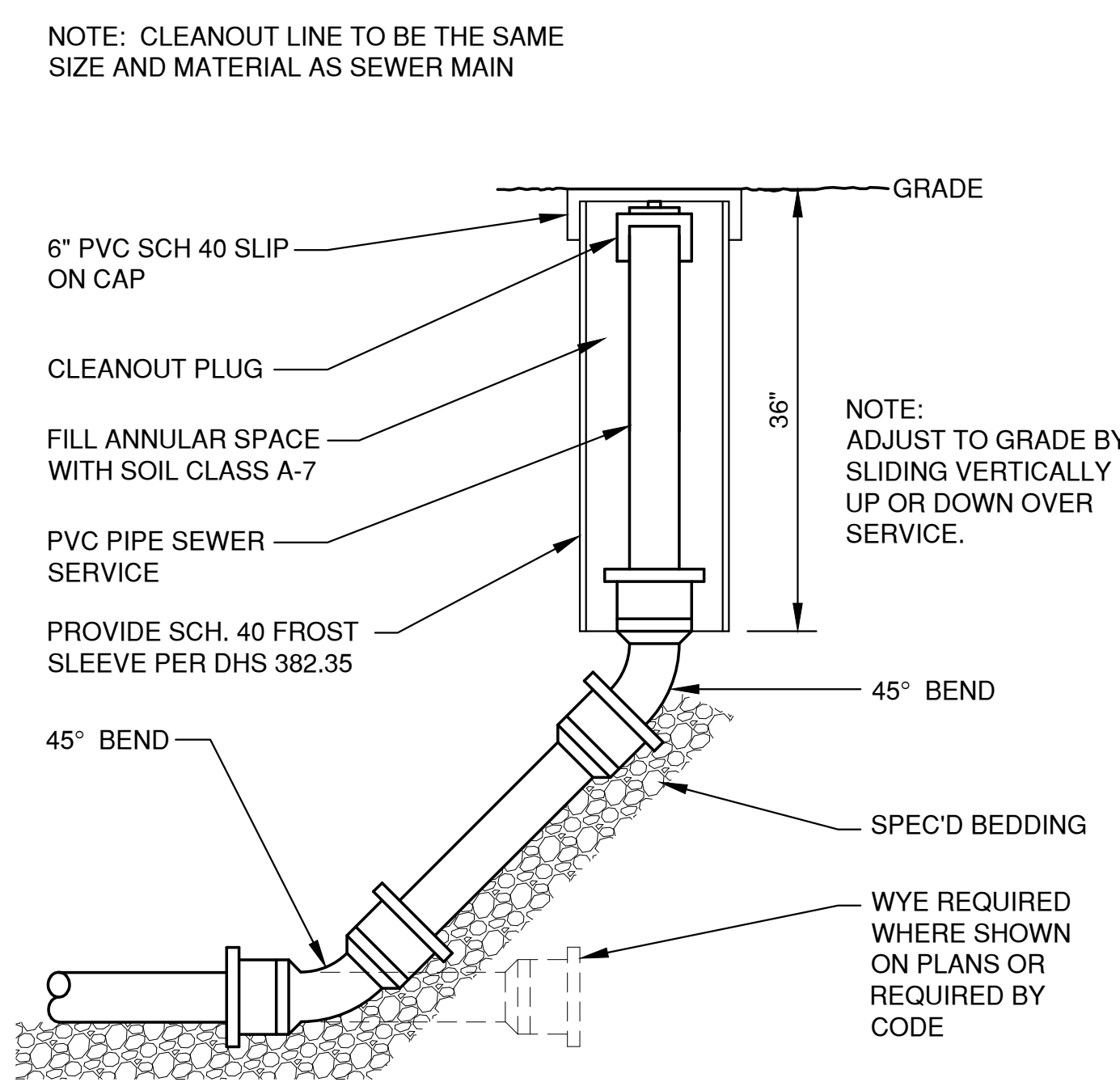
STANDARD SERVICE LATERAL



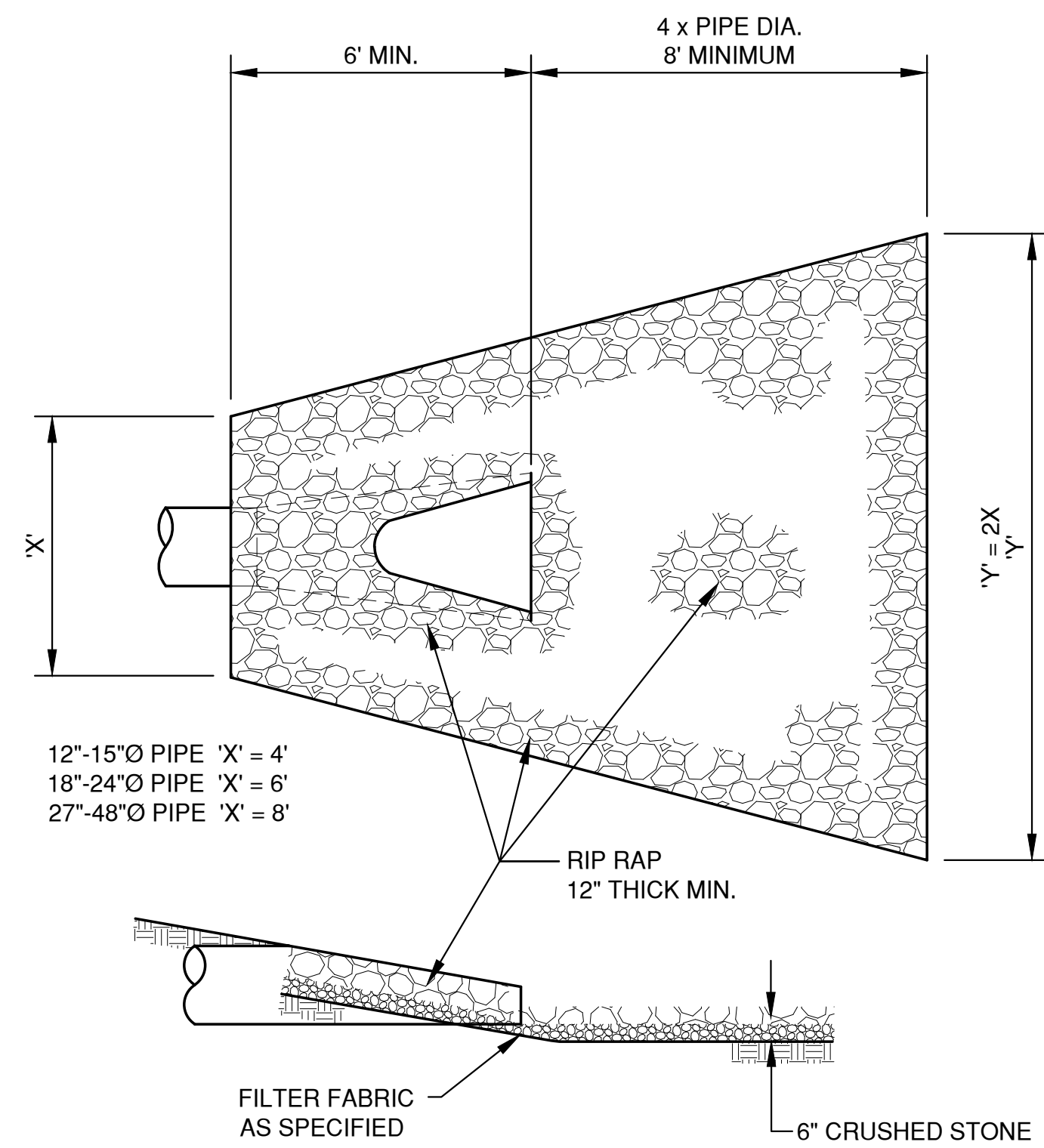
NOTE: USE SIMILAR LAYOUT FOR TEES AND DEADENDS. DO NOT ENCASE FITTINGS OR JOINTS.

| THRUST BLOCK AREA REQUIREMENTS, S.F. |         |         |         |          |          |  |
|--------------------------------------|---------|---------|---------|----------|----------|--|
| DEGREE OF BEND                       | 4" PIPE | 6" PIPE | 8" PIPE | 10" PIPE | 12" PIPE |  |
| 5° TO 22.5°                          | 1.0     | 1.0     | 2.0     | 3.0      | 4.0      |  |
| 23° TO 45°                           | 1.0     | 2.0     | 4.0     | 6.0      | 8.0      |  |
| 46° TO 90°                           | 2.0     | 4.0     | 7.0     | 11.0     | 15.0     |  |
| TEE OR DEAD END                      | 2.0     | 3.0     | 5.0     | 8.0      | 10.0     |  |

TYPICAL THRUST BLOCK



CLEAN-OUT DETAIL (NON-TRAVELED AREAS)



ENDWALL RIP RAP DETAIL

FILE: P:\A\2021\4239\4239111\DWG\DETAILS.dwg  
DATE: 01/2021  
LAYOUT: DETAILS (1)

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN    |
|-----|---------|---------|----------------------|-----|------|---------|----------|----------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | CHEKED   |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | DESIGNED |

OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

|         |         |
|---------|---------|
| DATE    | 01/2021 |
| FILE    | DETAILS |
| JOB NO. | 4239111 |

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1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
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**INLET PROTECTION NOTES:**

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

**MAINTENANCE NOTES:**

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

**INSTALLATION NOTES:  
TYPE "B" AND "C"**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

**TYPE "D"**

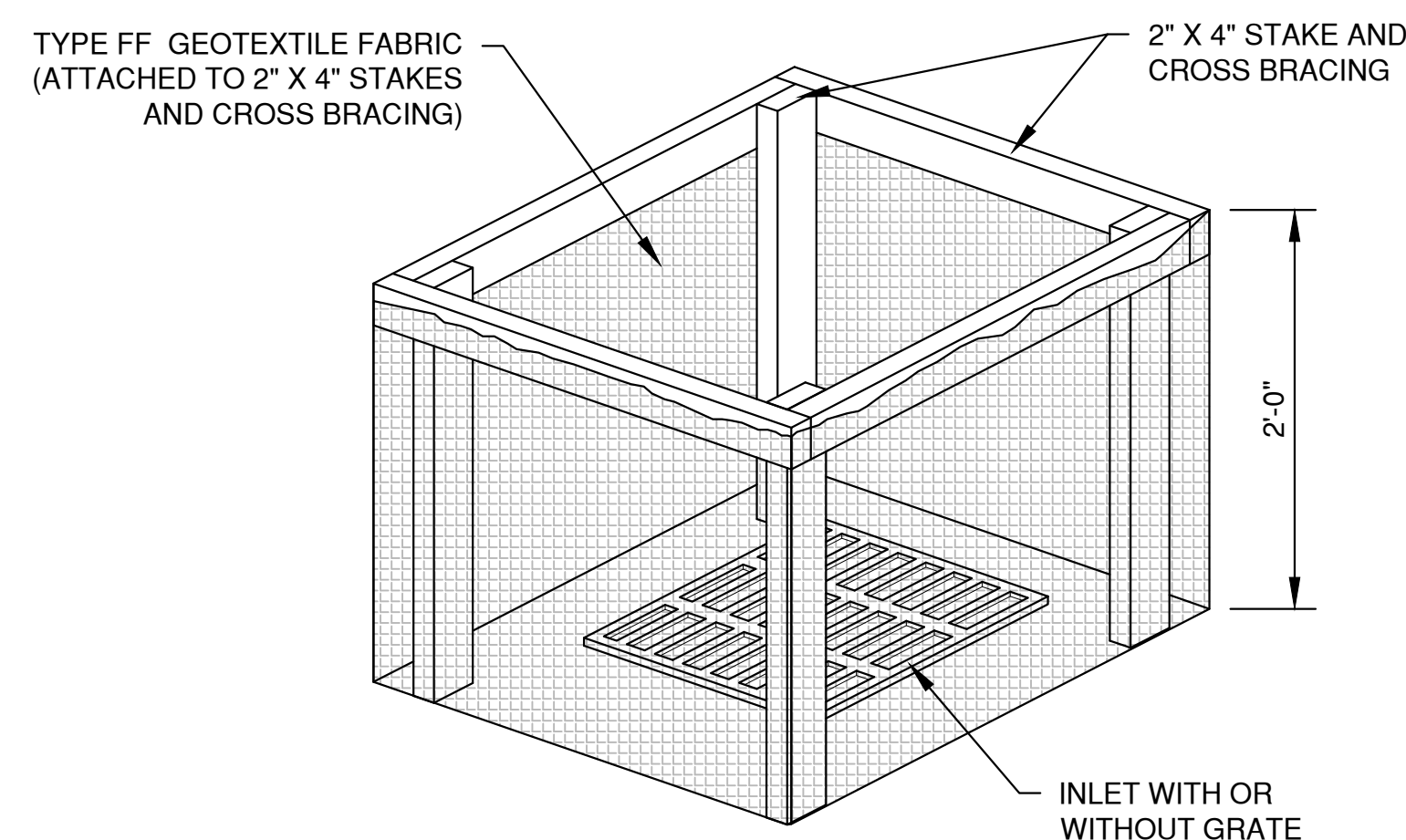
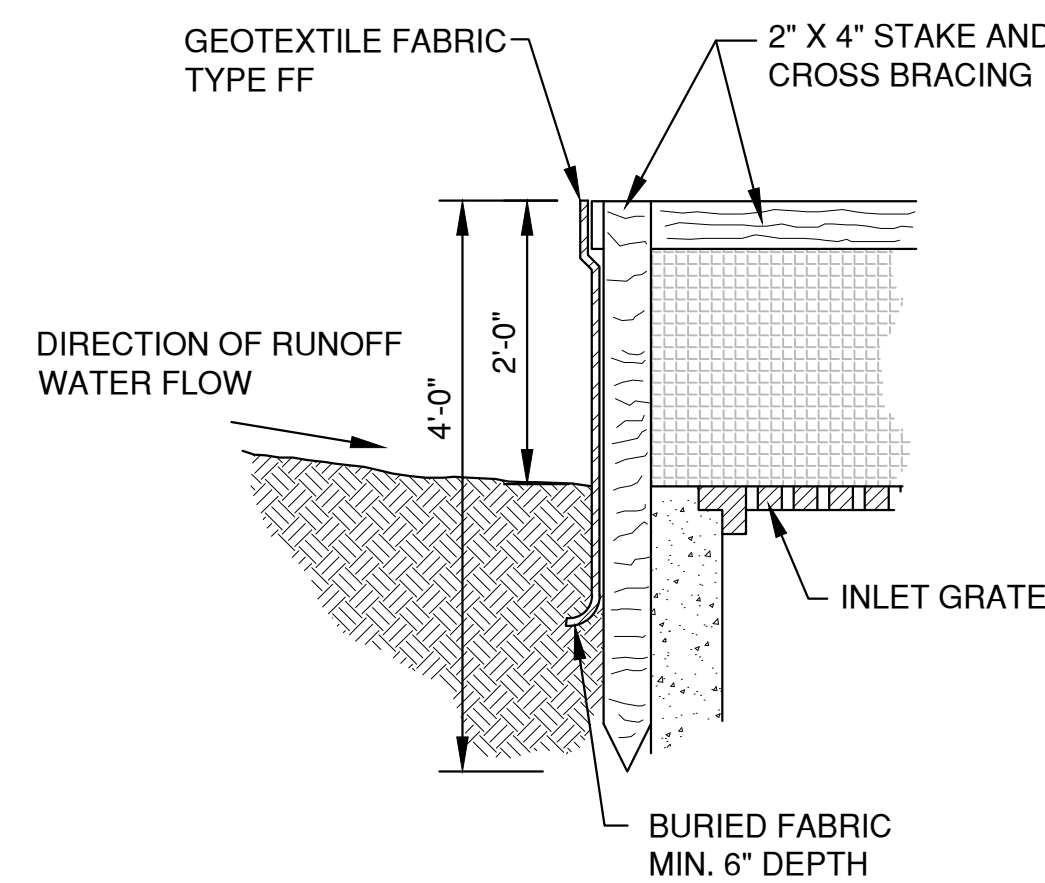
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

