



Village of Hobart – [www.hobartwi.gov](http://www.hobartwi.gov)  
Village Office - 2990 South Pine Tree Road, Hobart, WI

Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on Wednesday February 19<sup>th</sup> 2025 at 5:00 P.M. at the Village Office (2990 South Pine Tree Road). NOTICE OF POSTING:  
Posted this 14th day of February, 2025 at the Hobart Village Office and on the village website.

## **MEETING NOTICE – SITE REVIEW COMMITTEE**

**Date/Time: Wednesday February 19<sup>th</sup> 2025 (5:00 PM)**

**Location: Village Office, 2990 South Pine Tree Road**

### **ROUTINE ITEMS TO BE ACTED UPON:**

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the October 16<sup>th</sup> 2024 meetings (Page 2)
4. Public Comment on Non-Agenda Items

### **ACTION ITEMS**

#### **5. DISCUSSION AND ACTION - Request for new freestanding sign and wall signage located at 4275 Hillcrest Drive (La Petite Acadaemy, HB-713) (Page 3)**

La Petite Acadaemy, located at 4275 Hillcrest Dr., is an operating day care facility (formerly Shining Stars Children and Education Center) and is submitting for review and action of a proposed freestanding and a wall sign.

#### **6. DISCUSSION AND ACTION - Request for new freestanding sign located at 4999 Founders Terrace (Folkman Plaza, HB-524-2) (Page 8)**

Folkman Plaza, located at 4999 Founders Terrace, is currently under construction and is submitting for review and action of a proposed freestanding sign. During the original site review back in May 2024, signage was not finalized and therefore not submitted at that time. The developer has since finalized the freestanding signage and is requesting review of said signage.

#### **7. DISCUSSION AND ACTION - Request for a 3,595 sf., building addition and associated site improvements (1396 Plane Site Blvd., HB-949-3) (Page 12)**

This property located at 1396 Plane Site Blvd. is currently developed and utilized as a contractor office and shop facility. The property owner is proposing a 3,595 square foot addition and the site improvements to serve the building expansion.

#### **8. ADJOURN**

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg, Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



1. **Call to Order, Roll Call:** The meeting was called to order by Dave Dillenburg at 5:30 pm. Roll call: Dave Baranczyk, Steve Riley, Tom Tengowski, and Dave Dillenburg were present. Excused: Rick Nuetzel, Peter Zobro, and Tammy Zittlow.
2. **Verify/Modify/Approve Agenda:** Motion by Dave Dillenburg, seconded by Steve Riley to approve the agenda as presented. Motion carried 4-0.
3. **Approval of Site Review Minutes:** Motion by Dave Dillenburg, seconded by Dave Baranczyk to approve the September 25, 2024 minutes. Motion carried 4-0.
4. **Public Comment on Non-Agenda Items:** None.

**ACTION ITEMS**

**5. DISCUSSION AND ACTION - Request for new freestanding signage located at 3849-3851 W. Mason St. (HB-1395-1) (Page 3)**  
Nearby Storage, located at 3849-3851 W. Mason St., is currently under construction and is submitting for review and action of a proposed freestanding sign. During the original site review back in June 2023, signage was not finalized and therefore not submitted at that time. The developer has since finalized the signage and is requesting review of the proposed freestanding sign.

Motion by Tom Tengowski to approve the proposed 96 square foot ground mount sign to be located in front yard at 3849-3851 W. Mason St. as submitted subject to the following condition(s):

1. Sign shall maintain a minimum 10-foot setback from front property line (street right-of-way) and any driveway
- Seconded by Dave Baranczyk. Motion carried 4-0.

5. **Adjourn:** Motion by Dave Baranczyk to adjourn at 5:49 pm, seconded by Steve Riley. Motion carried 4-0.

Respectfully submitted by Lisa Vanden Heuvel, Village Clerk



**TO:** Site Review Committee

**RE:** La Petite Academaemy, 4275 Hillcrest Dr.; HB-713; Signage

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** February 19, 2025

**ISSUE:** Discussion and action on a request for new freestanding sign and wall signage located at 4275 Hillcrest Dr.

**RECOMMENDATION:** Staff recommends conditional approval based on staff recommendation and any conditions the Committee may identify.

### **GENERAL INFORMATION**

1. Owner/Developer: NNN REIT,LP / La Petite Academy
2. Applicant/Agent: Joe Socha / Fast Signs of Northeastern WI
3. Address/Parcel: 4275 Hillcrest Dr. / HB-713
4. Zoning: PI: Public / Institutional District
5. Use: Day Care Center

### **BACKGROUND**

La Petite Academaemy, located at 4275 Hillcrest Dr., is an operating day care facility (formerly Shining Stars Children and Education Center) and is submitting for review and action of a proposed freestanding and a wall sign.

The request before the Committee at this time would be for a new non-lit ground mount sign of a total of 28.8 square feet in the same location of the front yard adjacent to Hillcrest Dr. to replace the existing sign. This proposed sign is code compliant and will be non-illuminated. Per ordinance, freestanding signs along this roadway are permitted up to 100 square feet of sign area, along with a maximum height and width of 20 feet. The proposed sign would require to maintain a minimum of a 10-foot setback from the front property line (street right-of-way line).

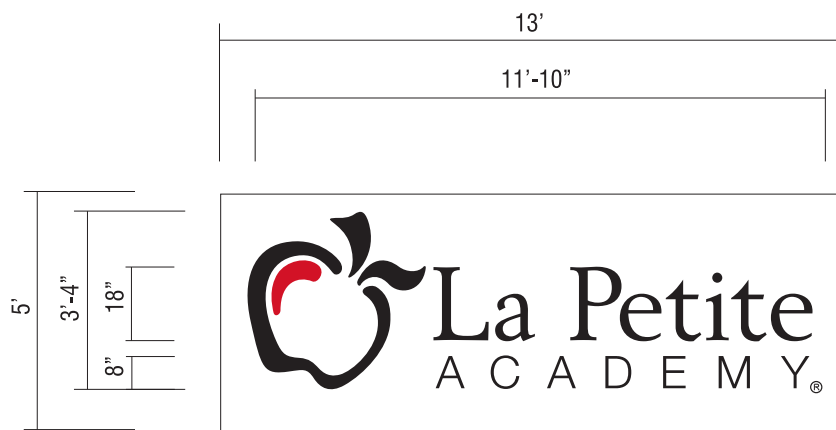
As for the proposed wall sign, that will be a non-lit aluminum panel with flush mount letters. This proposed sign will be a total of 65 square feet and mounted above the front entrance to the building.

Both the free standing and wall sign as proposed would be in compliance with the Village Sign Code.

### **RECOMMENDATION/CONDITIONS**

Staff recommends approval of the proposed 28.8 square foot ground mount sign and 65 square foot wall sign to be located at 4275 Hillcrest Dr. as submitted subject to the following condition(s):

1. Sign shall maintain a minimum 10-foot setback from front property line (street right-of-way)



**1 1 SET OF 1/4" PAINTED ACRYLIC FLUSH MOUNTED LETTERS ON FLANGED PANEL**

White 1/2" aluminum flanged panel painted white  
 Flush mounted letters painted black  
 Accent red to match PMS 186C

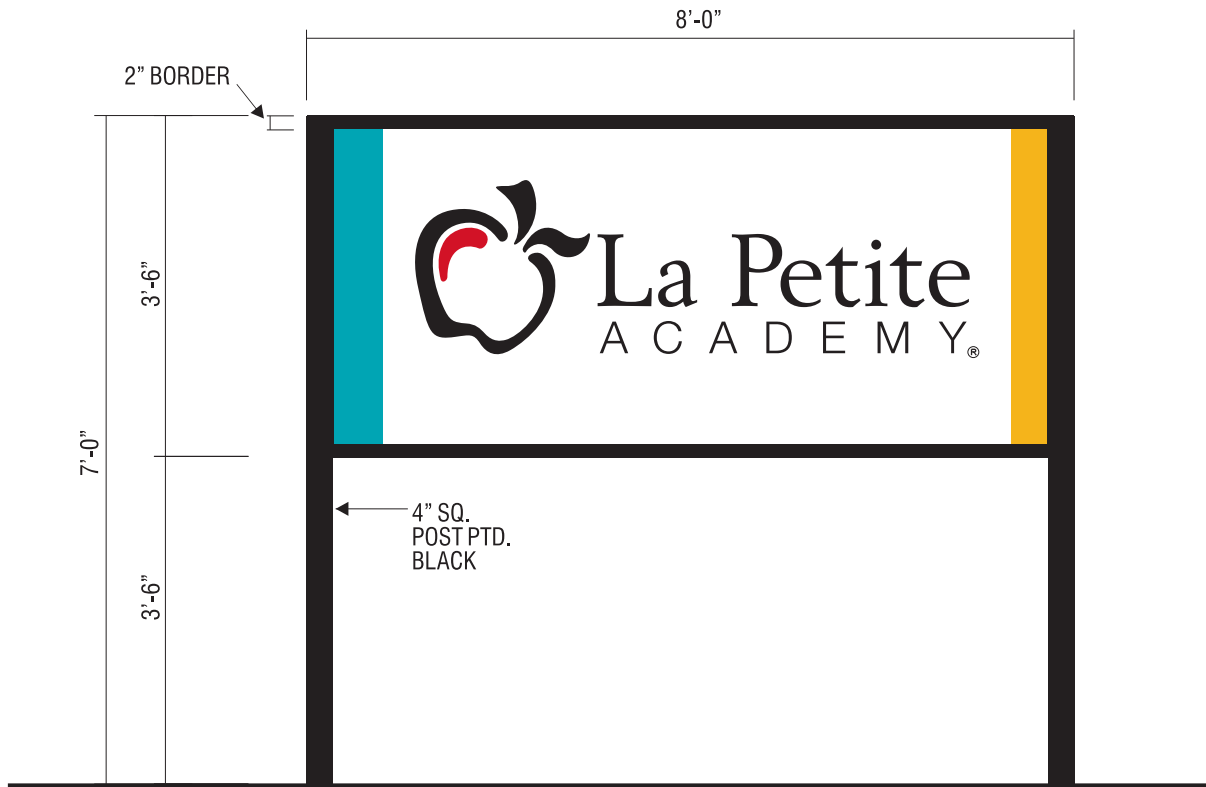
No existing signage



Existing Signage



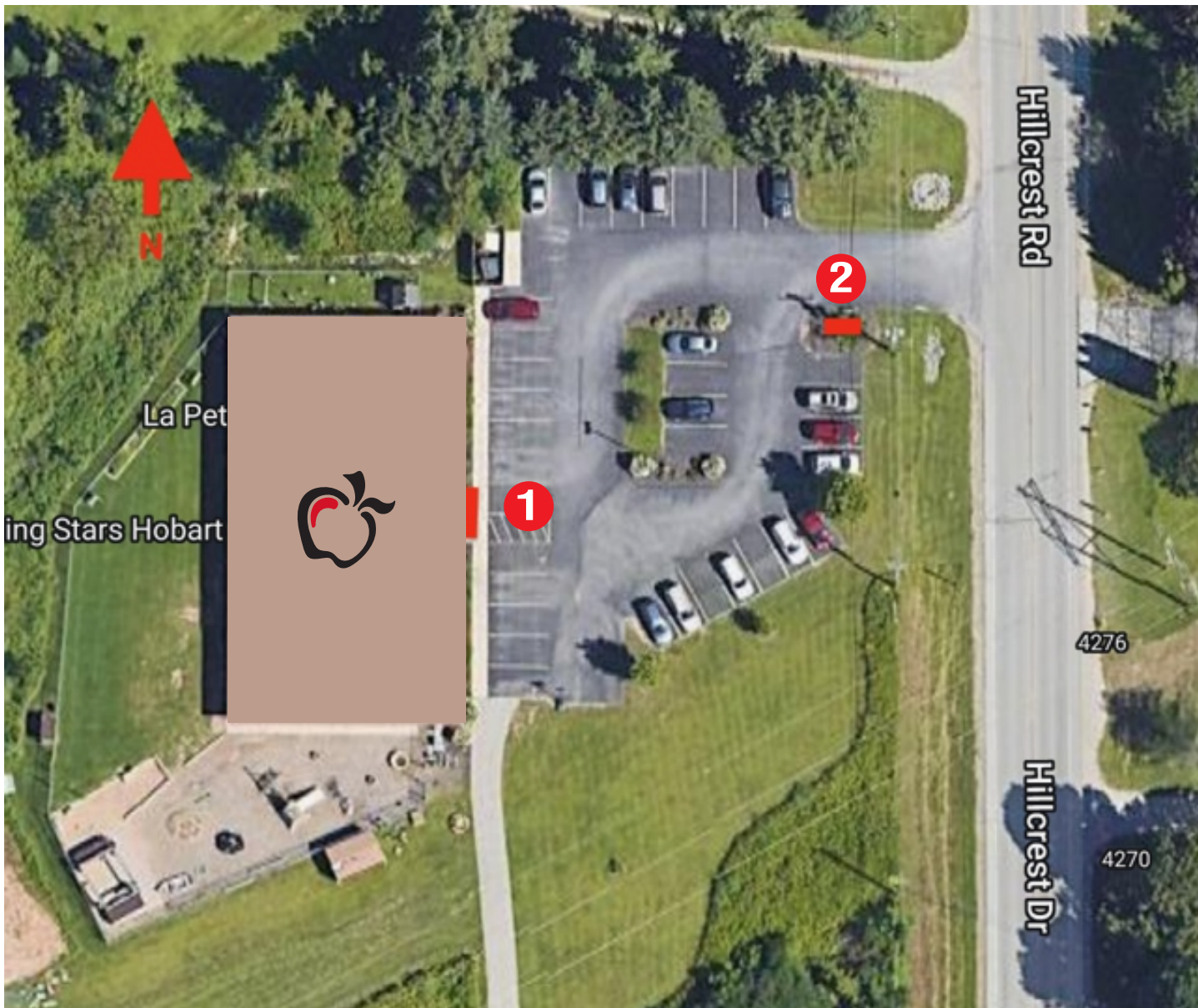
New Signage



## 2 D/F Non Illuminated Extruded Aluminum Post and Panel Sign

- White background with black vinyl copy
- Accent red vinyl to match PMS 186C
- Blue accent to match PMS 7710C
- Yellow accent to match PMS 7408C
- Border and posts painted Black
- No exposed fasteners





### PLOT PLAN

LOCATION:

4275 Hillcrest Dr  
Hobart, WI 54155

FILE NAME: 7753

DATE: 2/10/25

PAGE: 3

APPROVAL:













**NATIONAL SIGN CONTRACTOR**

11142 S. Campbell Ave. • Chicago, Illinois 60655

Part of Brown County WI

LEGEND / KEY

-  Parcel Boundary
-  Condominium
-  Gap or Overlap
-  "hooks" indicate parcel ownership crosses a line
-  Parcel line
-  Right of Way line
-  Meander line
-  Lines between deeds or lots
-  Historic Parcel Line
-  Vacated Right of Way

A complete map legend (map key) is available at: [tinyurl.com/BrownDogLegend](http://tinyurl.com/BrownDogLegend)

Map printed 2/13/2025



1:720

1 inch = 60 feet\*

1 inch = 0.0114 miles\*

\*original page size is 8.5" x 11"  
*Appropriate format depends on zoom level*

This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin Planning & Land Services Department**



(920) 448-6480

[www.browncountywi.gov](http://www.browncountywi.gov)





**TO:** Site Review Committee

**RE:** Folkman Plaza, 4999 Founders Terrace; HB-524-2; Signage

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** February 19, 2025

**ISSUE:** Discussion and action on a request for new freestanding sign located at 4999 Founders Terrace

**RECOMMENDATION:** Staff recommends conditional approval based on staff recommendation and any conditions the Committee may identify.

### GENERAL INFORMATION

1. Owner/Developer: Folkman Holdings, LLC / Justin Folkman
2. Applicant/Agent: Folkman Holdings, LLC / Justin Folkman
3. Address/Parcel: 4999 Founders Terrace / HB-524-2
4. Zoning: PDD #1
5. Use: Multi-Tenant / Small Commercial and Retail Facility

### BACKGROUND

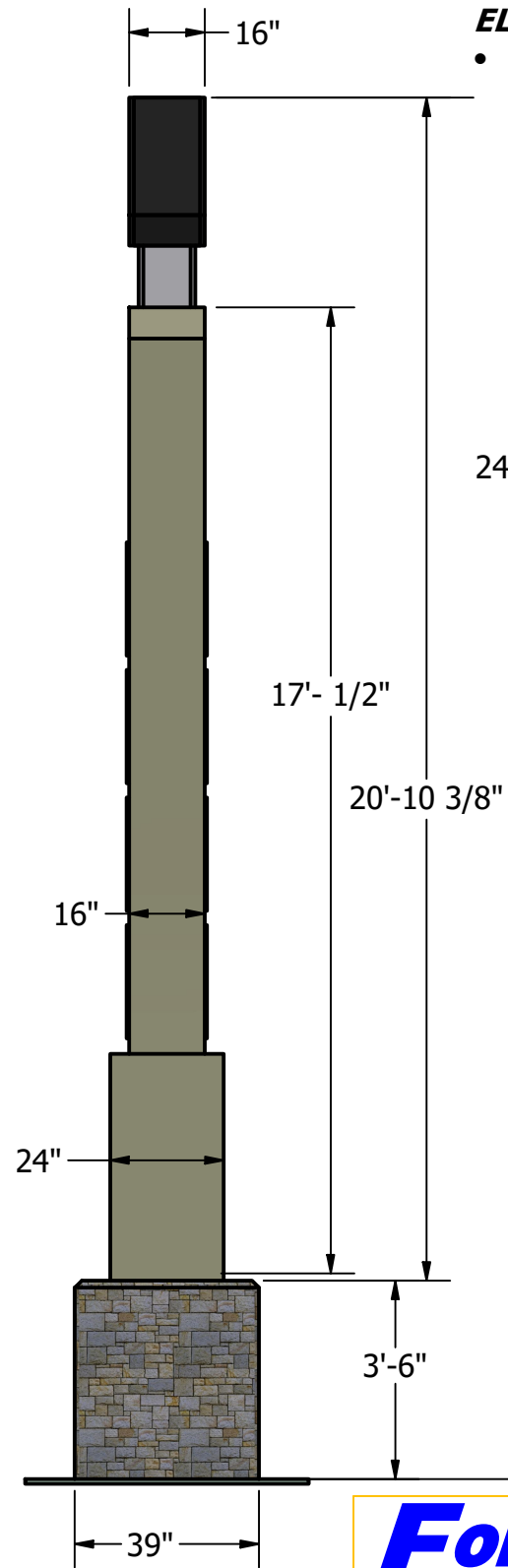
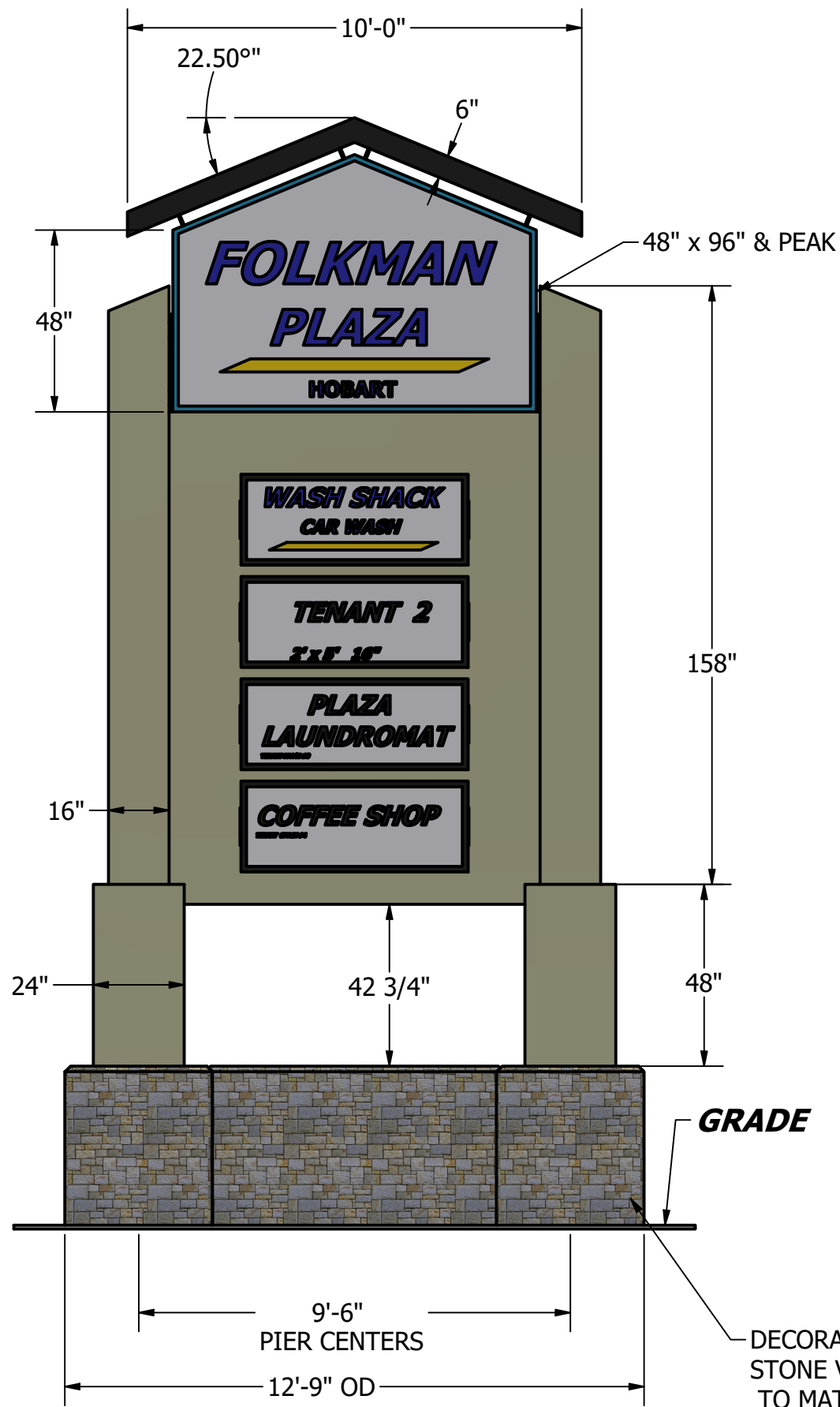
Folkman Plaza, located at 4999 Founders Terrace, is currently under construction and is submitting for review and action of a proposed freestanding sign. During the original site review back in May 2024, signage was not finalized and therefore not submitted at that time. The developer has since finalized the freestanding signage and is requesting review of said signage.

The request before the Committee at this time would be for a new internally illuminated freestanding sign of a total of 168.65 square feet (actual sign area is roughly 96 square feet of sign faces). Per sign ordinance, any freestanding sign is limited to 10 feet in height when located along a roadway designated as a "highway" (54, 172, or 29). Signs in these areas are permitted up to 20 and 30 feet. The Village zoning district for this property is PDD #1 and section 295-122 D. states that "*The Site Review Committee may approve signs that may not comply with the afore-referenced ordinances, provided such sign(s) promotes or adheres to the general design aesthetics, themes and guidelines of the Centennial Centre Master Plan*". The proposed design of the sign structure compliments the design of the building that is currently under construction as well as the location of the proposed sign is set back much further from Centerline Dr (adjoining side street) further than most properties due to an existing 30' utility easement (public gas line) along Centerline Dr. Staff does not object to the increase height of the sign due to the increased setback and the sign being utilized for four tenants and the name of the development. The sign will need to include the address of the complex.

### RECOMMENDATION/CONDITIONS

Staff recommends approval of the proposed 96 square foot free standing sign to be located at 4999 Founders Terrace as submitted subject to the following condition(s) the SRC may apply.





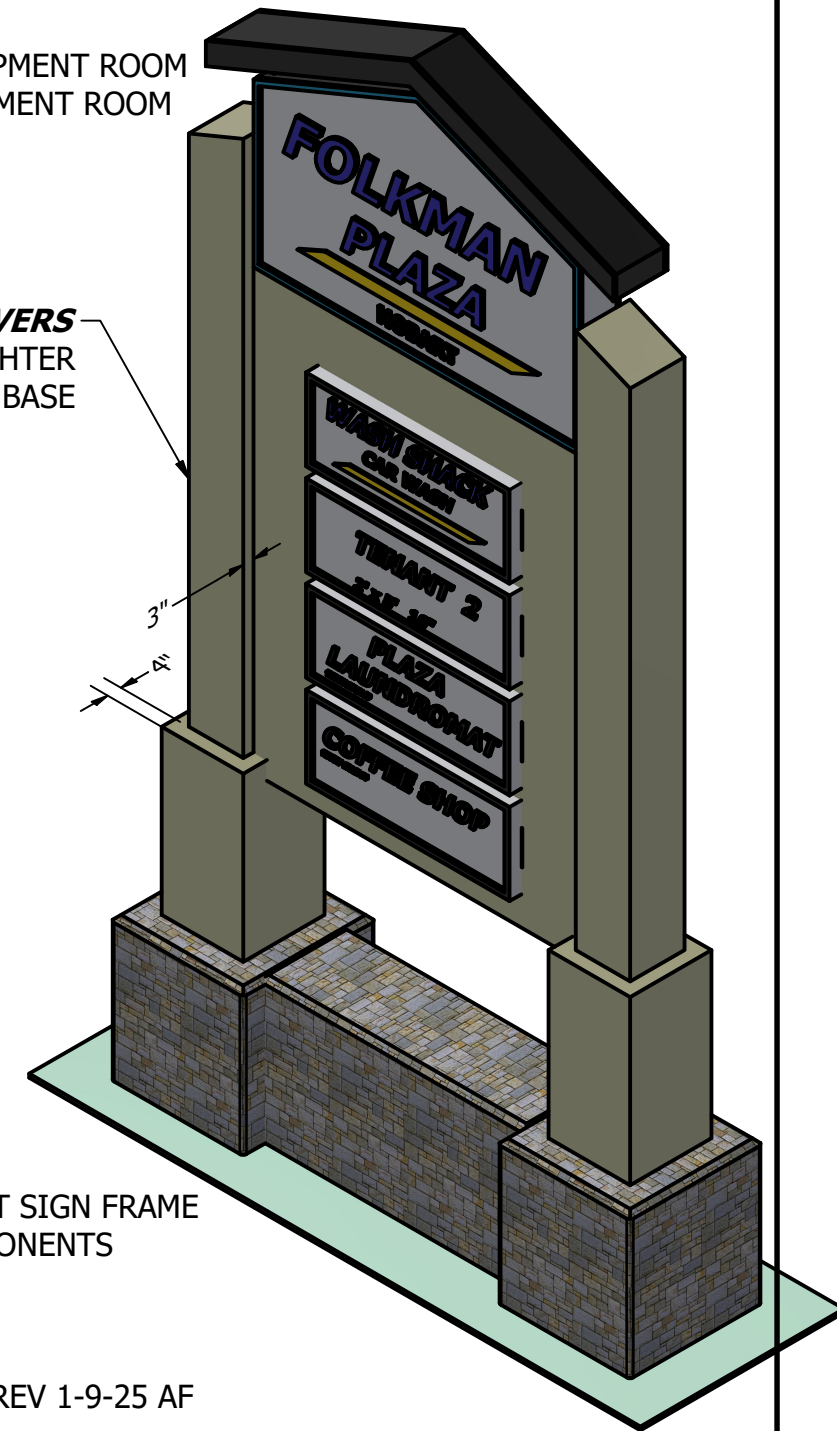
**ELECTRICAL NOTE:**

- 2" CONDUIT
- ▲ (1) POWER - SOUTH PIER TO EQUIPMENT ROOM
- ▲ (1) DATA - NORTH PIER TO EQUIPMENT ROOM

ALUMINUM 1/8" **COLUMN COVERS**  
 POWDER COAT A SHADE LIGHTER  
 THAN STONE BASE

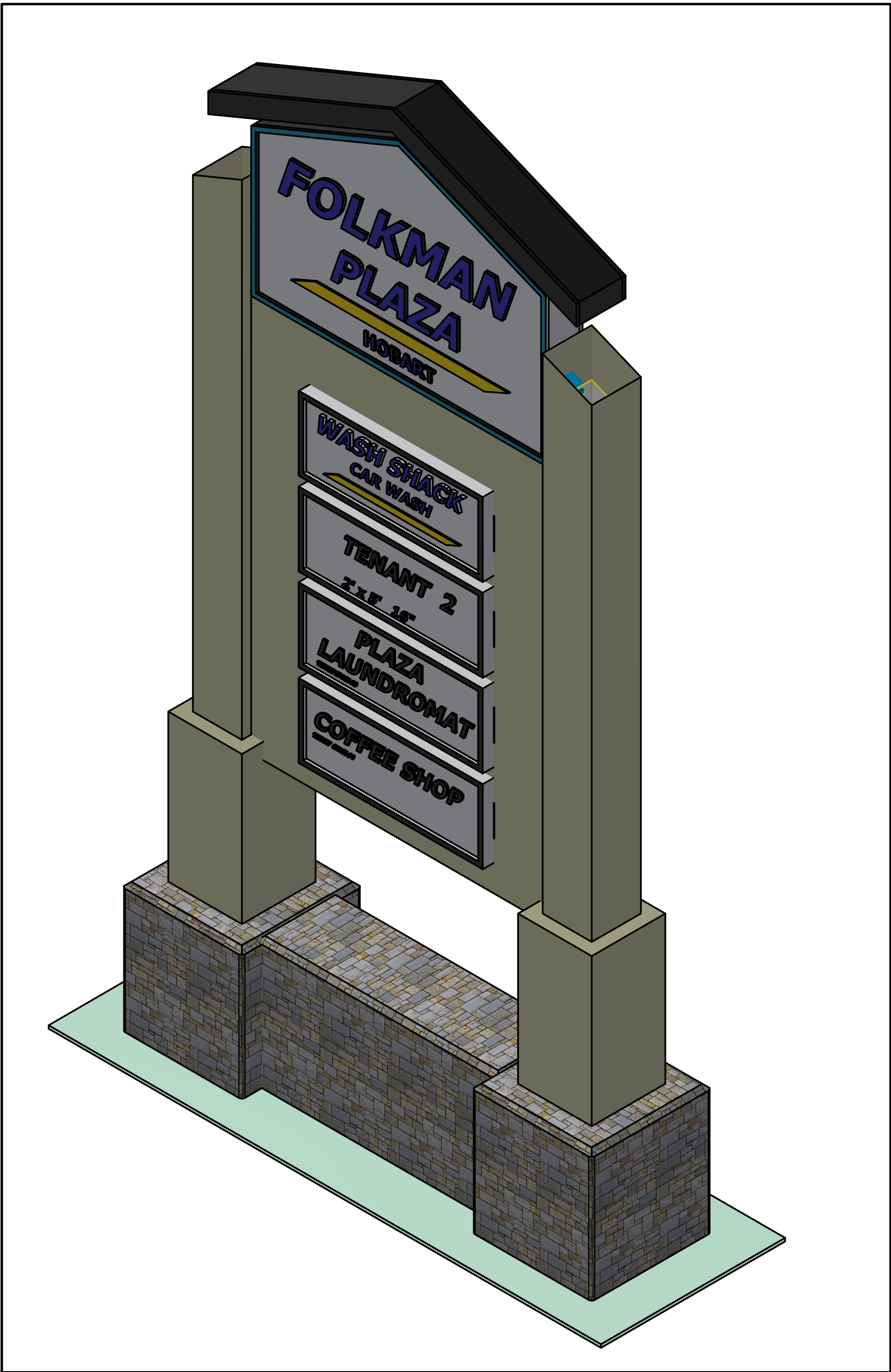
- SH 1 - COVER
- SH 2 - ISO
- SH 3 - ELEV - PIERS
- SH 4 - COLUMN ASSY W/BOM
- SH 5 - COLUMN ELEV
- SH 6 - COLUMN COMPONENTS
- SH 7 - COLUMN COMPONENTS
- SH 8 - COLUMN COMPONENTS
- SH 9 - CENTER FRAME TENANT SIGN FRAME
- SH 10 - CENTER FRAME COMPONENTS
- SH 11 - PLAZA SIGN TOPPER
- SH 12 - PLAZA SIGN
- SH 13 - TENANT SIGNS