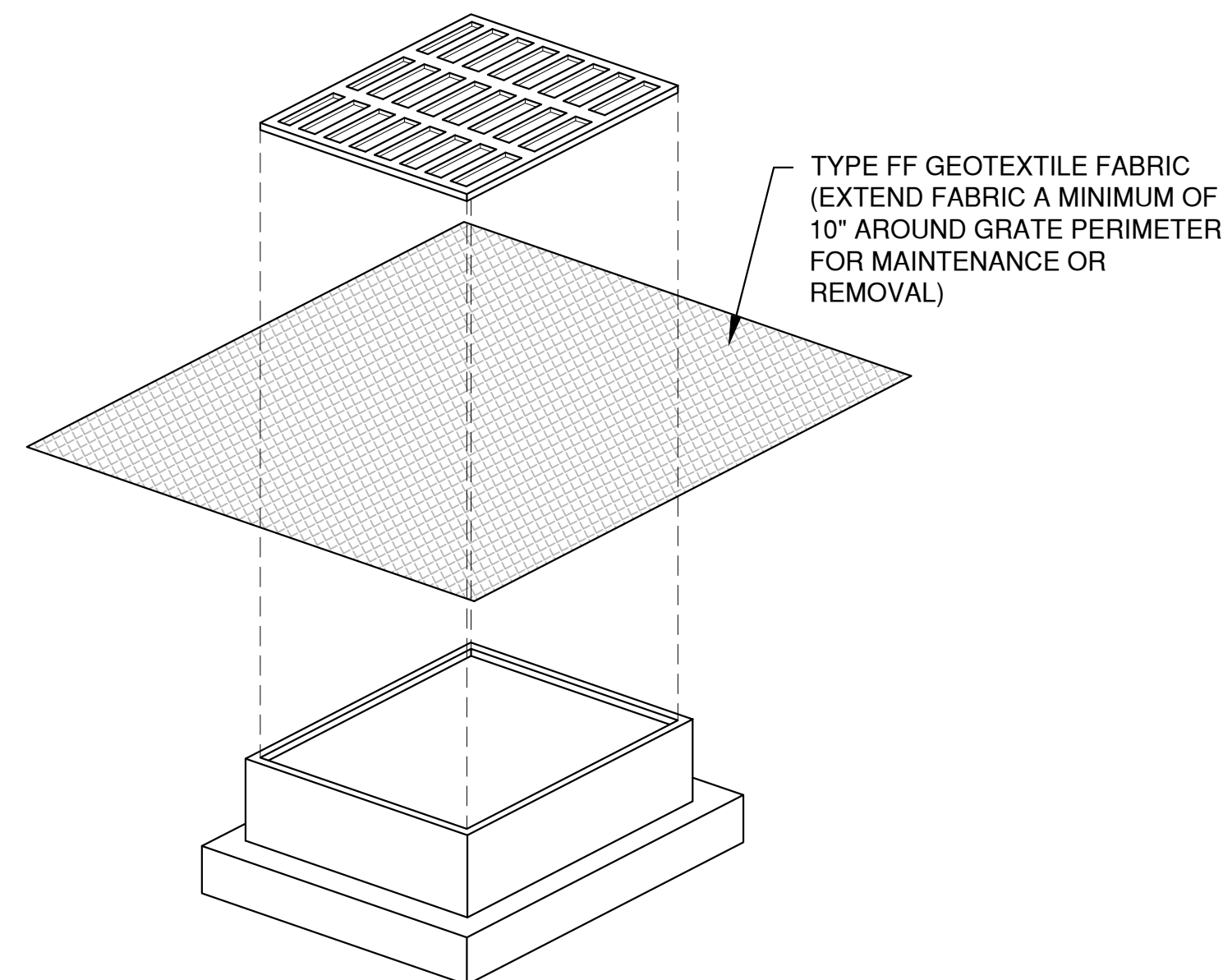
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE, THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

**NOTES:**

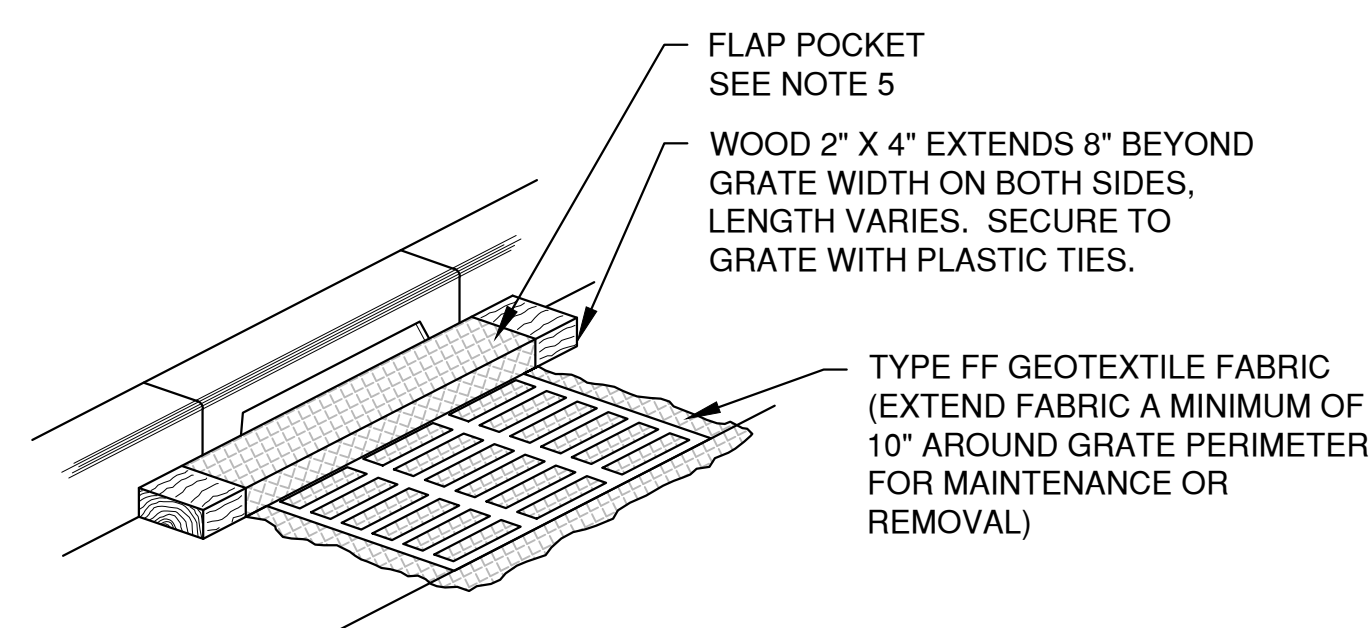
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



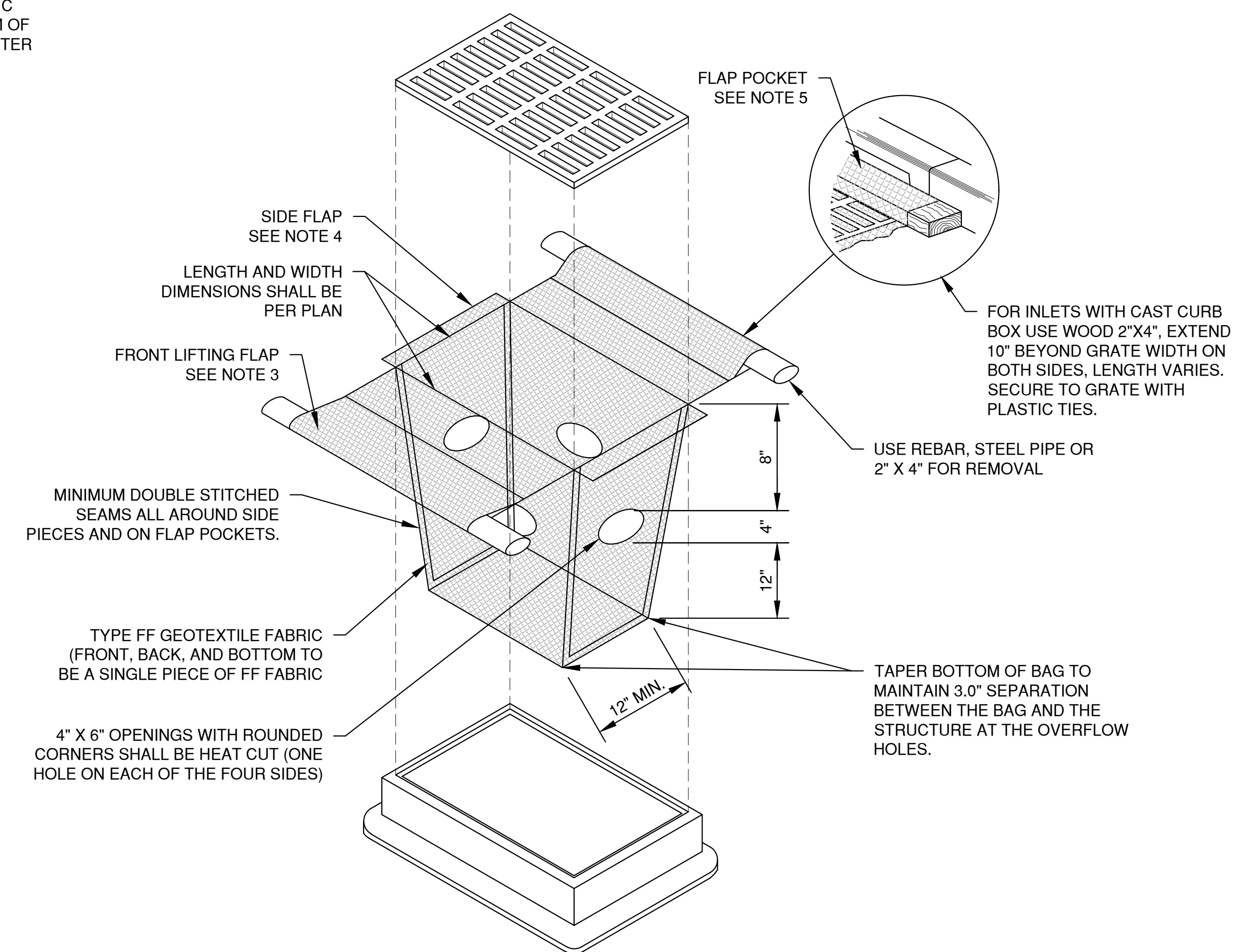
**INLET PROTECTION, TYPE A**



**INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)**



**INLET PROTECTION, TYPE C  
(WITH CURB BOX)**



**INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)**

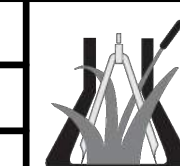
LAYOUT: I. INLET PROTECTION  
DATE: 03/20/20  
FILE: EROSION CONTROL  
JOB NO. 4292111

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN    |
|-----|---------|---------|----------------------|-----|------|---------|----------|----------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP      |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | CHECKED  |
|     |         |         |                      |     |      |         |          | JGS      |
|     |         |         |                      |     |      |         |          | DESIGNED |
|     |         |         |                      |     |      |         |          | BDR      |

OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
INLET PROTECTION TYPES A, B, C AND D  
AND MISCELLANEOUS DETAILS

|         |                 |
|---------|-----------------|
| DATE    | 03/20/20        |
| FILE    | EROSION CONTROL |
| JOB NO. | 4292111         |



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NOTES:

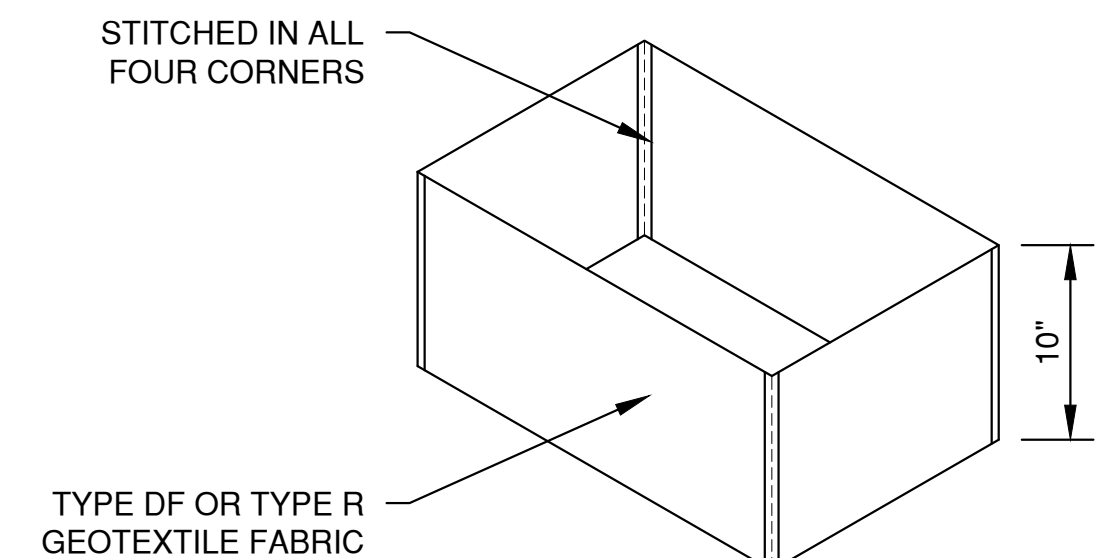
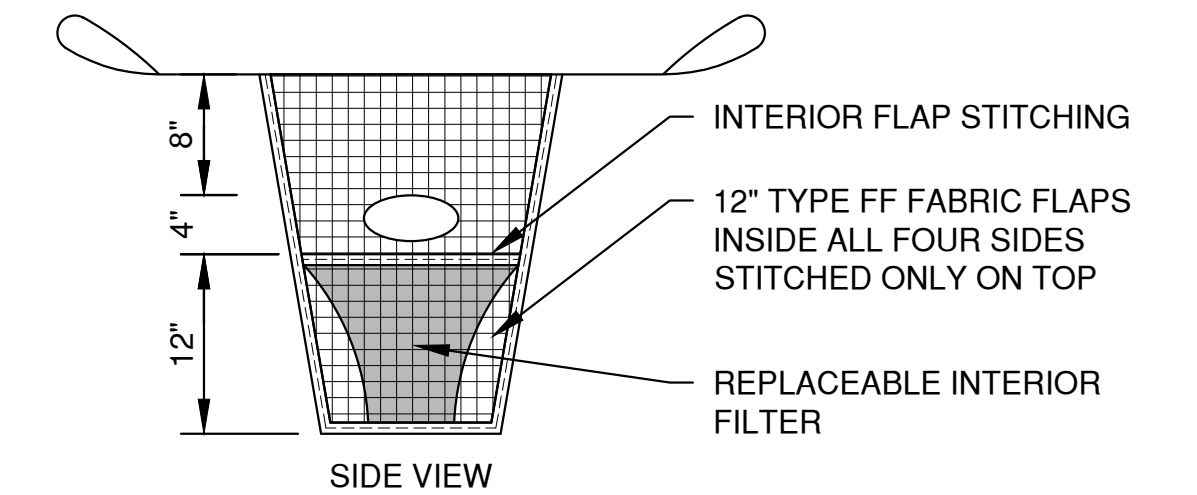
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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MAINTENANCE NOTES:

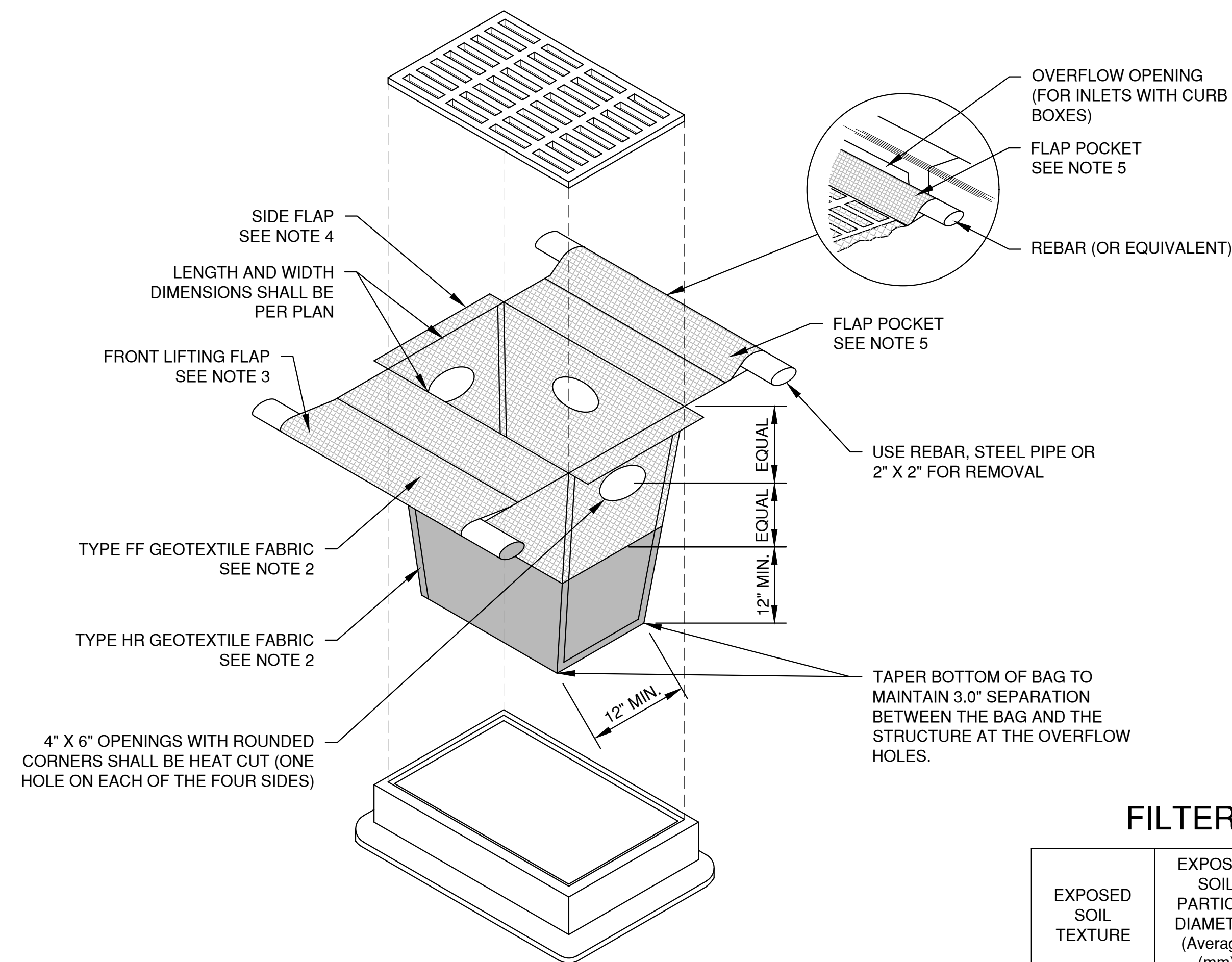
WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

NOTES:

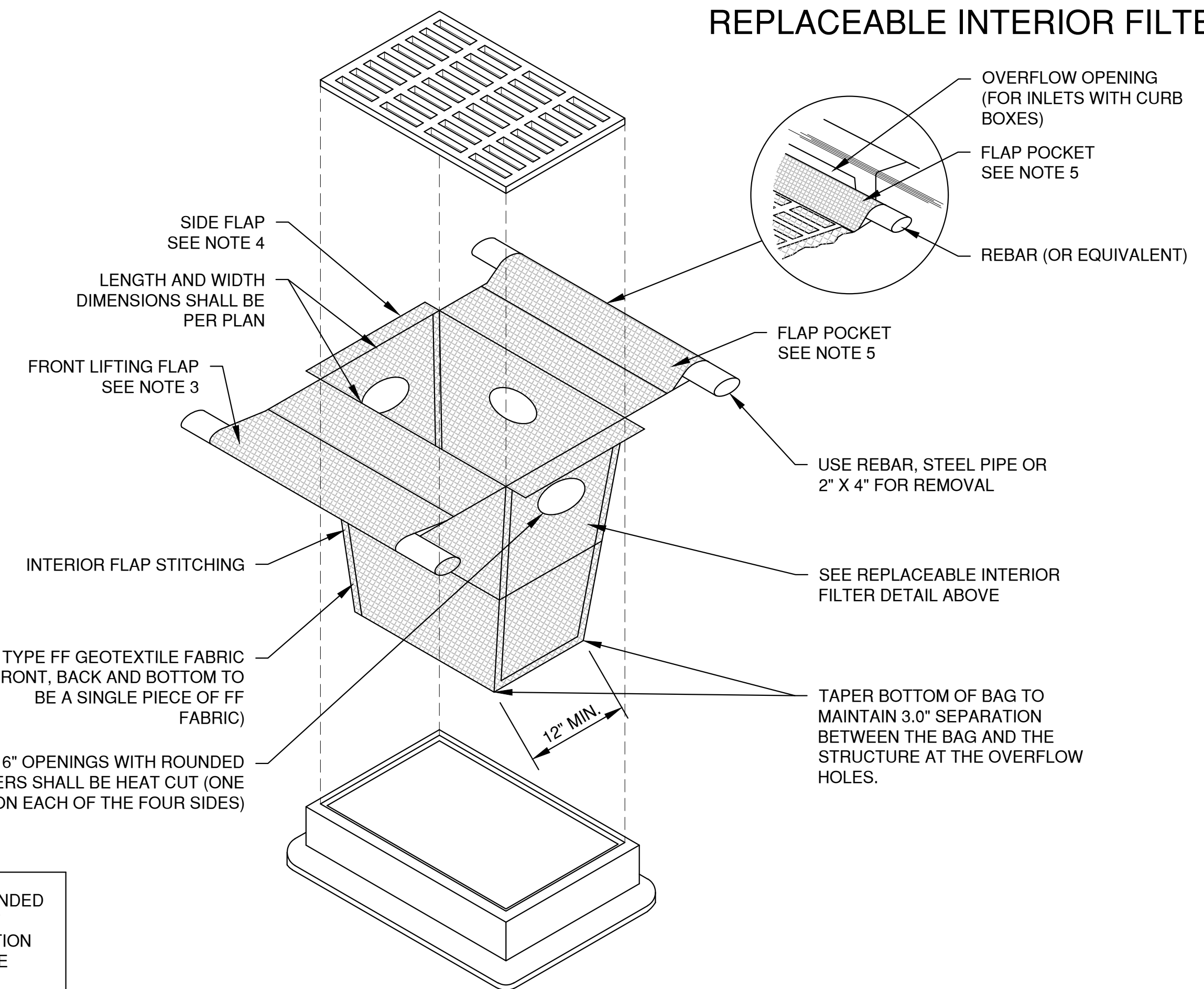
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
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REPLACEABLE INTERIOR FILTER



**INLET PROTECTION, TYPE D-HR**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



**INLET PROTECTION, TYPE D-M**  
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

**FILTER FABRIC TYPE**

| EXPOSED SOIL TEXTURE | EXPOSED SOIL PARTICLE DIAMETER (Average) (mm) | FILTER FABRIC TYPE* | RECOMMENDED INLET PROTECTION DEVICE TYPE |
|----------------------|---|---------------------|--|
| COARSE (SAND)        | ≥ 0.0625                                      | FF                  | D, D-M                                   |
| MEDIUM (SILT LOAM)   | 0.0624 - 0.005                                | DF                  | D, D-M                                   |
| FINE (CLAY)          | ≤ 0.004                                       | R                   | D-M                                      |
|                      |   | HR                  | D-HR                                     |

\* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

\*\* FOLLOW DESIGN CRITERIA OF WDNR TECHNICAL STANDARD 1060

LAWVILLE: 2. INLET PROTECTION. FILE: P:\A\2020\4239\4239111\DWG\EROSION\_CONTROL.dwg. PLOT DATE: Feb 11, 2021 10:48:00am

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN    |
|-----|---------|---------|----------------------|-----|------|---------|----------|----------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP      |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | CHKD     |
|     |         |         |                      |     |      |         |          | JCS      |
|     |         |         |                      |     |      |         |          | DESIGNED |
|     |         |         |                      |     |      |         |          | BDR      |

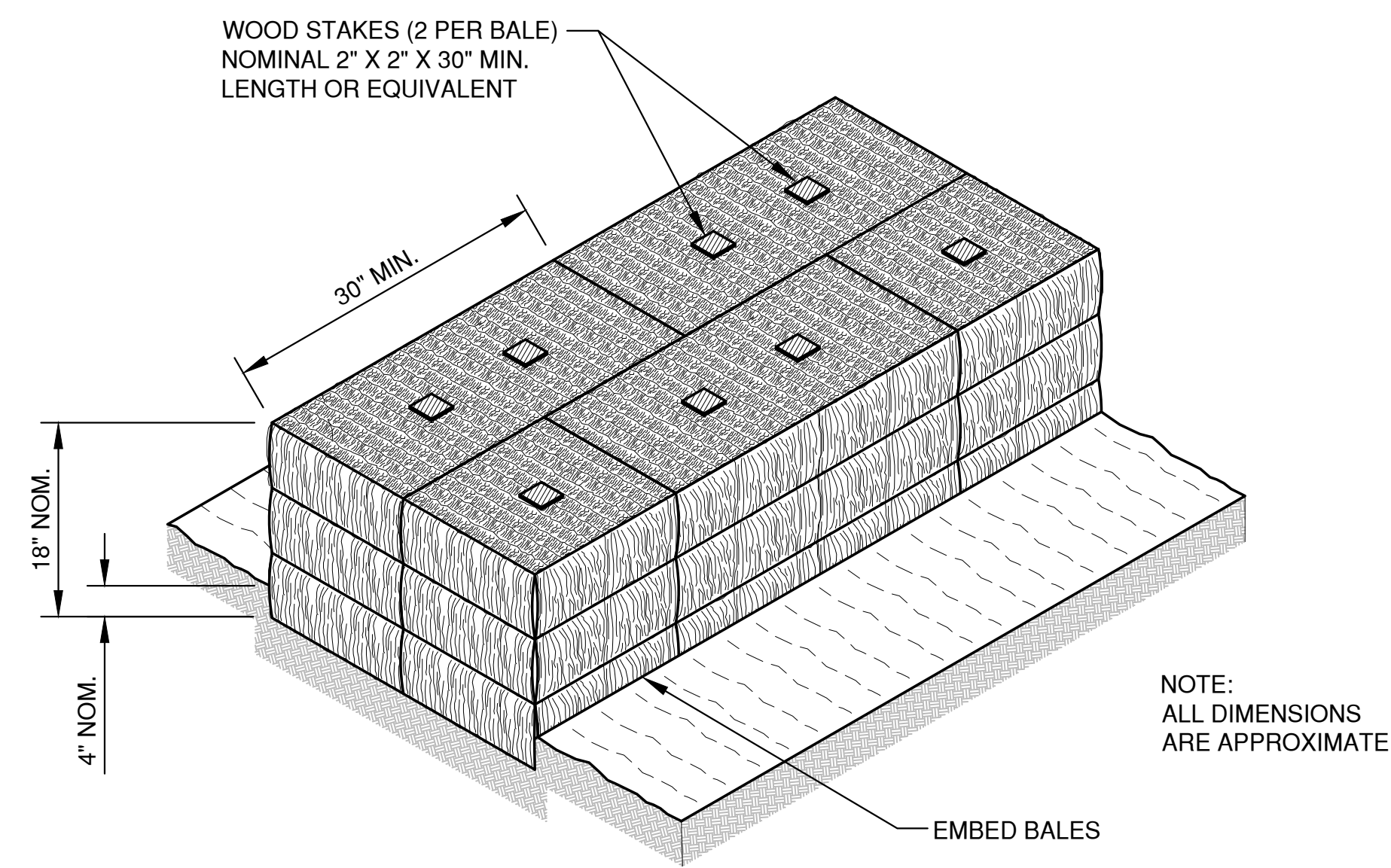
OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
INLET PROTECTION  
TYPE D-HR AND TYPE D-M