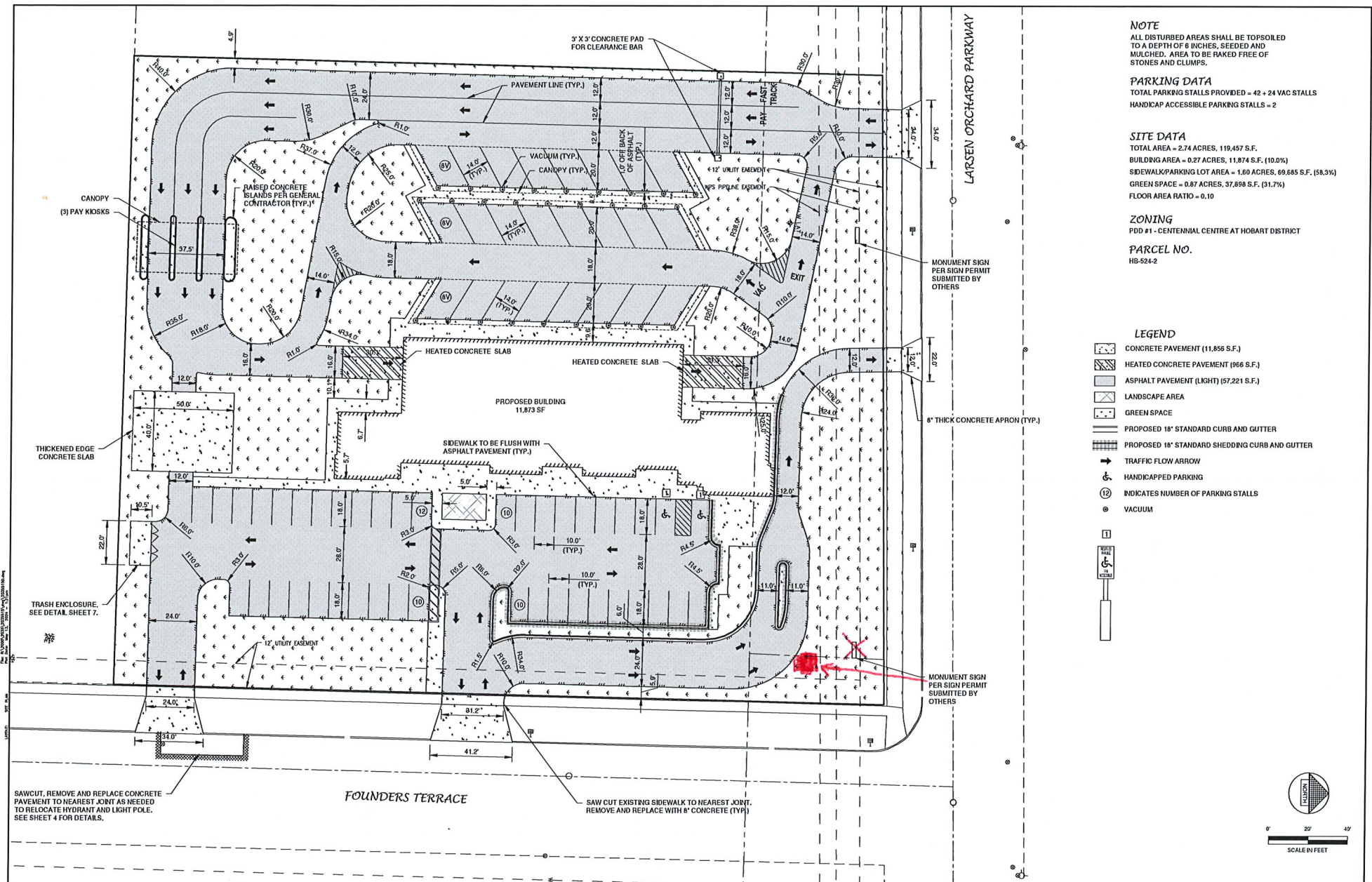
REV 1-9-25 AF



**Folkman Inc**  
 "TURNING IDEAS INTO SOLUTIONS"  
 "Service- Disabled Veteran- Owned Small Business"  
 1520 Cornell Rd. Green Bay, WI 54313  
 Ph (920) 544-9996 Fax (920)544-9918  
 www.folkmaninc.com

Project:	FOLKMAN PLAZA PYLON SIGN	Date:	7-17-24
Client:		Drawn By:	AF
General Contractor:		Scale:	
Job/PO Number:		Weight:	
Drawing Number:		Sheet Number:	1 OF 13





**NOTE**  
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**PARKING DATA**  
 TOTAL PARKING STALLS PROVIDED = 42 + 24 VAC STALLS  
 HANDICAP ACCESSIBLE PARKING STALLS = 2

**SITE DATA**  
 TOTAL AREA = 2.74 ACRES, 119,457 S.F.  
 BUILDING AREA = 0.27 ACRES, 11,874 S.F. (10.0%)  
 SIDEWALK/PARKING LOT AREA = 1.60 ACRES, 69,605 S.F. (58.3%)  
 GREEN SPACE = 0.87 ACRES, 37,898 S.F. (31.7%)  
 FLOOR AREA RATIO = 0.10

**ZONING**  
 PDD #1 - CENTENNIAL CENTRE AT HOBART DISTRICT

**PARCEL NO.**  
 HB-524-2

- LEGEND**
- CONCRETE PAVEMENT (11,856 S.F.)
  - HEATED CONCRETE PAVEMENT (966 S.F.)
  - ASPHALT PAVEMENT (LIGHT) (57,221 S.F.)
  - LANDSCAPE AREA
  - GREEN SPACE
  - PROPOSED 18" STANDARD CURB AND GUTTER
  - PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
  - TRAFFIC FLOW ARROW
  - HANDICAPPED PARKING
  - INDICATES NUMBER OF PARKING STALLS
  - VACUUM

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN  
RJC/MLP

CHECKED

DESIGNED

WASH SHACK SITE DEVELOPMENT  
 FOR BAYLAND BUILDINGS, INC.  
 VILLAGE OF HOBART  
 BROWN COUNTY, WISCONSIN

SITE PLAN

DATE  
06/20/23

FILE  
230313D

JOB NO.  
225540

**REL Robert E. Lee**  
 & Associates, Inc.

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@relc.com

SHEET NO.  
**3**



**TO:** Site Review Committee

**RE:** 1396 Plane Site Blvd., HB-949-3; New 3,595 sf Addition to Existing Building and Associated Site Improvements

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** February 19, 2025

**ISSUE:** Discussion and action on request for a 3,595 sf., building addition and associated site improvements

**RECOMMENDATION:** Staff recommends approval subject to any conditions the Committee may identify.

### GENERAL INFORMATION

1. Developer: Ideal Air Heating and Cooling
2. Applicant: Mach IV Engineering & Surveying, LLC
3. Address/Parcel: 1396 Plane Site Blvd., HB-949-3
4. Zoning: Currently: I-1: Limited Industrial District
5. Use: Contractor Office / Shop

### BACKGROUND

This property located at 1396 Plane Site Blvd. is currently developed and utilized as a contractor office and shop facility. The property owner is proposing a 3,595 square foot addition and the site improvements to serve the building expansion.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### Section 1, Site Plan Approval

- A. Zoning:** I-1: Limited Industrial District
- B. Green Space:** 30.01 % green space after proposed expansion (no change from existing).
- C. Setbacks:** Compliant with zoning district requirements of 40' front(s), 20' rear, 15' side. (40' from (front)Plane Site Blvd. right-of-way, 73' from south (side) property line, 120' from the north (rear) property line, and 15' from the west (side) property line).
- D. Parking:** 27 stalls required and 40 stalls are currently provided on site. Parking is compliant with Village Codes.
- H. Fire Dept. (and Police Dept.):** The plans presented have been reviewed and accepted by the Fire Chief and Police Chief as submitted.
- I. Storm Water:** Existing storm drainage to remain as the proposed addition will be constructed in the area that is currently a gravel surface
- M. Refuse Collection:** Existing to remain behind the building in the fenced in yard, no change proposed as part of this expansion

## Section 2, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Exterior Materials:** Proposed addition to have metal wall panels to match existing
2. **Height:** Proposed addition to have a maximum of 17', which is less than the height of portions of the existing building
3. **Overhead doors:** Two new overhead doors along the south elevation and one along the north elevation. No new overhead doors will be facing the street..
4. **Mechanical equipment:** No mechanical equipment is shown on the plans, however, should such equipment being installed on the roof it shall be screened from view by materials compatible with those used for the principal structure.

**Section 3, Landscaping Plan:** Existing landscaping to remain as the proposed addition will be constructed in the area that is currently a gravel surface. Tree planting is required along the front property line to comply with the 1 tree every 50 feet of lot frontage (3 trees required total).

**Section 4, Lighting:** The lighting plan is approved by Staff as submitted, consisting of 4 new wall mounted fixtures on the addition, along with two new wall mounted light fixtures on the east and west elevations of the existing office area.

**Section 5, Signage:** Existing to remain, no change proposed as part of this expansion.

**Section 6, Driveway-Curb Cut:** Existing to remain, no change proposed as part of this expansion.

## RECOMMENDATION/CONDITIONS

Staff recommends conditional approval, subject to the following in addition to any conditions the Site Review Committee may identify:

1. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building;
2. Planting of a total of 3 deciduous trees along the right-of-way of Plane Site Blvd. Requires 1 new tree unless two existing trees are removed.

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Ideal Air Heating and Cooling Addition  
1396 Plane Site Blvd, Onedia, WI 54155

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 2.59 AC

Size of facility(square footage): 26,271 SF

Type of facility: Industrial

Developer: Keller Inc.

Address: N216 State Road 55, PO Box 620  
Kaukauna, WI 54130 Phone: 920-766-5795

Engineer: Mach-IV Engineering & Surveying LLC

Address: 2260 Salscheider Ct  
Green Bay, WI 54313 Phone: 920-569-5765

Contractor: Keller Inc.

Construction Firm: Keller Inc.

Address: N216 State Road 55, PO Box 620  
Kaukauna, WI 54130 Phone: 920-766-5795

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial  Business Park \_\_\_\_\_ Commercial \_\_\_\_\_

Multi-Family \_\_\_\_\_

Current Zoning: I-1; Limited Industrial

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file:  YES \_\_\_\_\_ NO

% of Green Space: 30.1%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: See sheet C2.0 Complies with Ordinance: Yes

D. # of parking stalls ( Include Handicapped parking): 40 (includes 2 ADA)

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground  overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines See sheet C3.0

7) Ingress – egress easements See sheet C2.0

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance Yes YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete:  YES \_\_\_\_\_ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_\_YES \_\_\_\_NO
  - 2) Not applicable  X

I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.

- 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
- 2) Name and address and phone# of engineer of project plan:

NA

J. Sidewalks, walkways, and driveways:

K. Off street loading areas and docks:

L. Fences and retaining walls or berms:

M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

See sheet C2.0. No revisions to existing dumpster area are proposed.

N. Location and dimensions of proposed outdoor display areas: NA

**4. ARCHITECTURAL PLAN APPROVAL**

A. Exterior construction information:

1) Type of Construction Materials: Please refer to attached architectural drawings

2) Exterior Materials: Please refer to attached architectural drawings

3) Height of Facility: Please refer to attached architectural drawings

4) Compatibility with existing adjacent structure: Please refer to attached architectural drawings (Attach Photos)

5) Other unique characteristics: \_\_\_\_\_



Landscaping is shown on the attached landscaping plan sheet L1.0.

5. **LANDSCAPING PLAN**



If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

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Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

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Identify Buffering -Type – Quantity:

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6. **LIGHTING PLAN**



Lighting is shown on the attached photometric plan sheet ES01.

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

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Identify Parking Lighting – Quantity – Wattage – Location :

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Identify other Lighting – Quantity – Wattage – Location:

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7. **SIGNAGE** ← No new signage proposed

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. **DRIVEWAY – CURB CUT** ← No new driveway proposed

Width of Curb Cut: \_\_\_\_\_

Radius / Flare: \_\_\_\_\_

Apron Dimensions: \_\_\_\_\_

Culvert Size (End-walls Required) \_\_\_\_\_



# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2990 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3809

**A. Applicant**

The planned development will continue to drain to the on-site stormwater management basin. The proposed addition is a redevelopment of already existing site impervious areas which are currently gravel and asphalt.

Applicant Name: \_\_\_\_\_ Owner Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_ Zip: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_ Zip: \_\_\_\_\_  
 Phone: (\_\_\_\_) \_\_\_\_\_ Phone: (\_\_\_\_) \_\_\_\_\_  
 Email: \_\_\_\_\_ Email: \_\_\_\_\_

**B. Parcel – Site Information**

Site Address: \_\_\_\_\_ Parcel ID: \_\_\_\_\_  
 Project Description: \_\_\_\_\_

**Residential ERU Calculations**

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
<b>Total ERU's</b>			

**Nonresidential Uses - Impervious Surface Calculation**

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints						
Paved/Gravel Areas						
<b>Totals</b>		<b>sq. ft.</b>		<b>sq. ft.</b>		<b>sq. ft.</b>

ERU Calculation: \_\_\_\_\_ / 4000 sf / ERU = \_\_\_\_\_ ERU's  
 New Total Area sq. ft.

Preparer's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Preparer's Printed Name: \_\_\_\_\_

# SITE PLAN NARRATIVE



**IDEAL AIR HEATING & COOLING  
DE PERE WI, 54115**

**VILLAGE OF HOBART  
BROWN COUNTY**



**MACH IV PROJECT No. 0963-02-24  
JANUARY 2025**

## Proposed Development

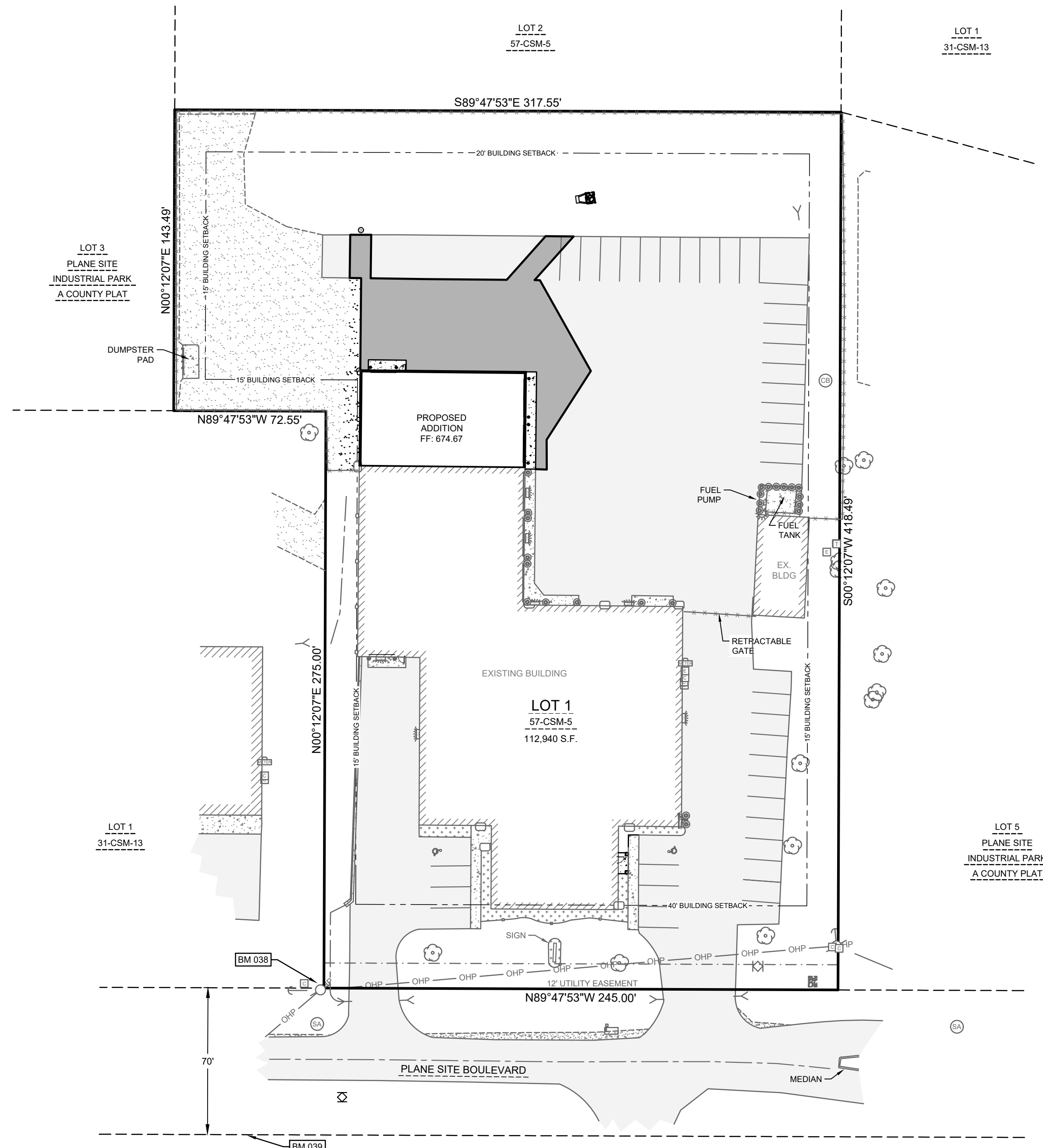
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The proposed development is a planned building addition of approximately 3,595 square feet to the existing Ideal Air Heating & Cooling operation in the Village of Hobart. The proposed addition will be a redevelopment on the site due to the fact that it will be constructed over already existing site impervious areas which are currently gravel and asphalt.

Additional repaving of existing asphalt areas on the site will be performed to provide adequate grade adjustments for the planned building addition. The addition will be constructed with a new storm roof drain which will discharge to the existing stormwater management basin on the property.

A 6" water service is also planned for the addition which will connect to the water main on the south side of Plane Site Boulevard. The water service will be installed via horizontal directional drilling within the public right of way, and as such, there are no expected impacts to Plane Site Boulevard associated with the water service installation.

The planned building addition will not result in any adverse impacts to neighboring properties with regard to traffic, noise, hours of operation, glare, fumes, vibration, etc. as there are no planned operational changes or intended use.



LOCATION MAP  
1396 PLANE SITE BOULEVARD  
HOBART, WISCONSIN

LEGAL DESCRIPTION

ALL OF LOT 1 OF VOLUME 57, CERTIFIED SURVEY MAPS, PAGE 5, (DOC. #2537720, MAP #8159), BROWN COUNTY RECORDS, BEING PART OF GOVERNMENT LOT 1, SECTION 19, T23N-R20E, VILLAGE OF HOBART, BROWN COUNTY, WISCONSIN.

ADDRESS: 1396 PLANE SITE BOULEVARD  
PARCEL #: HB-949-3

CIVIL SHEETS INDEX

- C0.0 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS

CIVIL GENERAL NOTES:

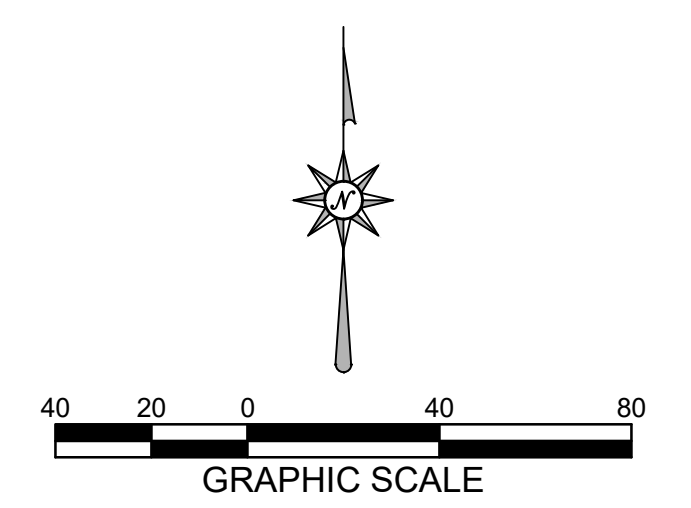
1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JULY 8, 2015 & DECEMBER 4, 2024.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
4. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
5. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
6. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
7. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
8. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
10. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
11. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
12. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
13. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
15. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
16. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
17. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.1, C5.2 AND C5.3.
18. FOR NOTES SHOWN THUS, "Ⓢ", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL	[Symbol]	EVERGREEN SHRUB	[Symbol]	STANDARD DUTY ASPHALT	[Symbol]
ELECTRIC METER	[Symbol]	EVERGREEN TREE	[Symbol]	HEAVY DUTY ASPHALT	[Symbol]
ELECTRIC PEDESTAL	[Symbol]	TREE	[Symbol]	BUILDING	[Symbol]
GUY WIRE	[Symbol]	TREE SHRUB	[Symbol]	ASPHALT	[Symbol]
LIGHT POLE	[Symbol]	BUILDING OVERHANG	[Symbol]	CONCRETE	[Symbol]
POWER POLE	[Symbol]	UNDERGROUND CABLE	[Symbol]	GRAVEL	[Symbol]
GAS METER	[Symbol]	OVERHEAD WIRE	[Symbol]	LANDSCAPE WOOD MULCH	[Symbol]
GAS VALVE	[Symbol]	UNDERGROUND ELECTRIC	[Symbol]	LANDSCAPE WOOD MULCH	[Symbol]
BOLLARD	[Symbol]	GAS	[Symbol]	LANDSCAPE STONE MULCH	[Symbol]
HANDICAP PARKING	[Symbol]	LANDSCAPE	[Symbol]		
SANITARY CLEANOUT	[Symbol]	FENCE	[Symbol]		
SANITARY MANHOLE	[Symbol]	GUARDRAIL	[Symbol]		
CATCH BASIN	[Symbol]	CENTERLINE	[Symbol]		
CULVERT	[Symbol]	CURB	[Symbol]		
DOWNSPOUT	[Symbol]	PARKING STRIPE	[Symbol]		
INLET	[Symbol]	SANITARY SEWER	[Symbol]		
INLET 2' X 2'	[Symbol]	CULVERT	[Symbol]		
STORM CLEANOUT	[Symbol]	STORM SEWER	[Symbol]		
STORM MANHOLE	[Symbol]	FIBER OPTIC	[Symbol]		
FIBER OPTIC PEDESTAL	[Symbol]	WOOD LINE	[Symbol]		
SIGN	[Symbol]	RETAINING WALL	[Symbol]		
FIRE HYDRANT	[Symbol]	WATERMAIN	[Symbol]		
WATER SHUT OFF	[Symbol]	CONTOUR MAJOR	[Symbol]		
WATER VALVE	[Symbol]	CONTOUR MINOR	[Symbol]		

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SQ	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIABLE
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION



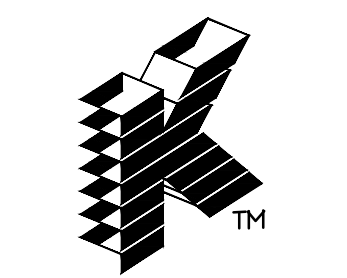
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CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



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PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 0963-02-24



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**PROPOSED FOR:**  
**IDEAL AIR HEATING & COOLING**  
**1396 PLANE SITE BOULEVARD**  
**DE PERE, WISCONSIN**

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NO.	DESCRIPTION	DATE
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6		

PROJECT MANAGER: C.MYHRA

DESIGNER: R.MACH

DRAWN BY: RPH

EXPEDITOR: \_\_\_\_\_

SUPERVISOR: \_\_\_\_\_

PRELIMINARY NO: P24062

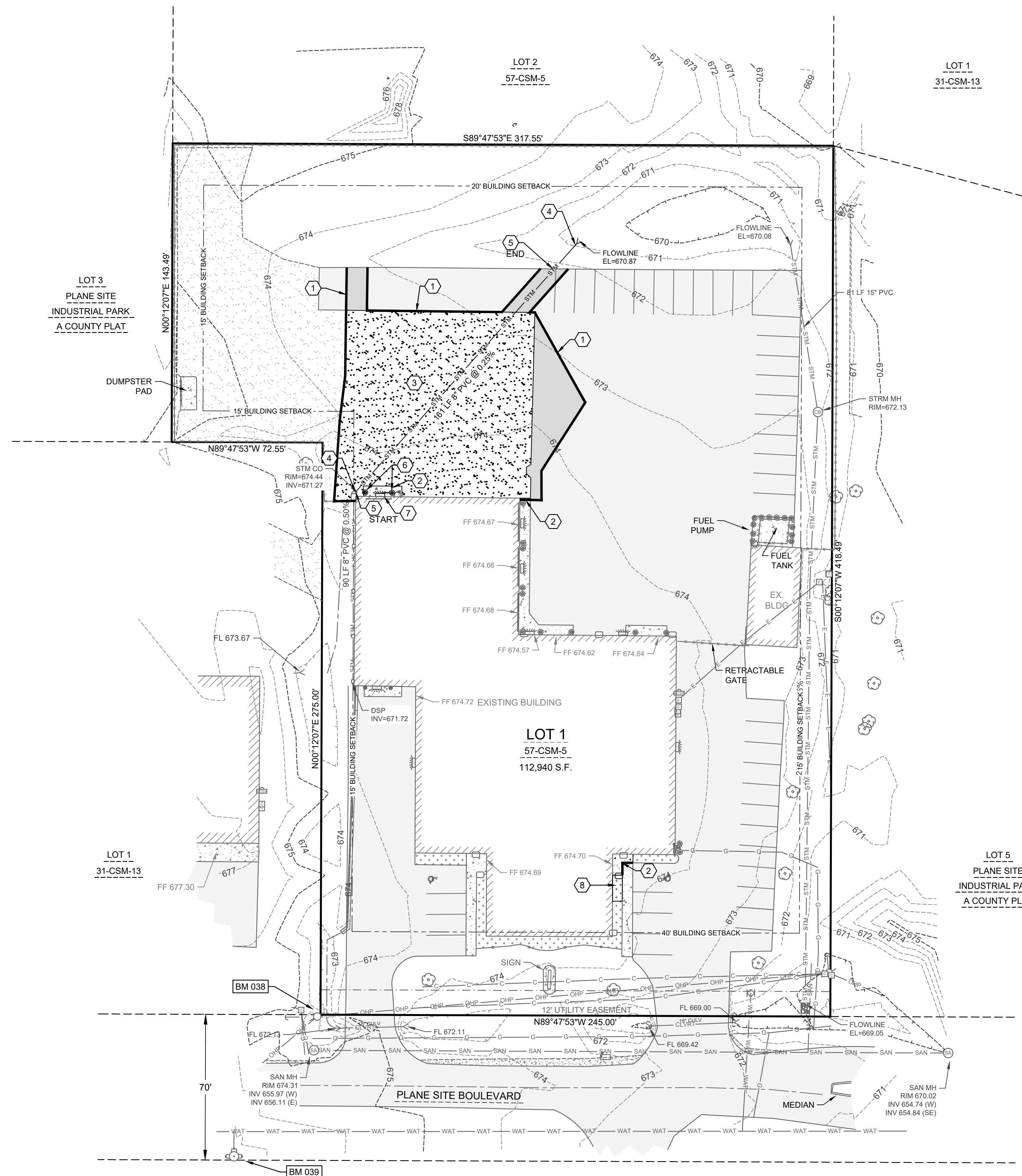
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DATE: 30 DECEMBER 2024

SHEET: **C0.1**

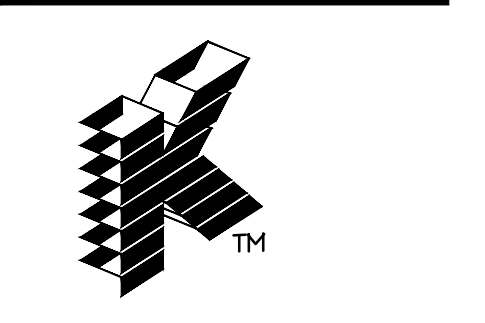
COVER SHEET

Benchmarks		
Label	Elevation	Description
BM 038	674.80	SPIKE IN POWER POLE
BM 039	677.31	HYDRANT TOP NUT



**SHEET KEY NOTES:**

- ① SAW CUT ASPHALT PAVEMENT AND REMOVE
- ② SAW CUT CONCRETE AND REMOVE
- ③ REMOVE / RE-GRADE GRAVEL AS NECESSARY FOR IMPROVEMENTS
- ④ REMOVE STORM SEWER
- ⑤ BACKFILL STORM SEWER TRENCH WITH STRUCTURAL FILL
- ⑥ REMOVE BOLLARD
- ⑦ REMOVE LIGHT FIXTURE
- ⑧ REMOVE LANDSCAPING