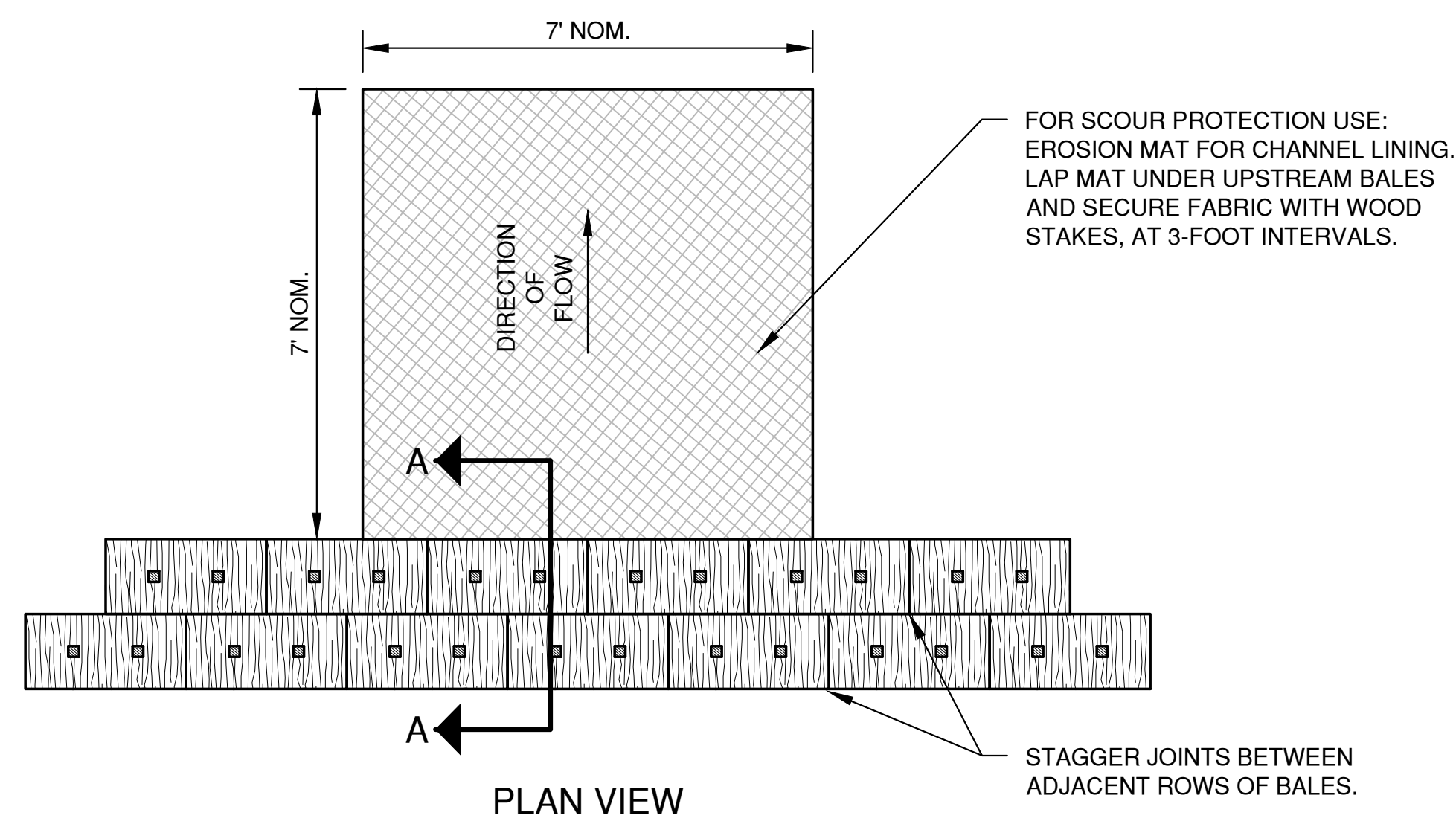
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|---------|-----------------|
| DATE    | 03/20/20        |
| FILE    | EROSION CONTROL |
| JOB NO. | 4239111         |



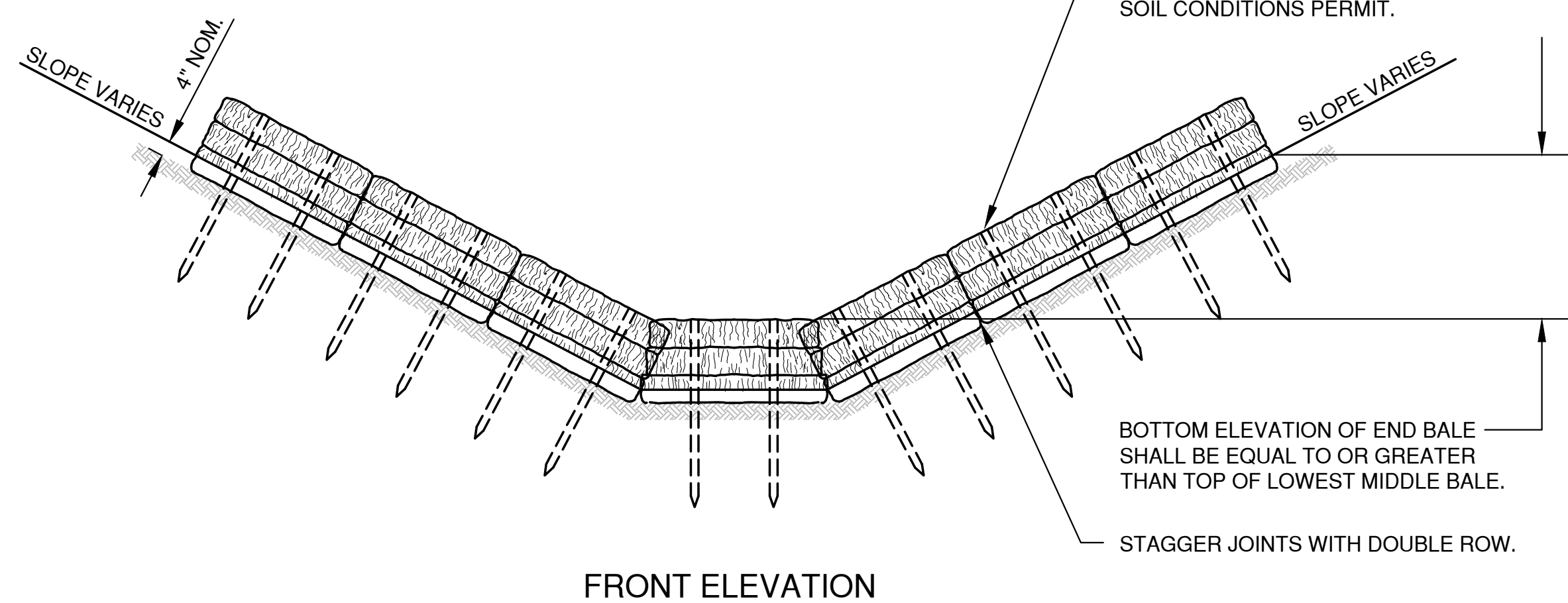
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SECTION A-A

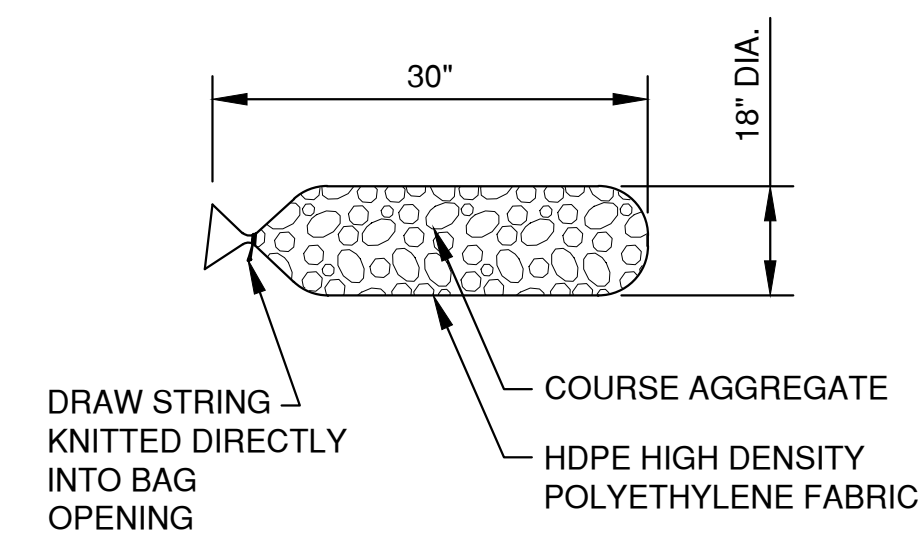


PLAN VIEW



FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES  
TYPE A



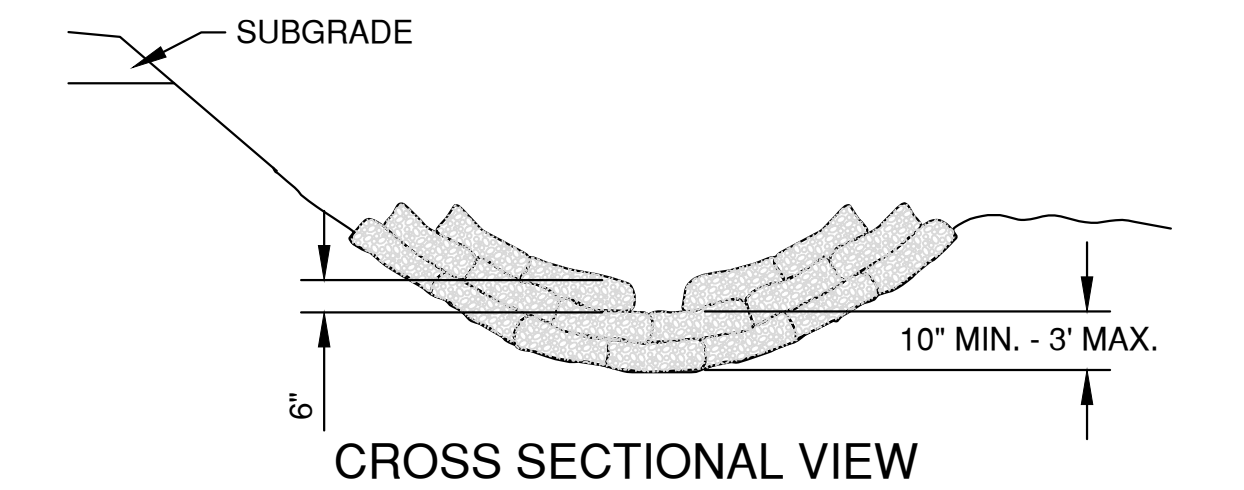
FILTER BAG DETAIL

NOTES:

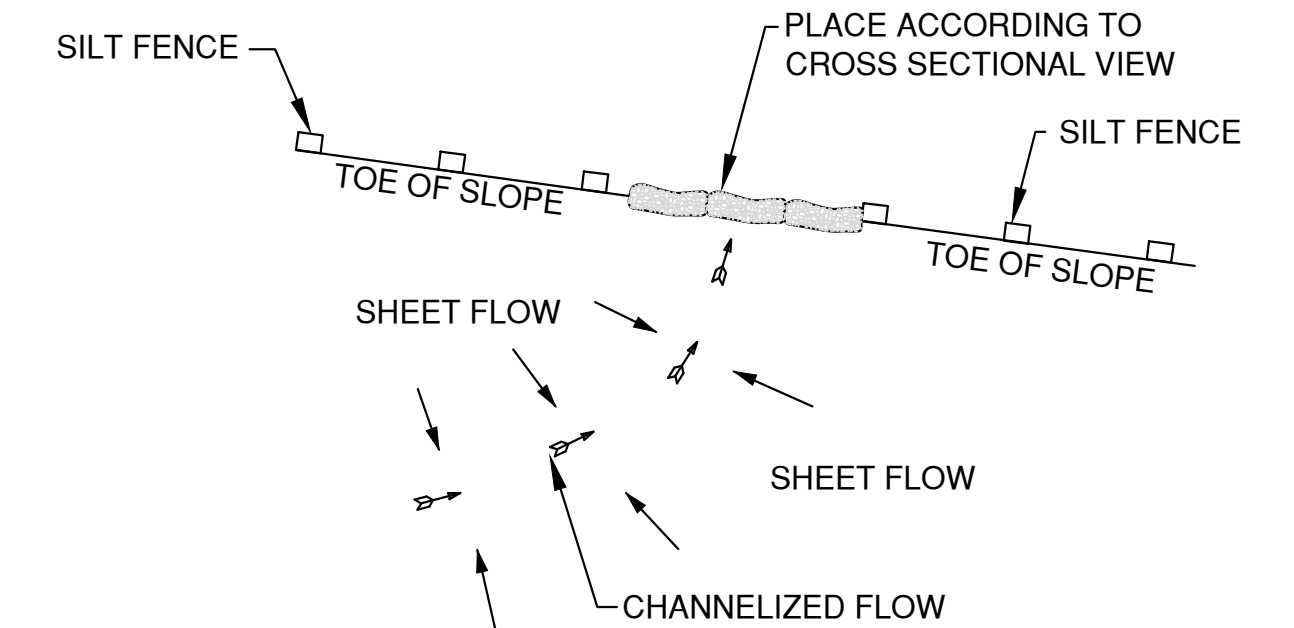
- 18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:  
 HDPE HIGH DENSITY POLYETHYLENE  
 HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.  
 80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"  
 ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.
- USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS

| SIEVE SIZE          | SIZE NO. | AASHTO No. 67 (1) |
|---------------------|----------|-------------------|
| 2 INCH (50 mm)      | -        | -                 |
| 1 1/2 INCH (37.5mm) | -        | -                 |
| 1 INCH (25.0 mm)    | 100      | 100               |
| 3/4 INCH (19.0mm)   | 90-100   | 90-100            |
| 3/8 INCH (9.5mm)    | 20-55    | 20-55             |
| No. 4 (4.75mm)      | 0-10     | 0-10              |
| No. 8 (2.36mm)      | 0-5      | 0-5               |

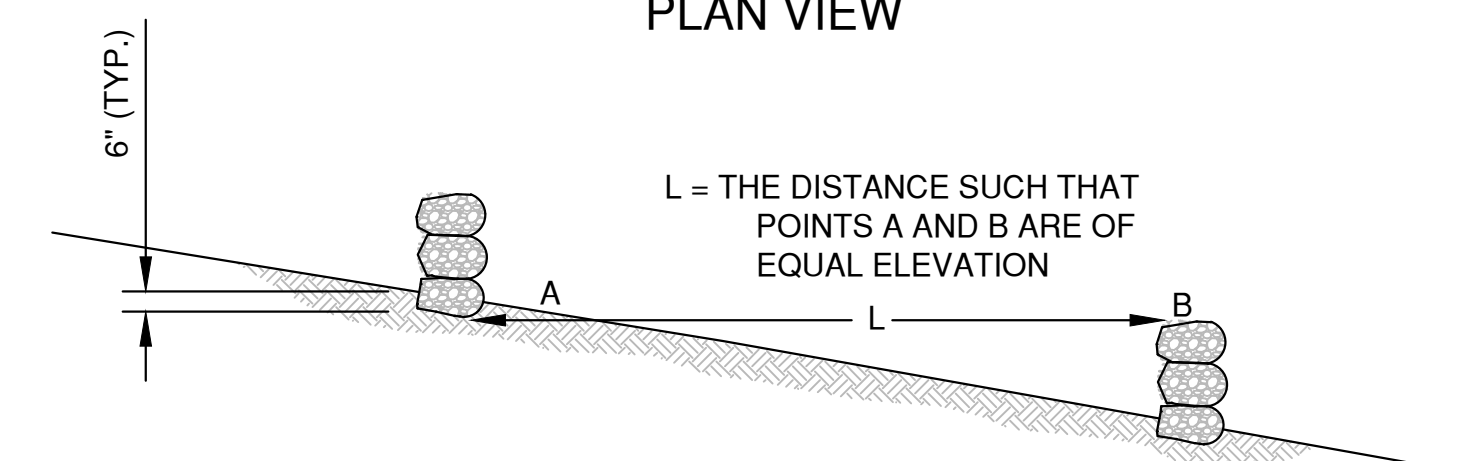
(1) SIZE No. ACCORDING TO AASHTO M 43



CROSS SECTIONAL VIEW



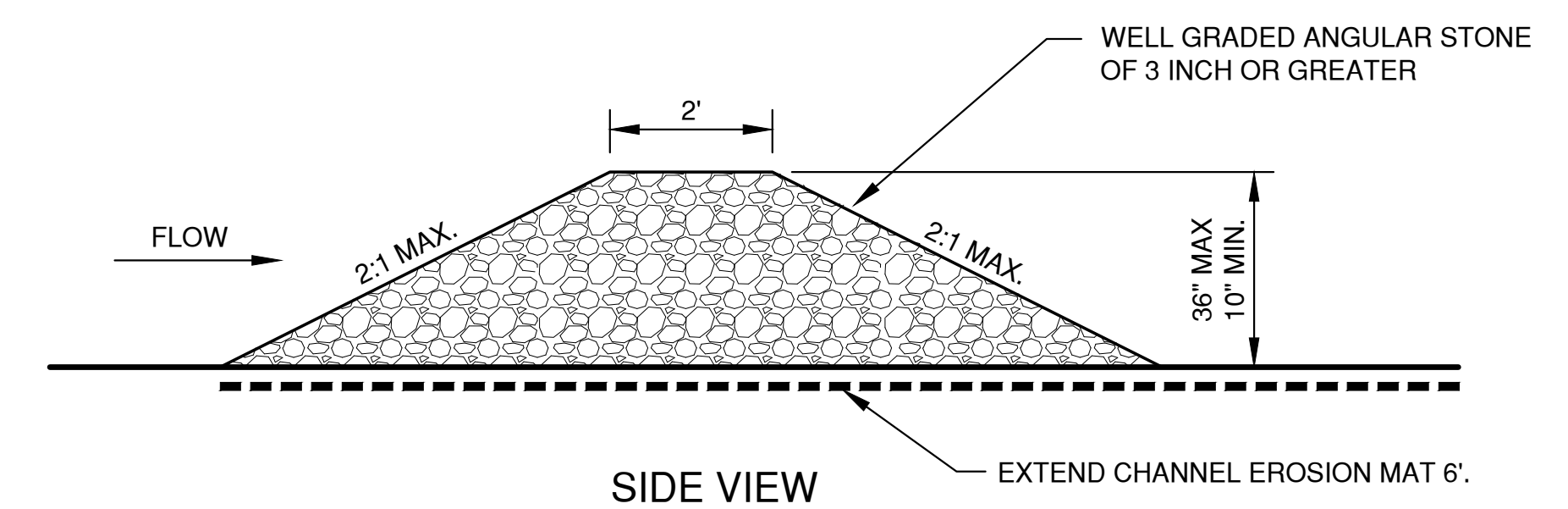
PLAN VIEW



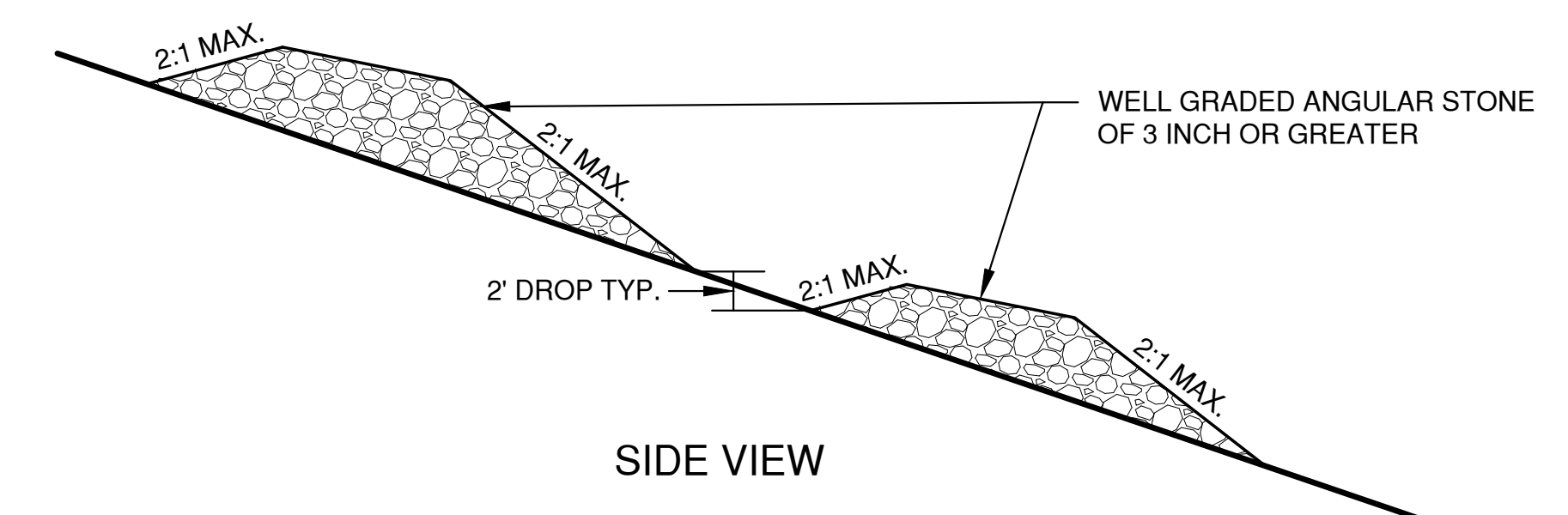
SIDE VIEW

DITCH CHECK DETAIL

ROCK FILLED EROSION CONTROL BAGS  
TYPE B



SIDE VIEW



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE  
TYPE C

DITCH CHECK GENERAL NOTES:

- DITCH CHECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1062.
- AT A MINIMUM, INSTALL ONE DITCH CHECK FOR EVERY 2 FEET OF VERTICAL DROP.
- DITCH CHECKS SHALL BE PLACED SUCH THAT THE RESULTING PONDING WILL NOT CAUSE AN INCONVENIENCE OR DAMAGE TO ADJACENT AREAS.

File: P:\A\2020\A2020\A2020\11\06\03\EROSION\_CONTROL.dwg  
 Plot Date: Feb 11, 2021 8:48:40am  
 LAYOUT: 3. DITCH CHECKS

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|---------|---------|----------------------|-----|------|---------|----------|-------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP   |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | JGS   |
|     |         |         |                      |     |      |         |          | BDR   |