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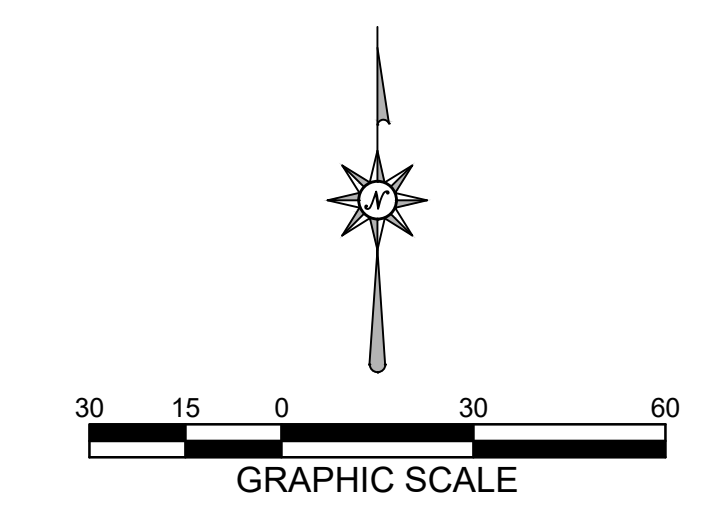
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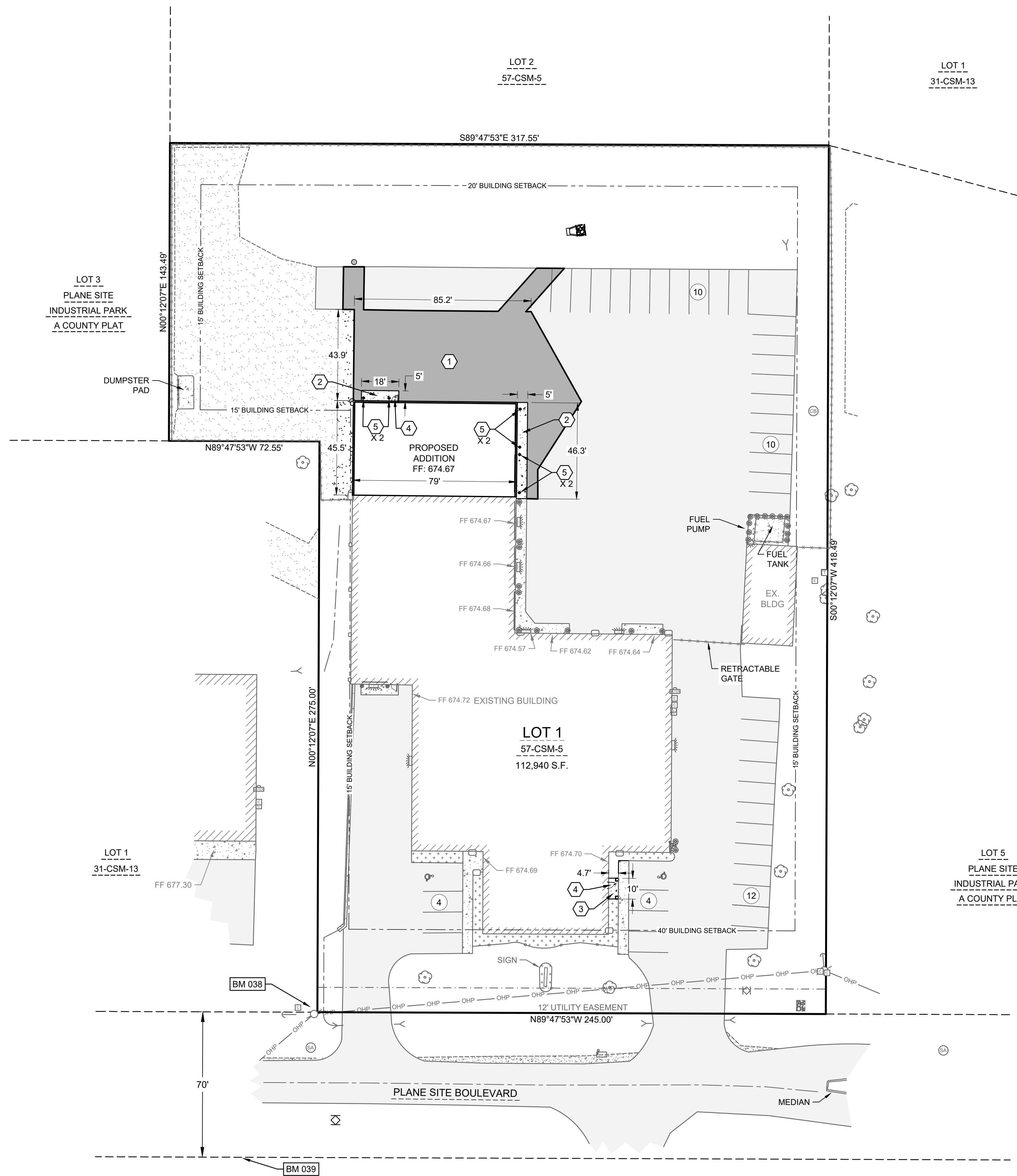
**PROJECT MANAGER:** C.MYHRA  
**DESIGNER:** R.MACH  
**DRAWN BY:** RPH  
**EXPEDITOR:**  
**SUPERVISOR:**  
**PRELIMINARY NO:** P24062  
**CONTRACT NO:**  
**DATE:** 30 DECEMBER 2024  
**SHEET:** **C1.0**



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**DEMOLITION PLAN**

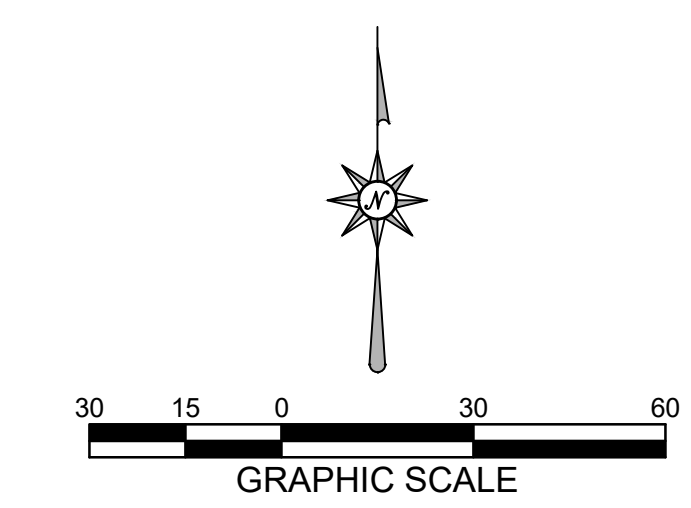


**OWNER**  
 MANDER'S PROPERTIES LLC  
 4209 BLACKBERRY RIDGE DRIVE  
 ONEIDA, WI 54155

- SHEET KEY NOTES:**
- ① STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
  - ② CONCRETE PAVEMENT; SEE DETAIL B SHEET C6.0
  - ③ CONCRETE SIDEWALK; SEE DETAIL C SHEET C6.0
  - ④ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
  - ⑤ BOLLARD; SEE DETAIL D SHEET C6.0
  - ⑥ 4" WIDE PAINT STRIPE; COLOR BY OWNER

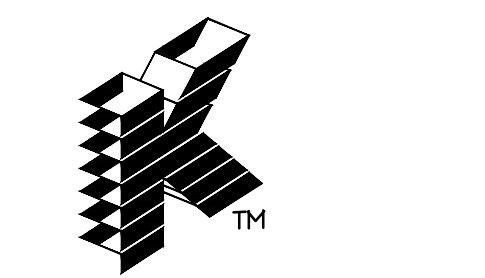
**SITE STATISTICS**

PARCEL ADDRESS:	1396 PLANE SITE BOULEVARD
PARCEL NUMBER:	HB-949-3
PARCEL SIZE:	112,940 SF (2.59 AC)
ZONING:	I-1: LIMITED INDUSTRIAL DISTRICT
<b>EXISTING SITE</b>	
GREEN SPACE:	33,989 SF (30.1%)
IMPERVIOUS AREA	
BUILDING:	22,676 SF (20.1%)
PAVEMENT:	56,275 SF (49.8%)
TOTAL IMPERVIOUS:	78,951 SF (69.9%)
<b>PROPOSED SITE</b>	
TOTAL DISTURBED AREA:	11,269 SF (0.26 AC)
GREEN SPACE REQUIRED:	28,235 SF (0.25%)
GREEN SPACE PROVIDED:	34,010 SF (30.1%)
IMPERVIOUS AREA	
BUILDING:	26,271 SF (23.3%)
PAVEMENT:	52,659 SF (46.6%)
TOTAL IMPERVIOUS:	78,930 SF (69.9%)
<b>PARKING PROVIDED</b>	
PARKING SPACES REQ'D/CALCS:	1 STALL PER 1,000 SF BUILDING AREA OR 1 PER 2 EMPLOYEES 26,271 SF / 1,000 SF = 27 STALLS OR X EMPLOYEES / 2 = X STALLS
PARKING SPACES PROVIDED:	40 STALLS PROVIDED; INCLUDES 2 ADA HANDICAP STALLS



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**PROJECT MANAGER:**  
C.MYHRA

**DESIGNER:**  
R.MACH

**DRAWN BY:**  
RPH

**EXPEDITOR:**  
-----

**SUPERVISOR:**  
-----

**PRELIMINARY NO:**  
P24062

**CONTRACT NO:**  
-----

**DATE:**  
30 DECEMBER 2024

**SHEET:**

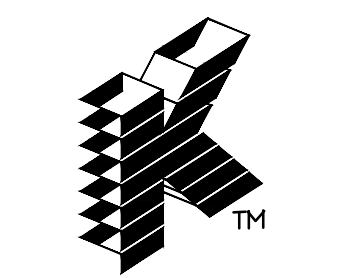
**C2.0**

**SITE PLAN**

**PRELIMINARY - NOT FOR CONSTRUCTION**



Benchmarks		
Label	Elevation	Description
BM 038	674.80	SPIKE IN POWER POLE
BM 039	677.31	HYDRANT TOP NUT



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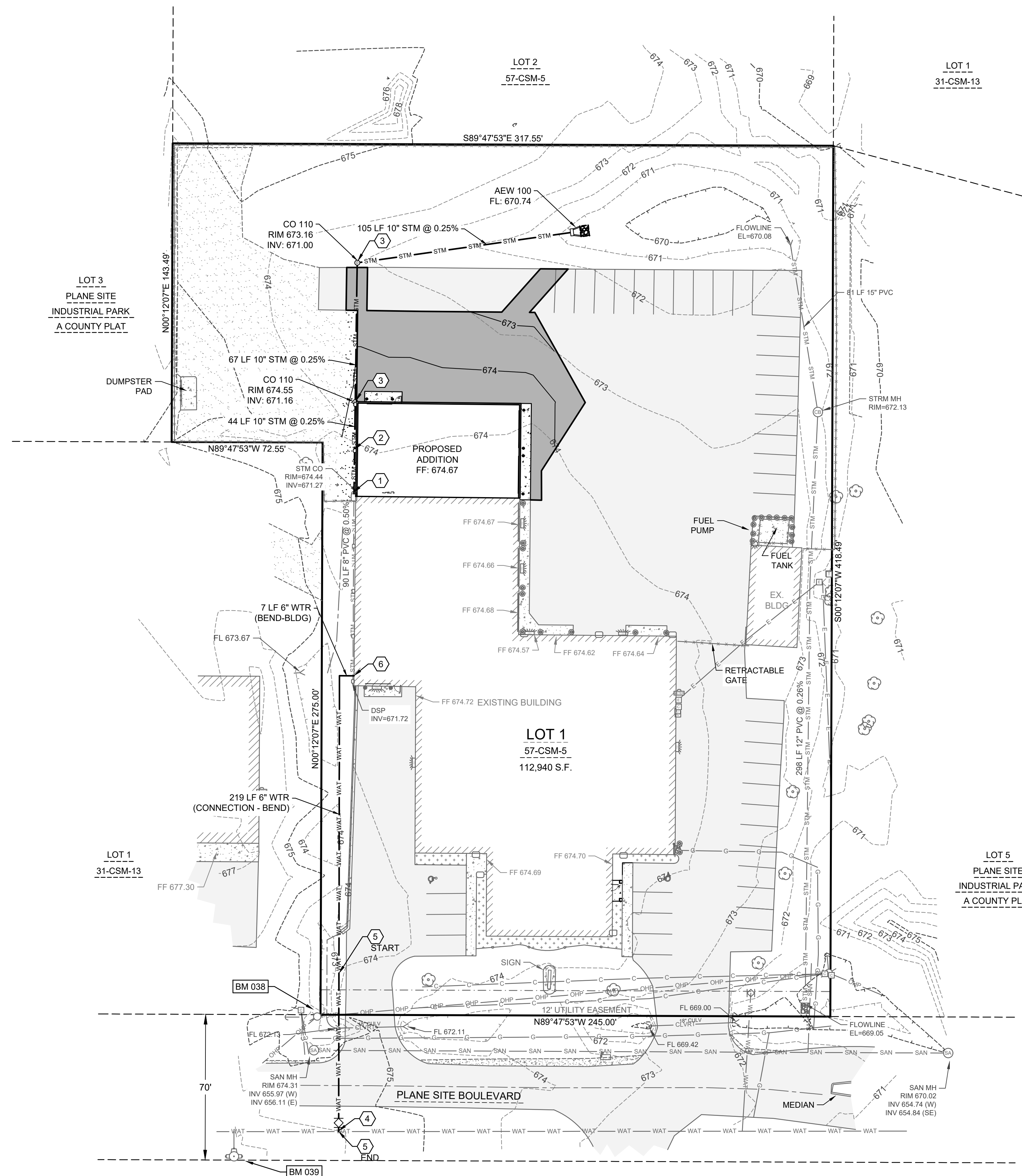
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**SHEET KEY NOTES:**

- CONNECT TO EXISTING STORM CLEANOUT
- ROOF DRAIN CONNECTION LINE. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS; REFER TO DETAIL G SHEET C6.0
- STORM CLEANOUT; SEE DETAIL E SHEET C6.0, CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- CONNECT TO EXISTING WATERMAIN; SEE DETAIL F SHEET C6.0
- DIRECTIONALLY DRILL AND INSTALL WATER SERVICE (APPROX. 76 LF)
- COORDINATE CONNECTION TO BUILDING WITH ARCHITECTURAL AND PLUMBING PLANS

**UTILITY NOTES:**

- WATER SERVICE SHALL C900 PVC. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
- ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
- ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
- WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
- STORM SEWER SHALL BE PVC SDR 35 (ASTM-D-3034) OR SCH 40.
- NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
- CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S STANDARD SPECIFICATIONS.