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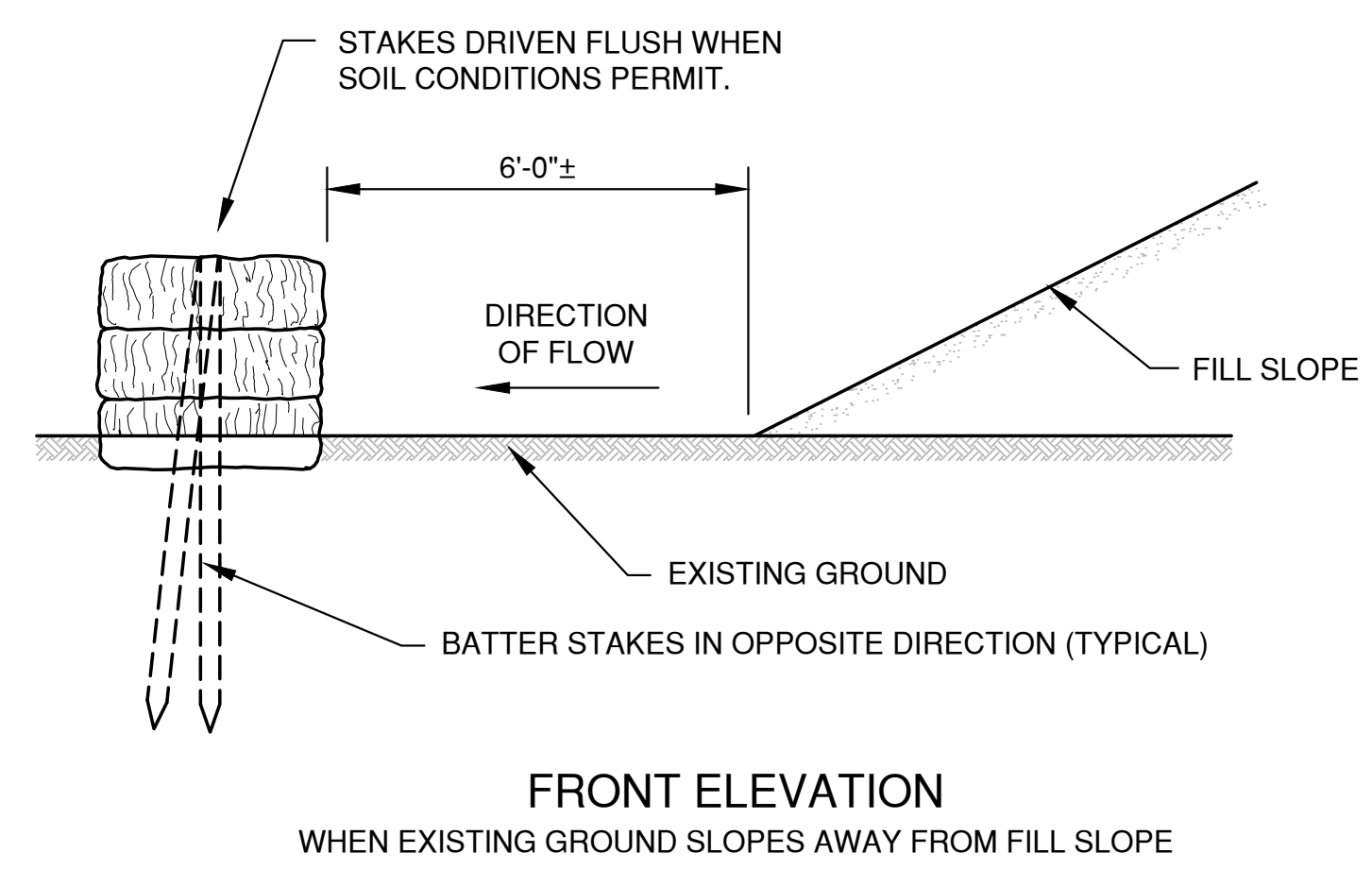
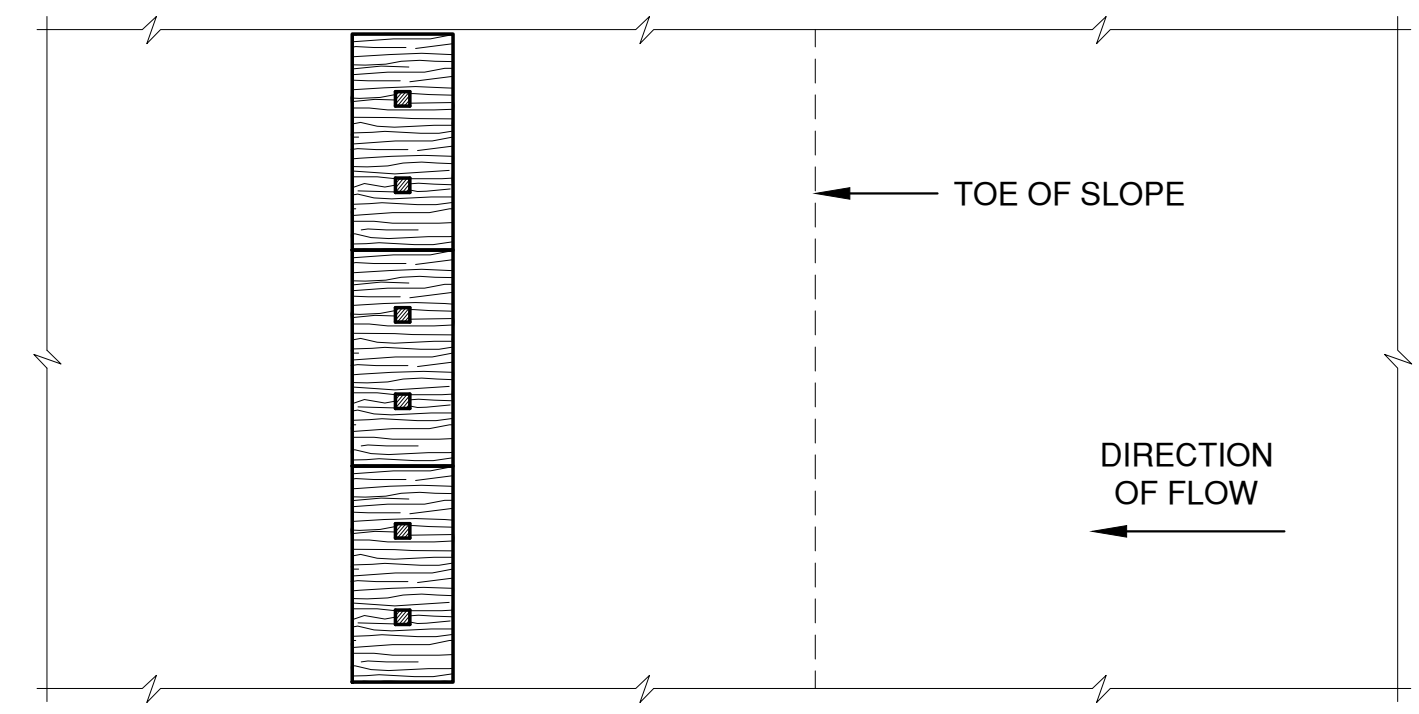
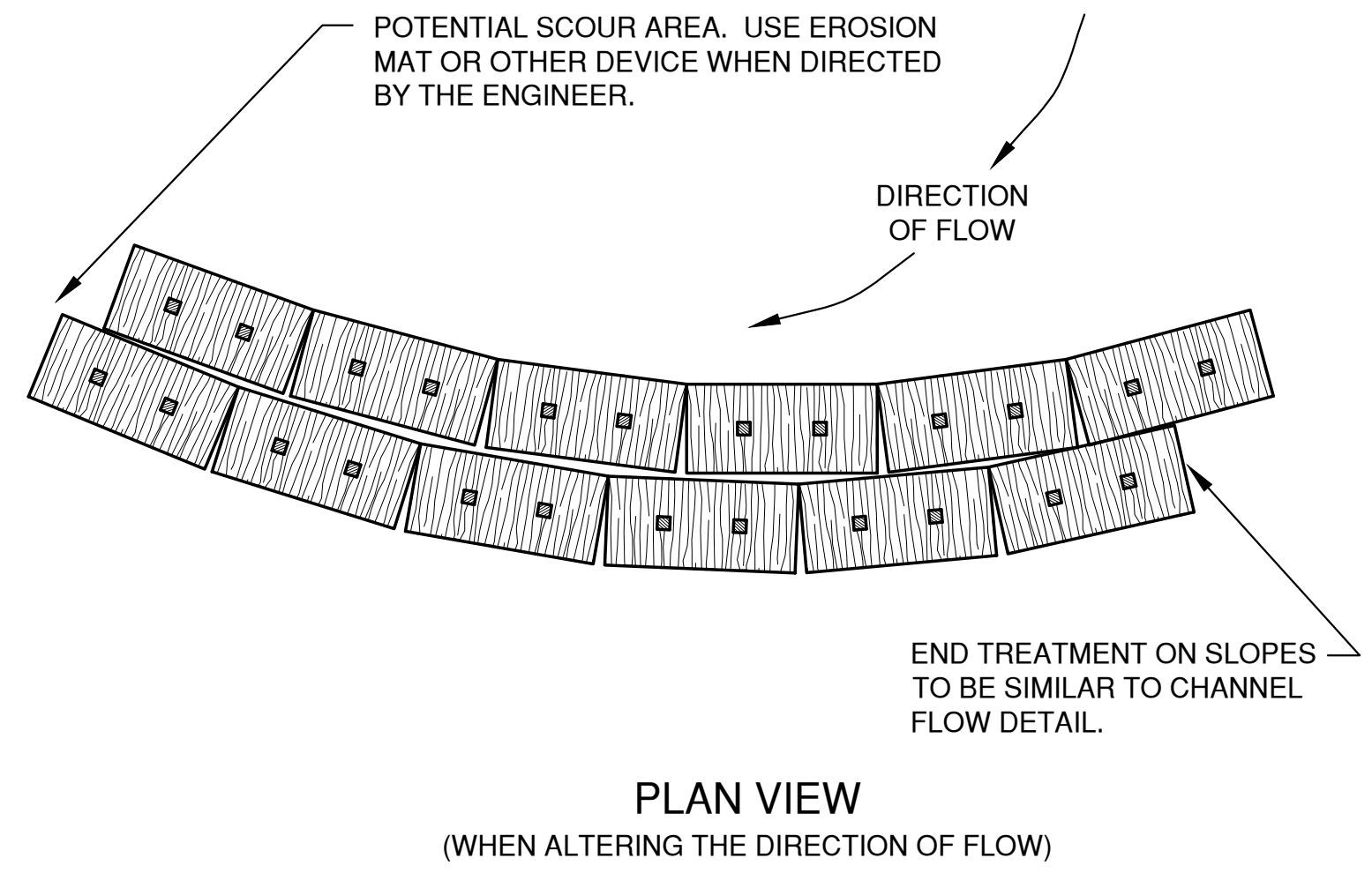
EROSION CONTROL  
DITCH CHECK DETAILS

DATE  
03/2020  
FILE  
EROSION CONTROL  
JOB NO.  
4292111

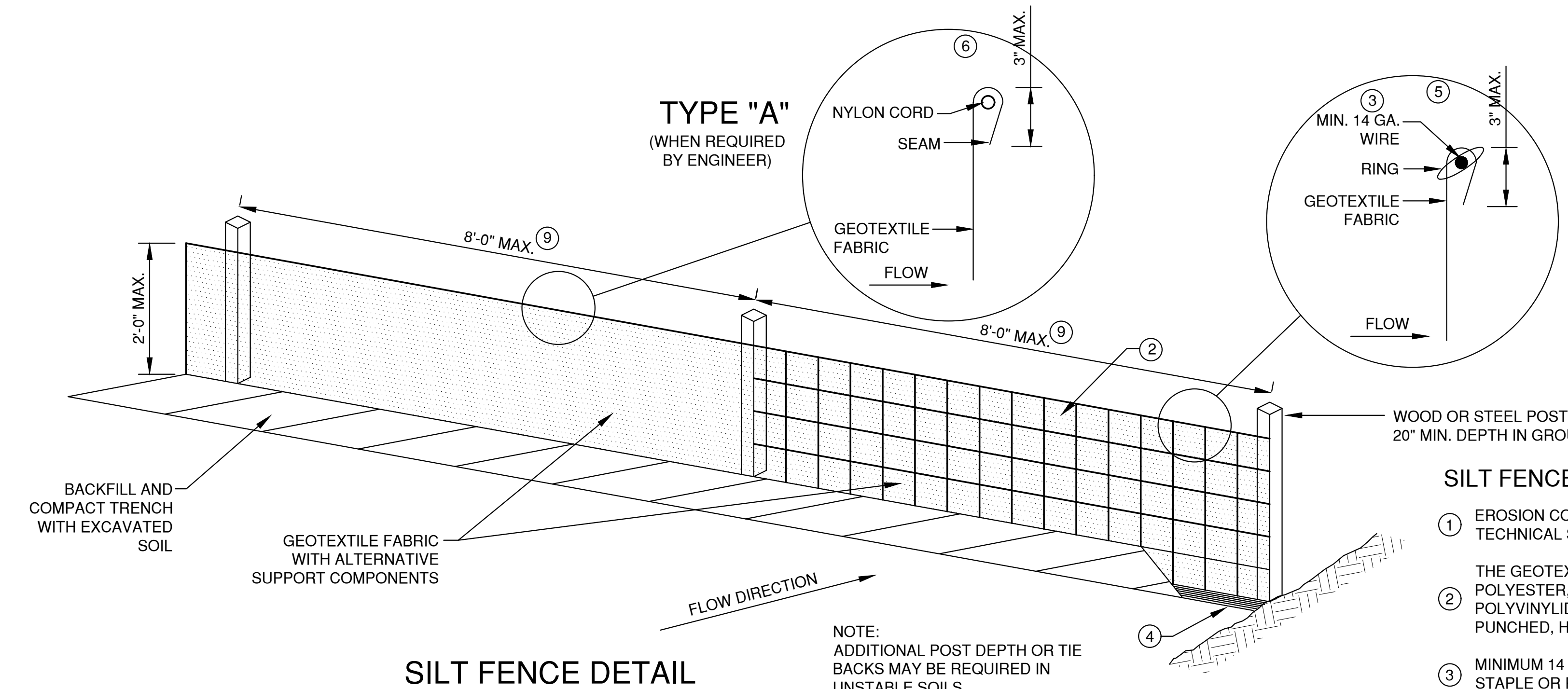


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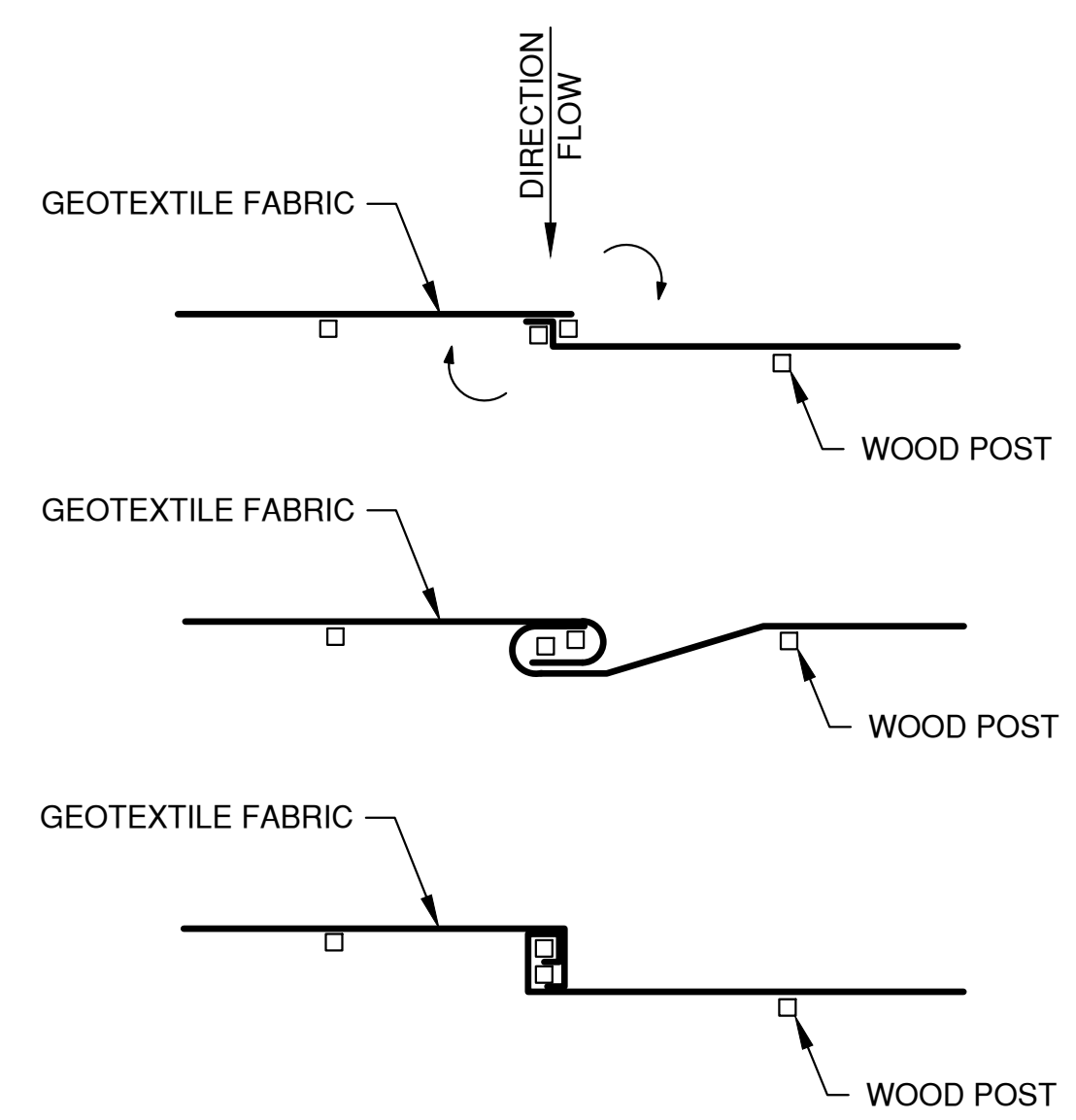
SHEET NO.  
**10**