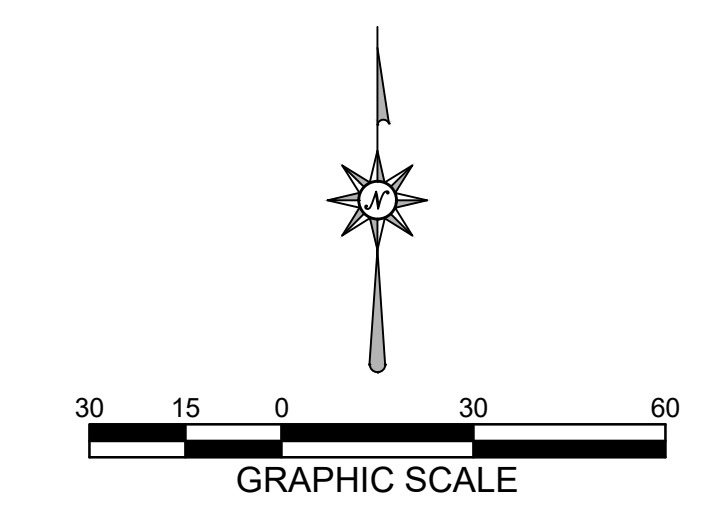
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**PROJECT MANAGER:** C.MYHRA  
**DESIGNER:** R.MACH  
**DRAWN BY:** RPH  
**EXPEDITOR:**  
**SUPERVISOR:**  
**PRELIMINARY NO:** P24062  
**CONTRACT NO:**  
**DATE:** 30 DECEMBER 2024  
**SHEET:** C3.0



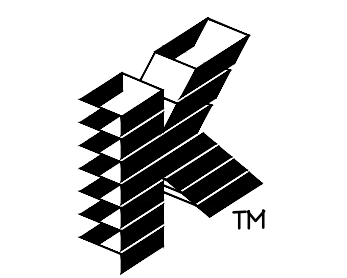
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**UTILITY PLAN**

Benchmarks		
Label	Elevation	Description
BM 038	674.80	SPIKE IN POWER POLE
BM 039	677.31	HYDRANT TOP NUT



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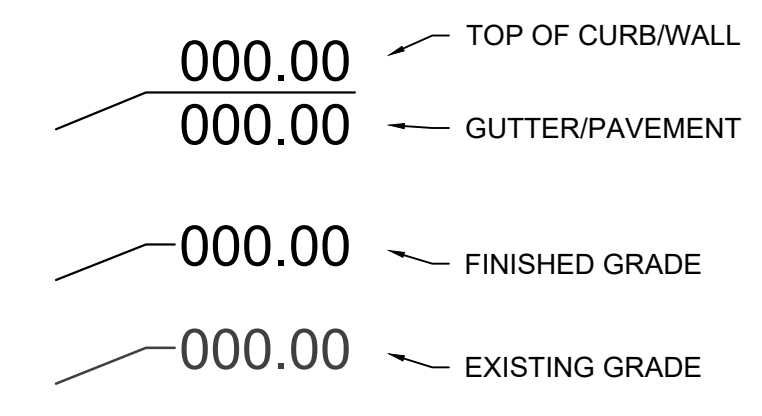
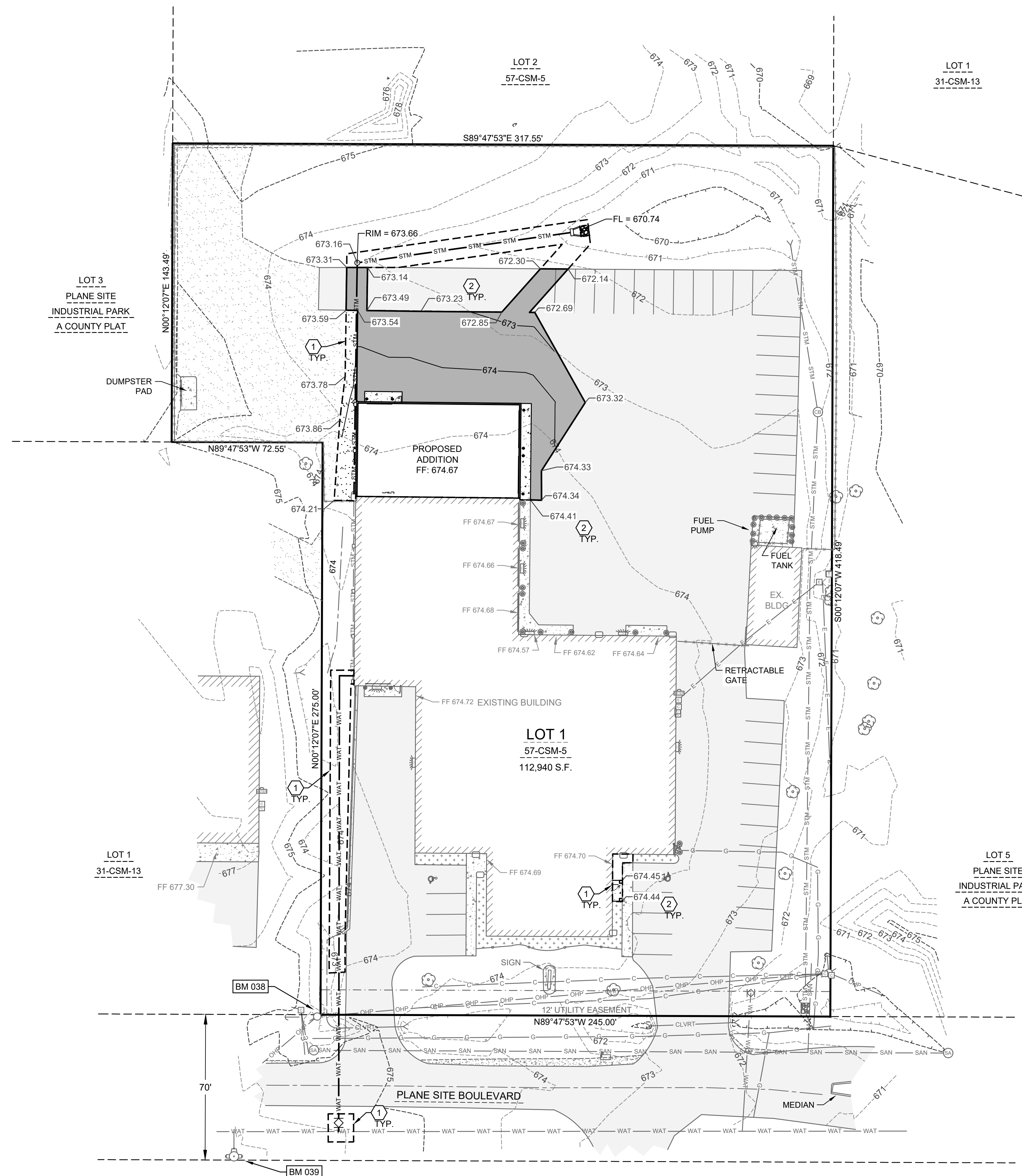
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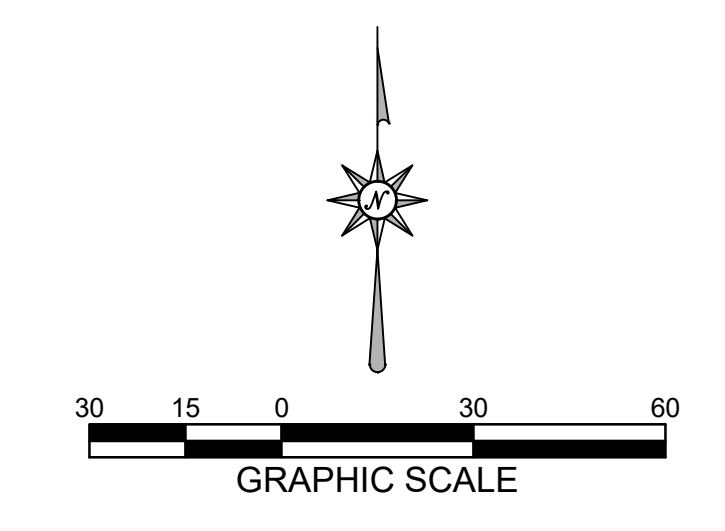
**SHEET KEY NOTES:**

- ① CONSTRUCTION / GRADING LIMITS
- ② SPOT GRADE; SEE DETAIL A THIS SHEET



(A)

SPOT GRADE KEY



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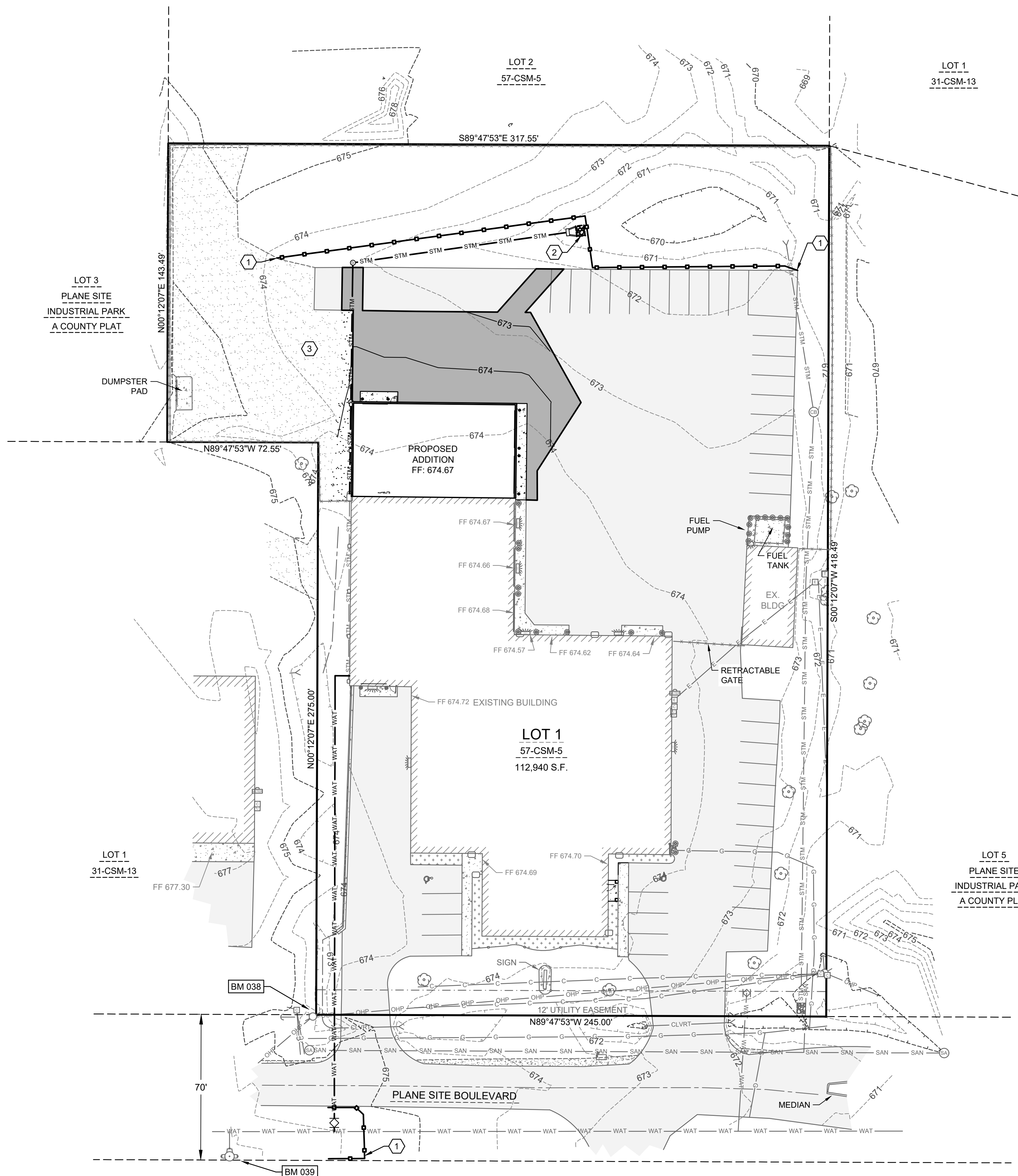
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**PROJECT MANAGER:** C.MYHRA  
**DESIGNER:** R.MACH  
**DRAWN BY:** RPH  
**EXPEDITOR:**  
**SUPERVISOR:**  
**PRELIMINARY NO:** P24062  
**CONTRACT NO:**  
**DATE:** 30 DECEMBER 2024  
**SHEET:**

**C4.0**

GRADING PLAN

PRELIMINARY - NOT FOR CONSTRUCTION



**SHEET KEY NOTES:**

- ① SILT FENCE; SEE DETAIL A SHEET C5.1
- ② ENERGY DISSIPATOR; SEE DETAIL B SHEET C5.1
- ③ TEMPORARY STOCKPILES

**CONSTRUCTION SEQUENCE:**

- SPRING 2025 TO FALL 2025**
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
  - STRIP TOPSOIL WITHIN GRADING LIMITS
  - ROUGH GRADE SITE
  - CONSTRUCT BUILDING
  - INSTALL SITE UTILITIES
  - INSTALL BASE COURSE
  - TOPSOIL, SEED, FERTILIZER AND MULCH/EROSION MAT
  - INSTALL PAVEMENT
  - RE-SEED ANY UNVEGETATED AREAS
  - REMOVE EROSION CONTROL BMPs UPON SITE STABILIZATION

**PLANNED EROSION CONTROL PRACTICES:**

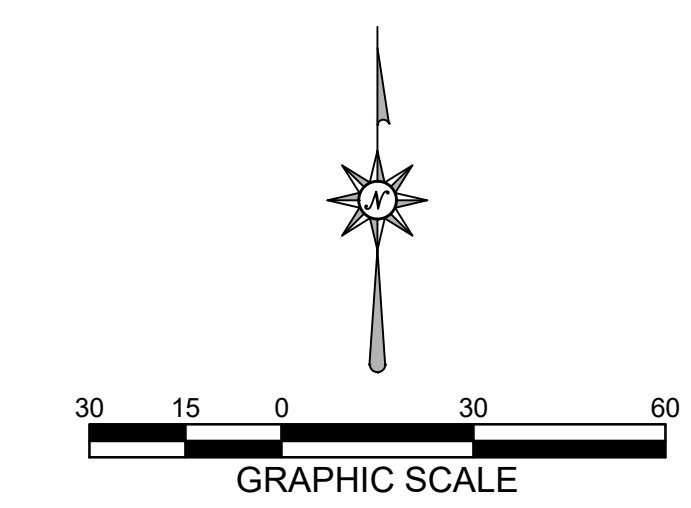
1. **SILT FENCE** (TECH. STANDARD 1056)  
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH STANDARD 1060)  
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH STANDARD 1068)  
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**  
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)  
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1053)  
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH STANDARD 1061)  
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

**MAINTENANCE PLAN:**

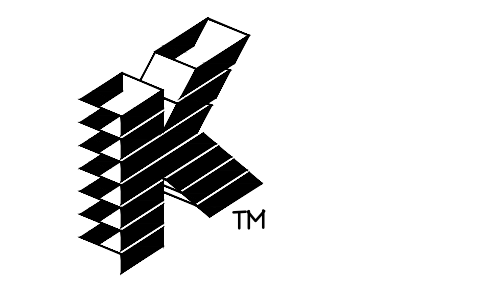
1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

**CONSTRUCTION NOTES:**

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.



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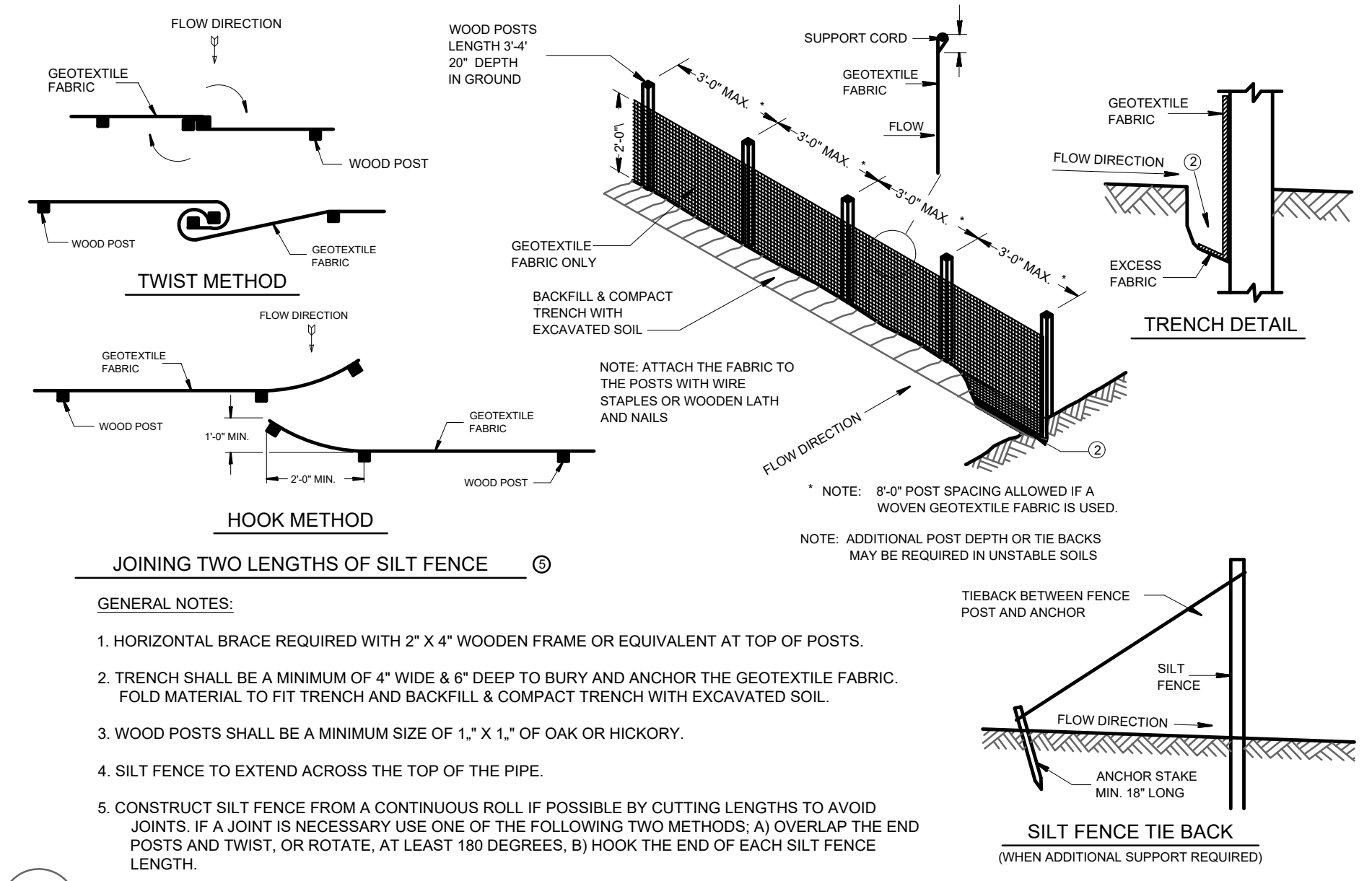
**REVISIONS**

NO.	DESCRIPTION	DATE
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**PROJECT MANAGER:** C.MYHRA  
**DESIGNER:** R.MACH  
**DRAWN BY:** RPH  
**EXPEDITOR:** \_\_\_\_\_  
**SUPERVISOR:** \_\_\_\_\_  
**PRELIMINARY NO:** P24062  
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**SHEET:** **C5.0**

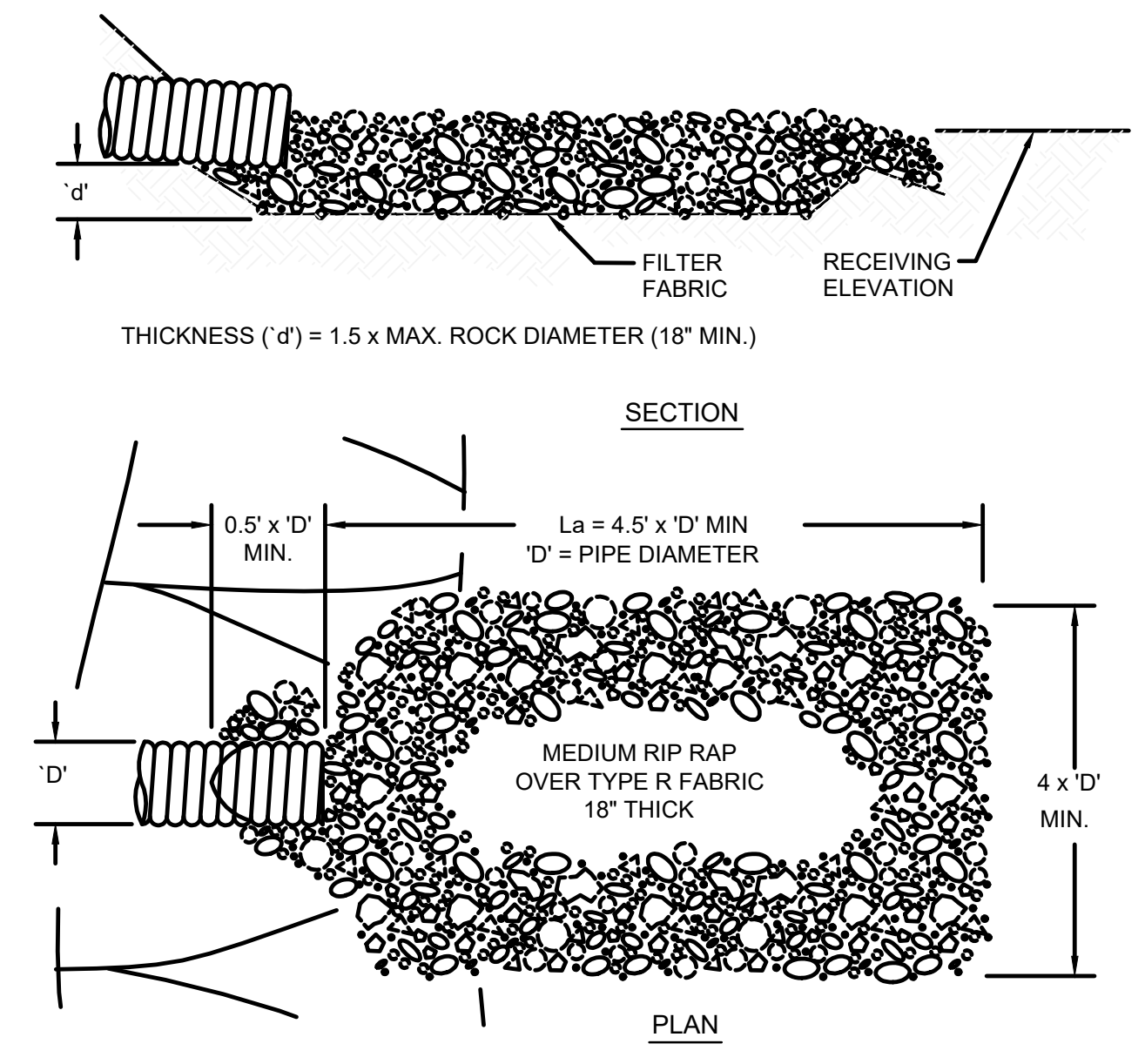
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**EROSION CONTROL PLAN**



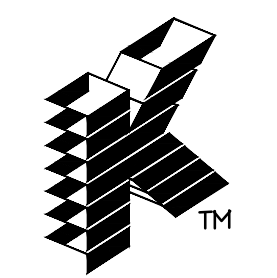
- GENERAL NOTES:**
- HORIZONTAL BRACE REQUIRED WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
  - TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
  - WOOD POSTS SHALL BE A MINIMUM SIZE OF 1" X 1" OF OAK OR HICKORY.
  - SILT FENCE TO EXTEND ACROSS THE TOP OF THE PIPE.
  - CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS: A) OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B) HOOK THE END OF EACH SILT FENCE LENGTH.

**A** SILT FENCE



- NOTES:**
- 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
  - APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
  - FILTER MATERIAL SHALL BE WDOT TYPE HR FILTER FABRIC

**B** ENERGY DISSIPATOR



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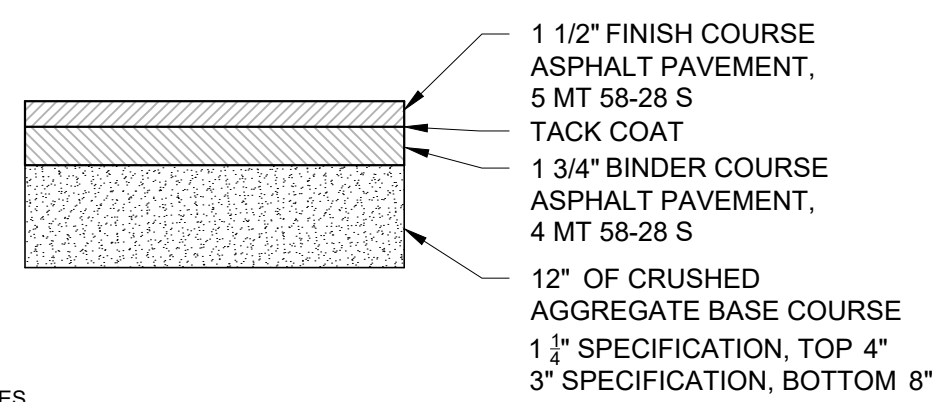
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**PROJECT MANAGER:** C.MYHRA  
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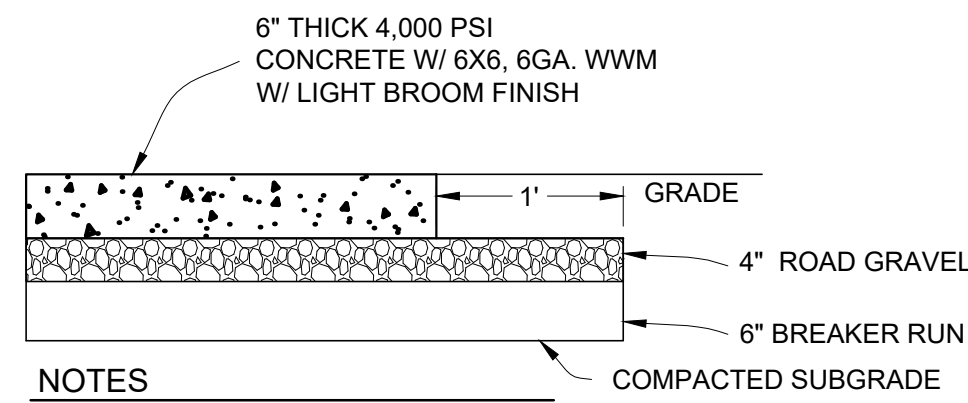
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EROSION CONTROL DETAILS



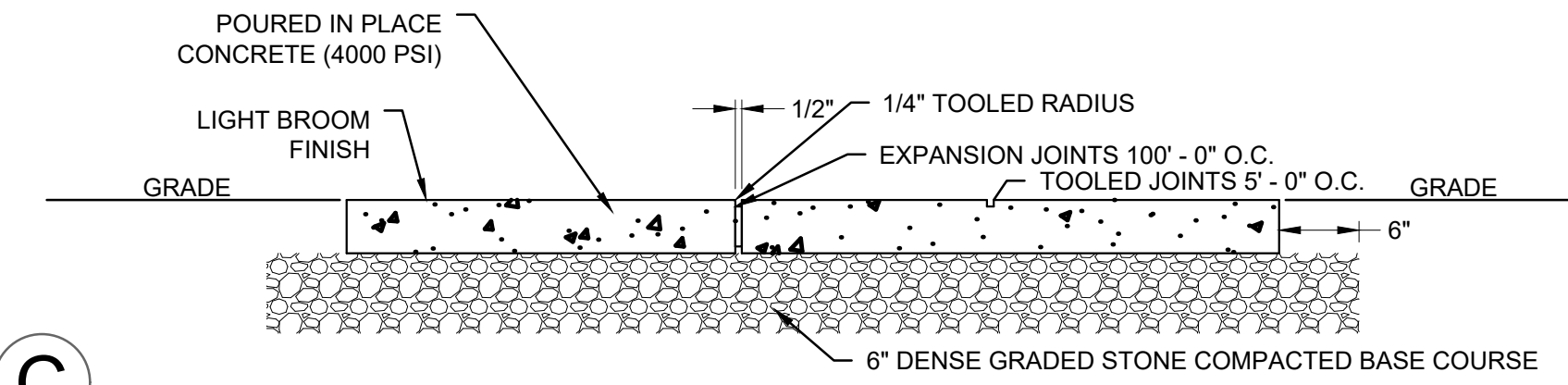
NOTES  
 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

**A** STANDARD DUTY ASPHALT PAVEMENT

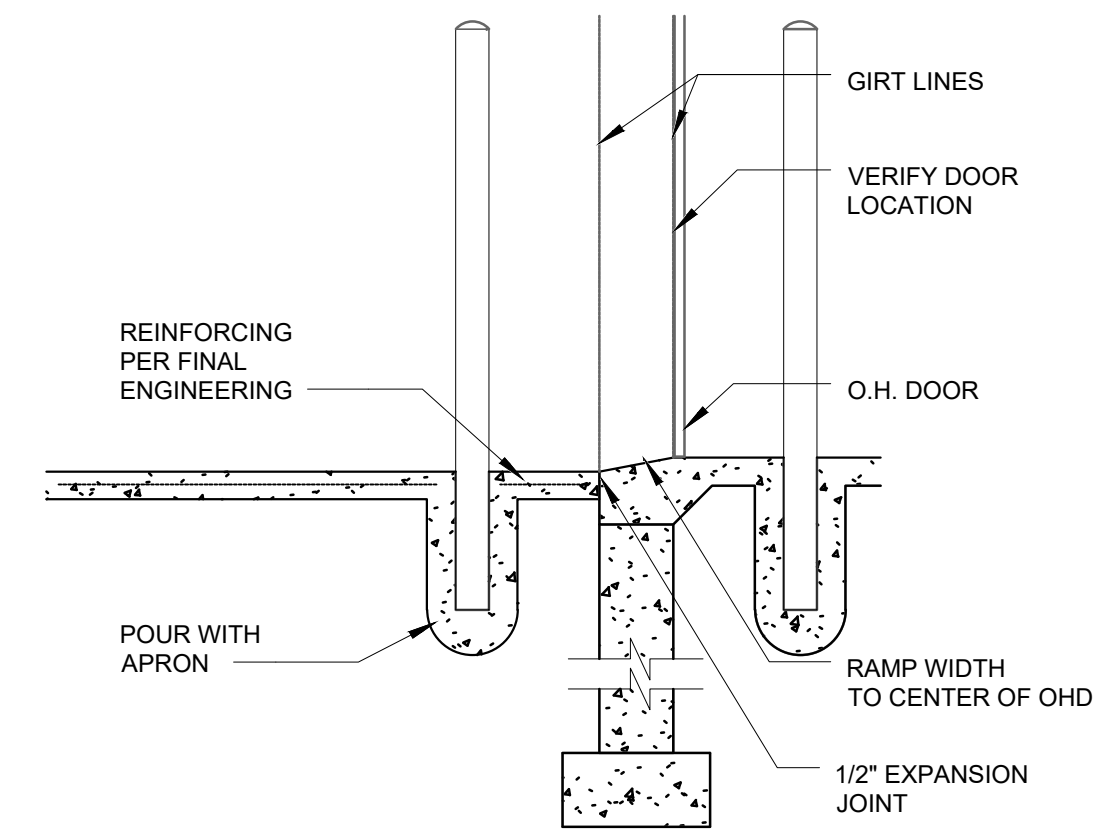


NOTES  
 1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.  
 2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