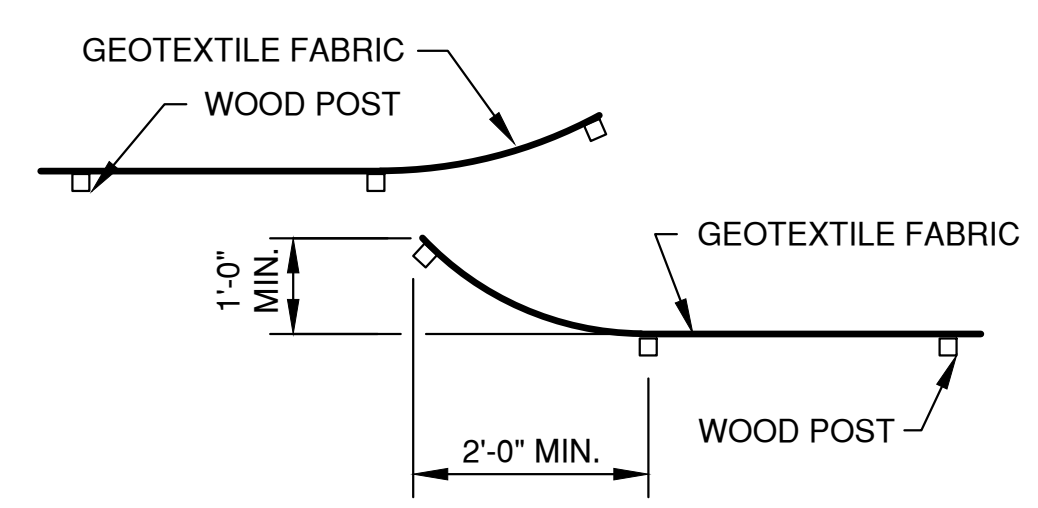
**EROSION BALES FOR SHEET FLOW**



**SILT FENCE DETAIL**

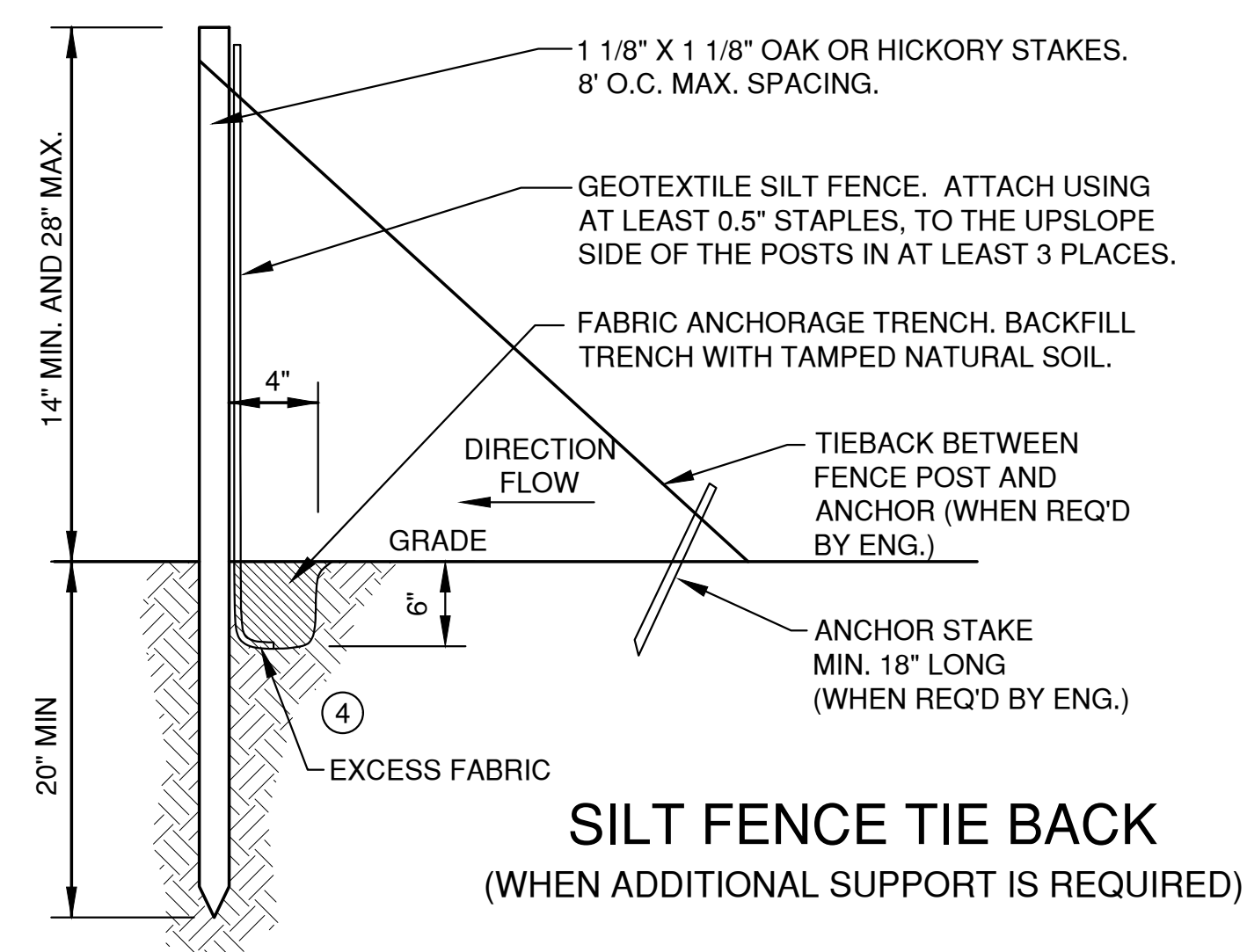


**TWIST METHOD (8)**



**HOOK METHOD (8)**

**JOINING TWO LENGTHS OF SILT FENCE**



**SILT FENCE TIE BACK (WHEN ADDITIONAL SUPPORT IS REQUIRED)**

**SILT FENCE NOTES:**

- 1 EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- 2 THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- 3 MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- 4 EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL
- 5 WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- 6 GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- 7 STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- 8 CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- 9 THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

**EROSION CONTROL SHEET FLOW NOTES:**

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

LAW001E 4 SHEET FLOW 4-13-2020 11:06 AM EROSION CONTROL-44

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION |
|-----|---------|---------|----------------------|-----|------|---------|----------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          |

OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

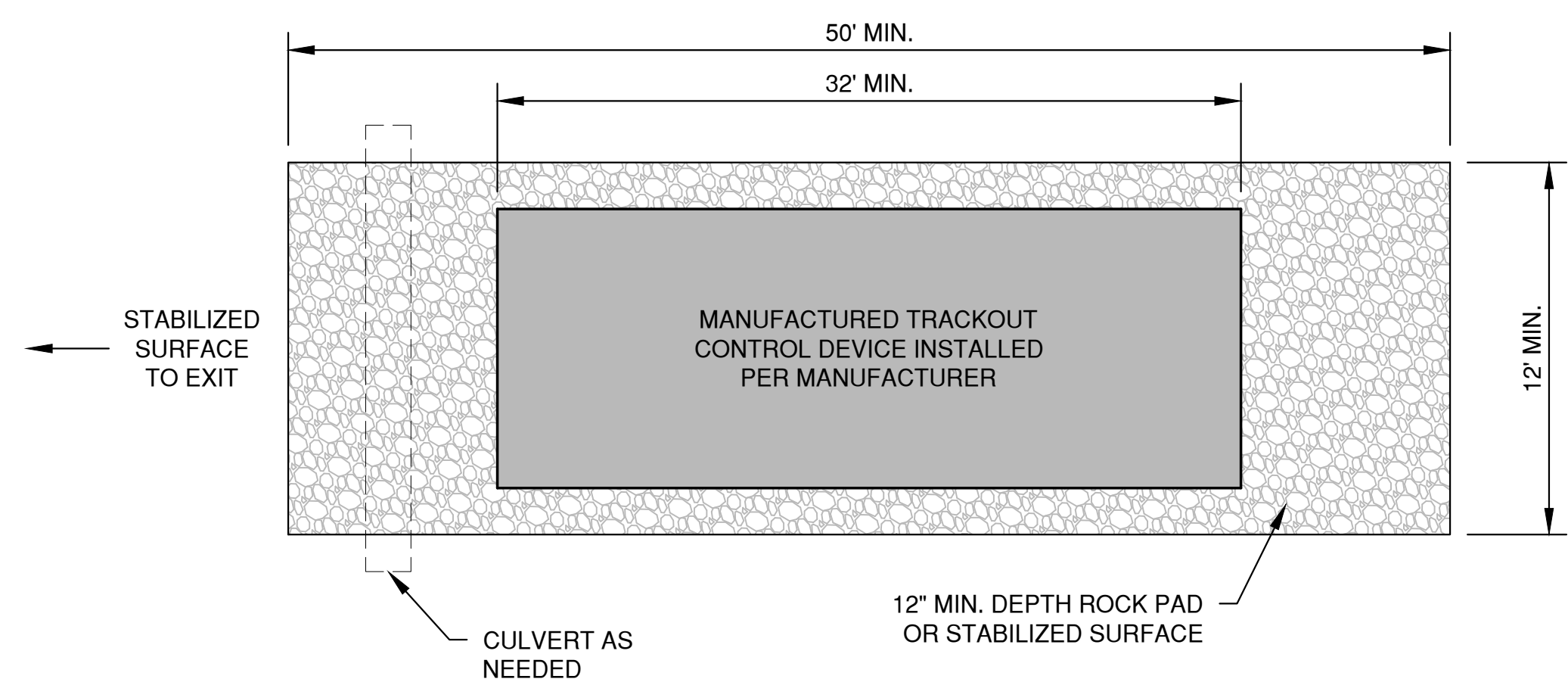
EROSION CONTROL  
SHEET FLOW DETAILS

DATE  
03/20/20  
FILE  
EROSION CONTROL  
JOB NO.  
4292111

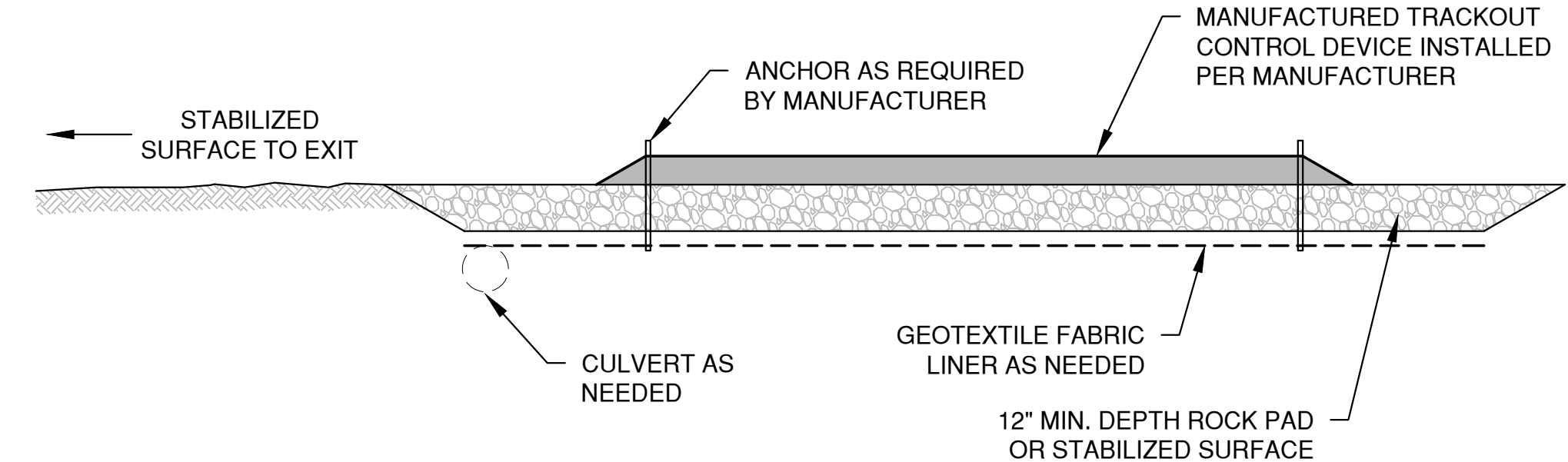
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SHEET NO.  
**11**

\* TRACKOUT CONTROL TO BE PROVIDED PER DETAILS BELOW AND IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1057



PLAN VIEW (NTS)

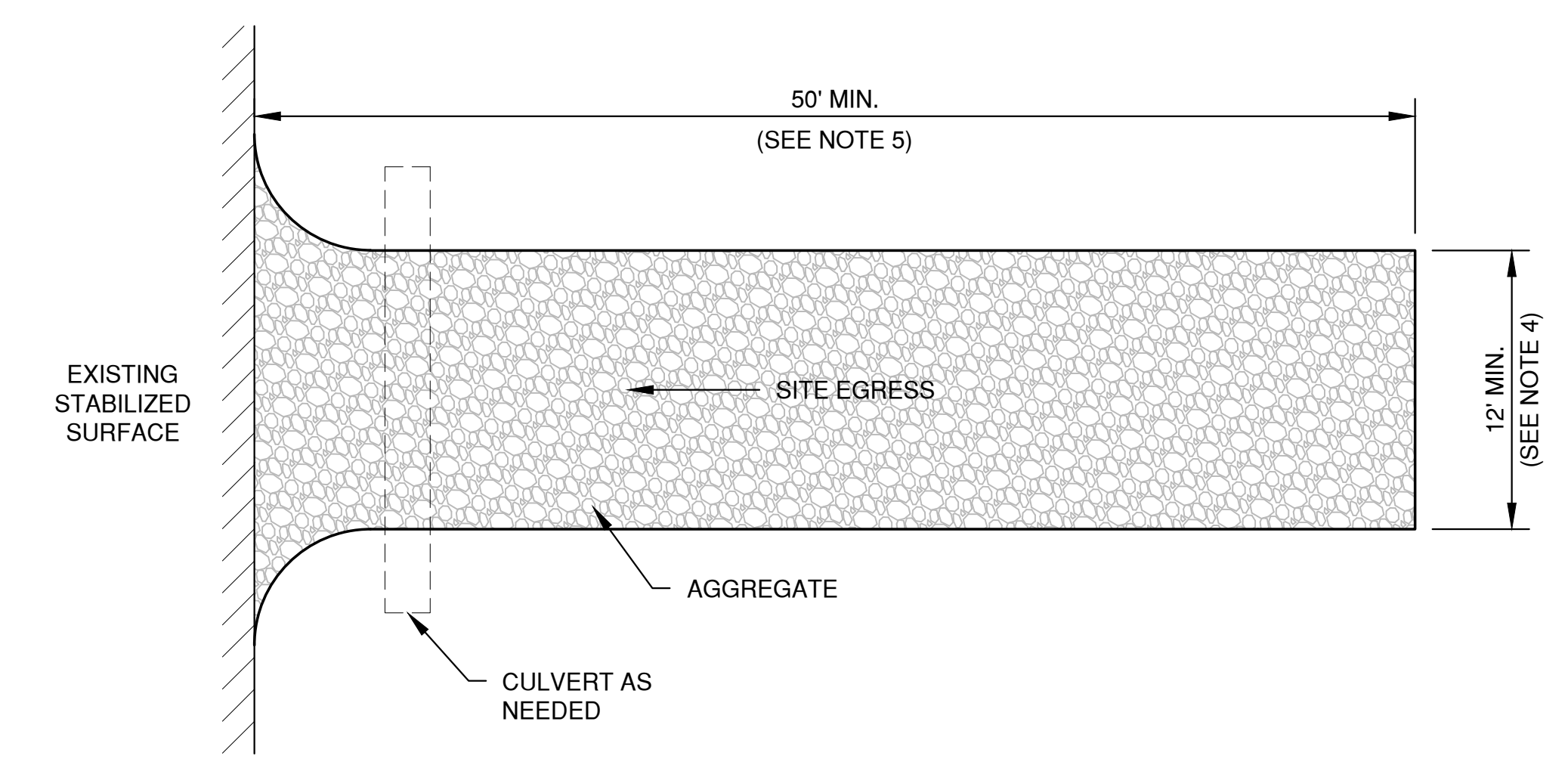


SECTION VIEW

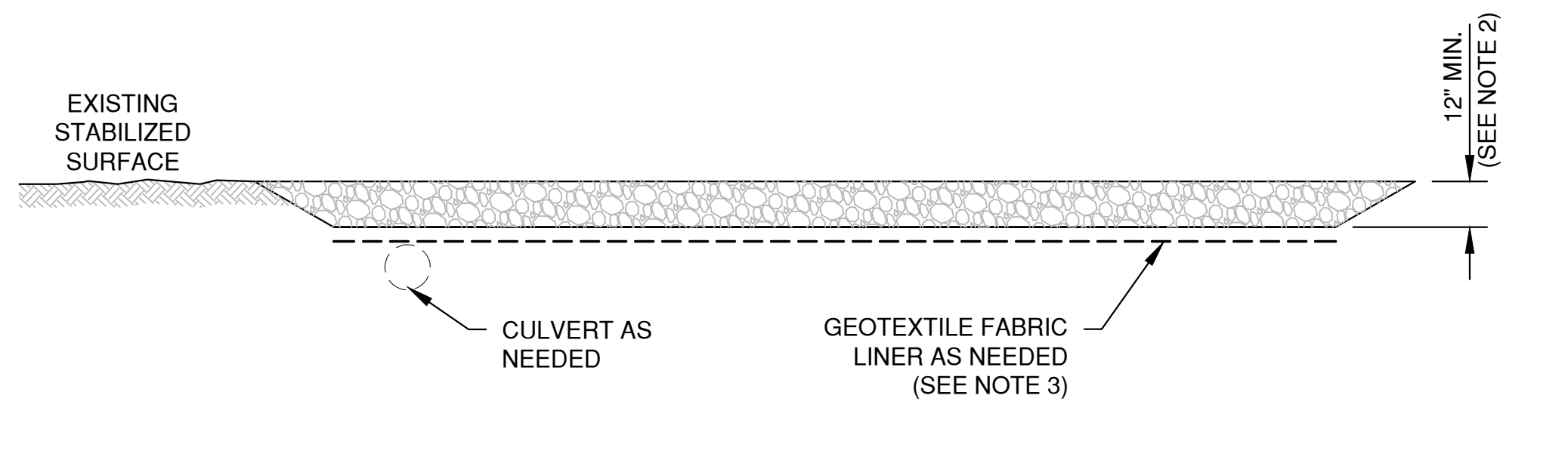
NOTES:

1. THIS DETAIL IS PROVIDED AS AN EXAMPLE. COMPLY WITH MANUFACTURER'S SPECIFICATIONS WHILE ALSO MEETING THE MINIMUM MANUFACTURED TRACKING PAD LENGTH AND WIDTH DESCRIBED IN THIS TECHNICAL STANDARD.
2. INSTALL SUCH THAT RUNOFF FLOWS TO AN APPROVED TREATMENT PRACTICE.
3. A THINNER STONE LAYER OR OTHER STABLE SURFACE MAY BE ACCEPTABLE SUCH THAT RUTTING IS MINIMIZED AS VEHICLES MOUNT OR DISMOUNT FROM THE MANUFACTURERS TRACKOUT CONTROL DEVICE.
4. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
5. DIRECT ALL EXISTING VEHICLES OVER MANUFACTURED TRACKOUT CONTROL DEVICE. STONE TRACKING PAD INSTALLATION ACROSS REMAINING ACCESS WIDTH IS RECOMMENDED. A 12' MINIMUM CAN BE USED WHEN EXITING TRAFFIC IS RESTRICTED TO A DEDICATED EGRESS LANE.
6. IF MINIMUM INSTALLATION LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.
7. ACCOMMODATE EXITING VEHICLES IN EXCESS OF MANUFACTURED TRACKOUT CONTROL DEVICE WEIGHT CAPACITY WITH OTHER TREATMENT PRACTICES.

MANUFACTURED TRACKOUT CONTROL DETAIL



PLAN VIEW (NTS)



SECTION VIEW

NOTES:

1. USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE, MEETING THE FOLLOWING GRADATION:
 

| SIEVE SIZE: | PERCENT BY WEIGHT PASSING: |
|-------------|----------------------------|
| 3"          | 100                        |
| 2 1/2"      | 90-100                     |
| 1 1/2"      | 25-60                      |
| 3/4"        | 0-20                       |
| 3/8"        | 0-5                        |
2. SLOPE THE STONE TRACKING PAD IN A MANNER TO DIRECT RUNOFF TO AN APPROVED TREATMENT PRACTICE.
3. SELECT FABRIC TYPE BASED ON SOIL CONDITIONS AND VEHICLES LOADING.
4. INSTALL TRACKING PAD ACROSS FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXISTING TRAFFIC TO A DEDICATED EGRESS LANE AT LEAST 12 FEET WIDE ACROSS THE TOP OF THE PAD.
5. IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL THE MAXIMUM LENGTH PRACTICABLE AND SUPPLEMENT WITH ADDITIONAL PRACTICES AS NEEDED.

STONE TRACKING PAD DETAIL

File: P:\A\2021\1218\4228\111\060\EROSION\_CONTROL.dwg  
 Plot Date: Feb 11, 2021 9:48:00am  
 4 SHEET TOTAL  
 LAYOUT

| NO. | DATE    | APPROV. | REVISION             | NO. | DATE | APPROV. | REVISION | DRAWN |
|-----|---------|---------|----------------------|-----|------|---------|----------|-------|
| 1   | 7/1/20  | BDR     | BID SET              |     |      |         |          | LLP   |
| 2   | 2/11/21 | BDR     | BUILDING SIZE CHANGE |     |      |         |          | JGS   |
|     |         |         |                      |     |      |         |          | BDR   |

OFFICE BUILDING FOR  
LEXINGTON HOMES INC.  
VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN

EROSION CONTROL  
TRACKOUT CONTROL PRACTICES

|         |                 |
|---------|-----------------|
| DATE    | 10/20/19        |
| FILE    | EROSION CONTROL |
| JOB NO. | 4228111         |

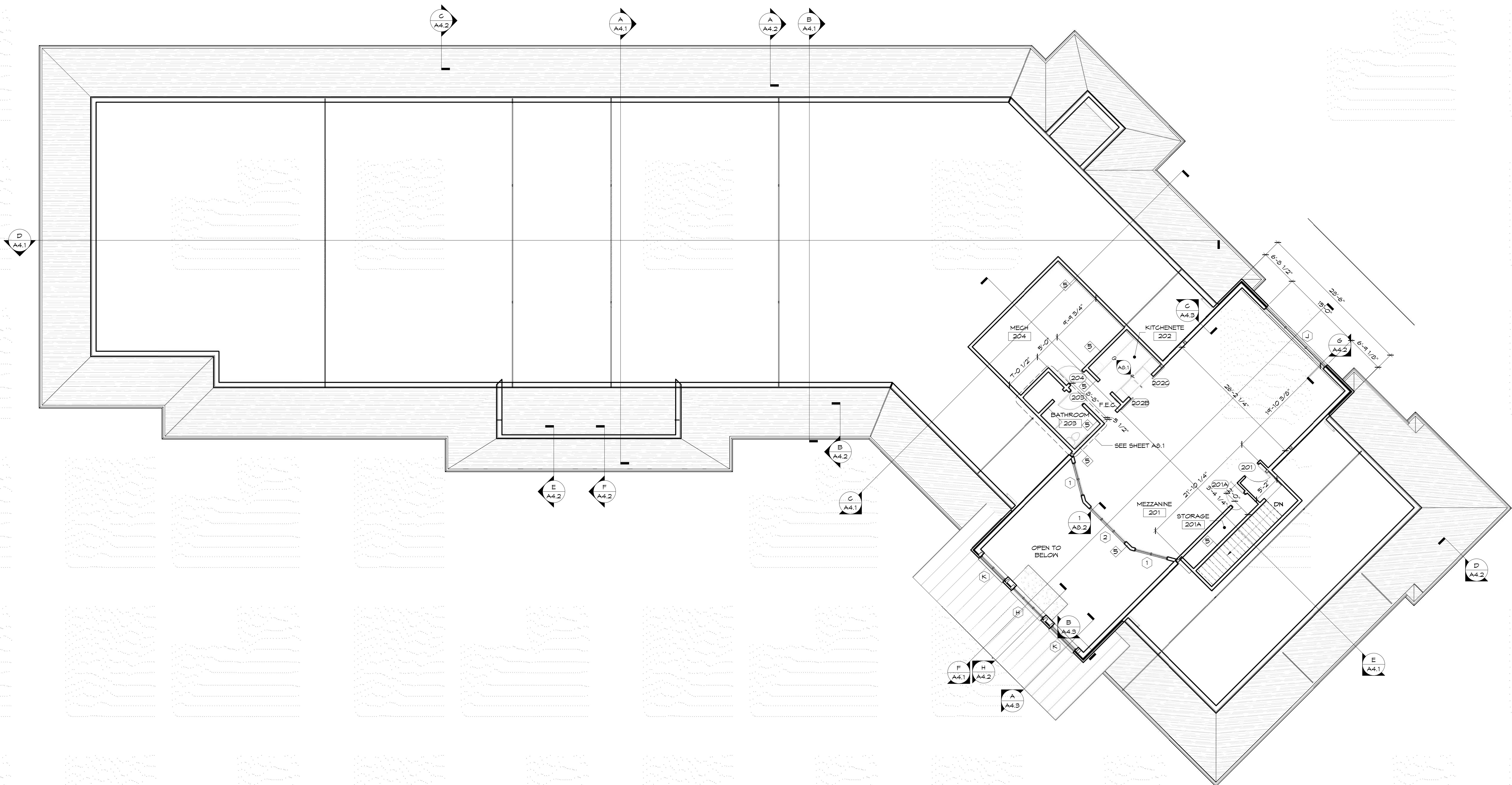
**Robert E. Lee & Associates, Inc.**  
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES  
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155  
 920-662-9641 www.releinc.com



**FLOOR PLAN GENERAL NOTES**

- A. ALL CMU WALL WIDTHS ARE TO BE 8" - WALL TYPE #1 UNLESS NOTED OTHERWISE. SEE SHEET A2.1 FOR WALL TYPES.
- B. DOOR AND FRAME SCHEDULE AND TYP. DOOR LOCATION - SEE SHEET A2.1
- C. ENLARGED TOILET ROOM - SEE SHEET A8.1
- D. FOR FIRE EXTINGUISHER LOCATIONS AND TYPES - SEE SHEET L51.1
- E. CASEWORK AND BATHROOM ELEVATIONS - SEE SHEET A8.1

**FLOOR PLAN NOTES**



**MEZZANINE PLAN**  
 SCALE: 1/8" = 1'-0"

|             |                |   |
|-------------|----------------|---|
| DATE        |                | PROPOSED CORPORATE OFFICE BUILDING FOR:<br><b>LEXINGTON HOMES</b><br>HOBART, WISCONSIN  |
| DESCRIPTION |                |   |
| NO.         |                | <br><b>Performa</b><br>ARCHITECTS + ENGINEERS<br><small>1000 W. WISCONSIN ST. SUITE 1000<br/>         MILWAUKEE, WI 53233-2897<br/>         PHONE: (414) 333-9777 FAX: (414) 333-2897<br/>         WWW.PERFORMA-INC.COM</small> |
| TITLE       | MEZZANINE PLAN |   |
| DRAWN       | DVB            | CHK'D   |
| DATE        | 02/12/21       | RFB   |
| SCALE       | 1/8" = 1'-0"   |   |
| DRAWING NO. | <b>A1.2</b>    |   |
| PROJECT NO. | 19126          | REV.  |





1 EAST ELEVATION



2 NORTH ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

PROPOSED CORPORATE OFFICE BUILDING FOR:  
**LEXINGTON HOMES**  
 HOBART, WISCONSIN



**Performa**  
 ARCHITECTS + ENGINEERS  
 1000 W. WISCONSIN ST. SUITE 100  
 HOUSTON, TEXAS 77057  
 PHONE: 713.338.9727 FAX: 713.338.2897  
 WWW.PERFORMA-ARCH.COM

|                         |              |
|-------------------------|--------------|
| PRESENTATION ELEVATIONS |              |
| DATE                    | 03/30/2021   |
| SCALE                   | 1/8" = 1'-0" |
| DRAWING NO.             | A-1          |
| PROJECT NO.             | 19126        |
| REV.                    |              |