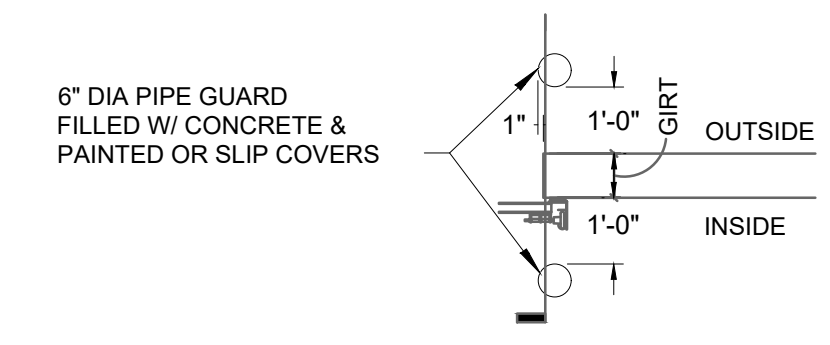
**B** CONCRETE PAVEMENT/SLAB SECTION



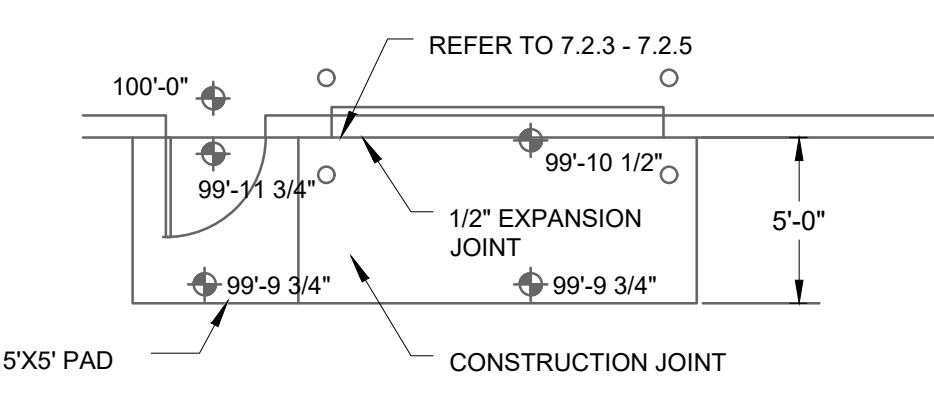
**C** CONCRETE SIDEWALK



APRON GUARD POST DETAIL

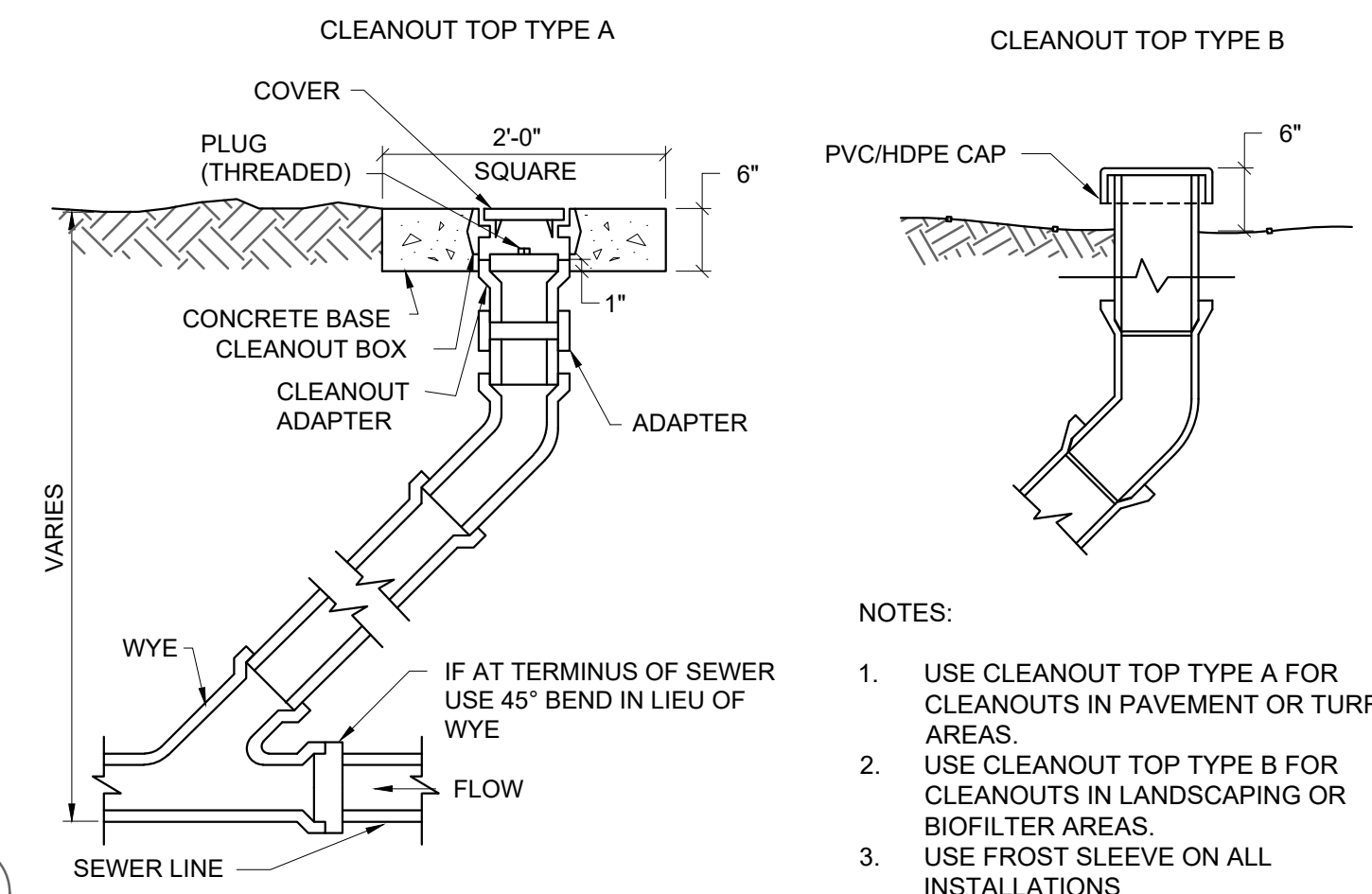


GUARD POST PLAN VIEW



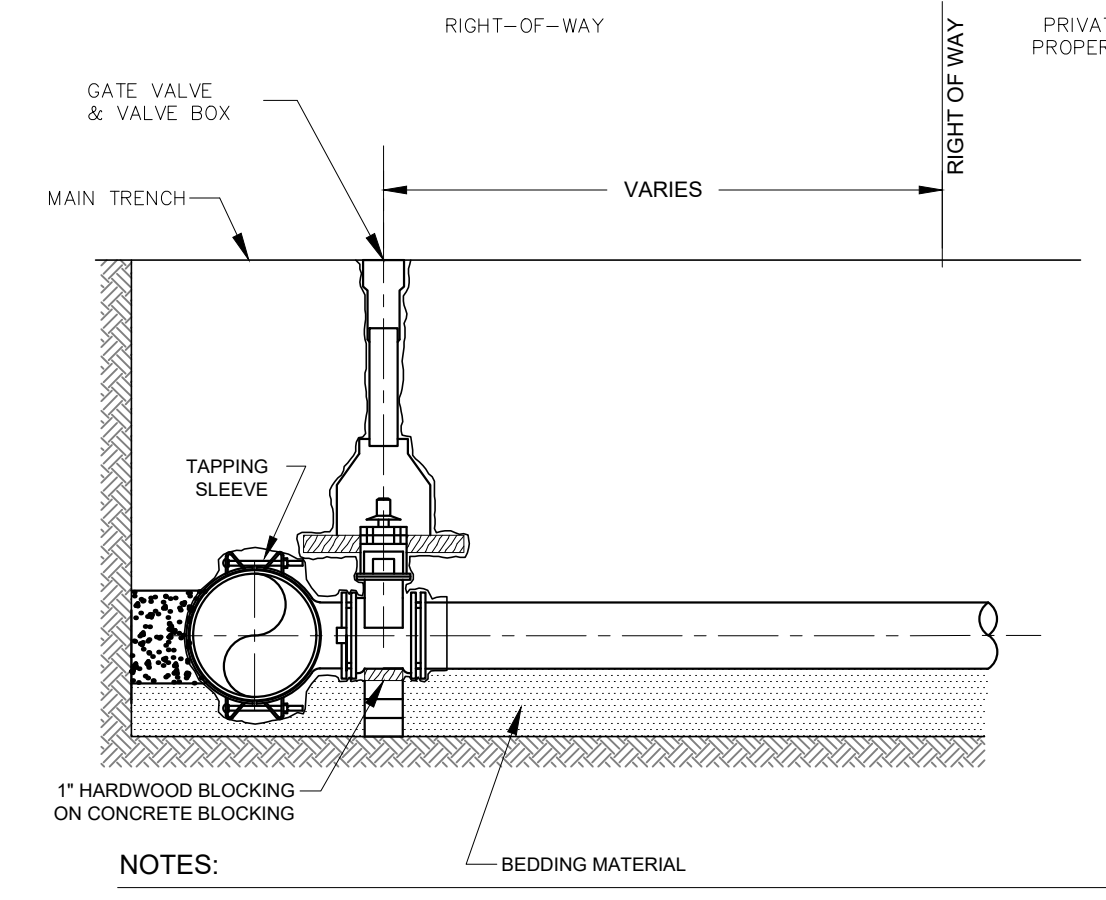
PLAN VIEW @ APRON

**D** PIPE BOLLARD



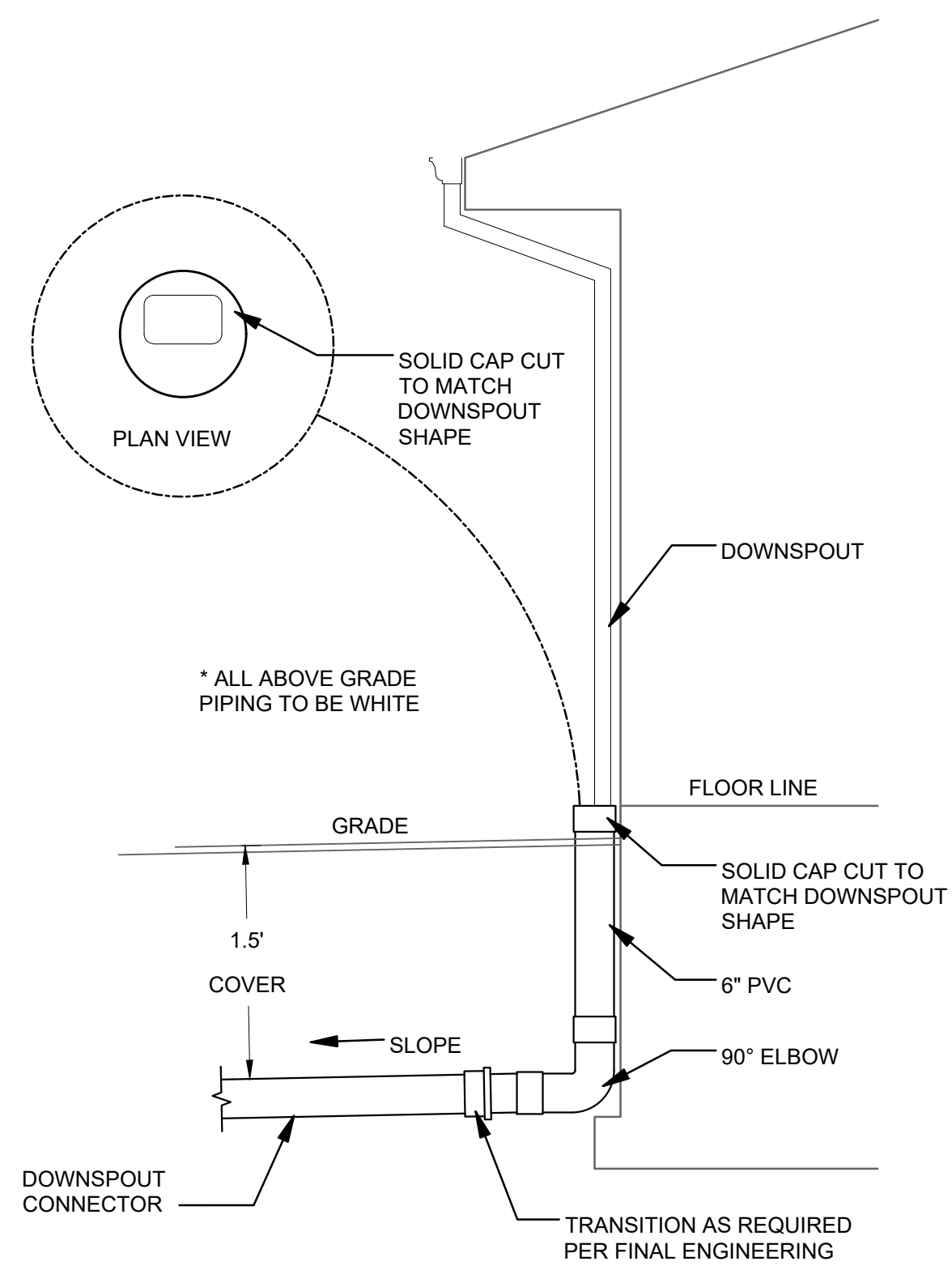
NOTES:  
 1. USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TURF AREAS.  
 2. USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIOFILTER AREAS.  
 3. USE FROST SLEEVE ON ALL INSTALLATIONS.

**E** CLEANOUT

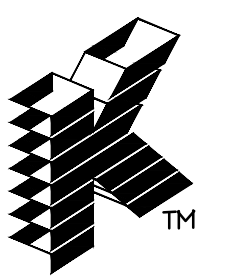


NOTES:  
 1. WATER SERVICE CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.  
 2. DISTANCE FROM CURB STOP TO RIGHT OF WAY LINE VARIES BY MUNICIPALITY. CONTRACTOR SHALL CONTACT LOCAL PUBLIC WORKS/WATER DEPARTMENT TO COORDINATE CURB STOP PROXIMITY TO RIGHT OF WAY LINE.  
 3. PROVIDE FROST PROTECTION ON SERVICE BOX IN ACCORDANCE WITH STATE STANDARDS.  
 4. PIPE MATERIAL SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARD.

**F** LARGE SERVICE CONNECTION WITH TAPPING SLEEVE



**G** DOWNSPOUT DETAIL



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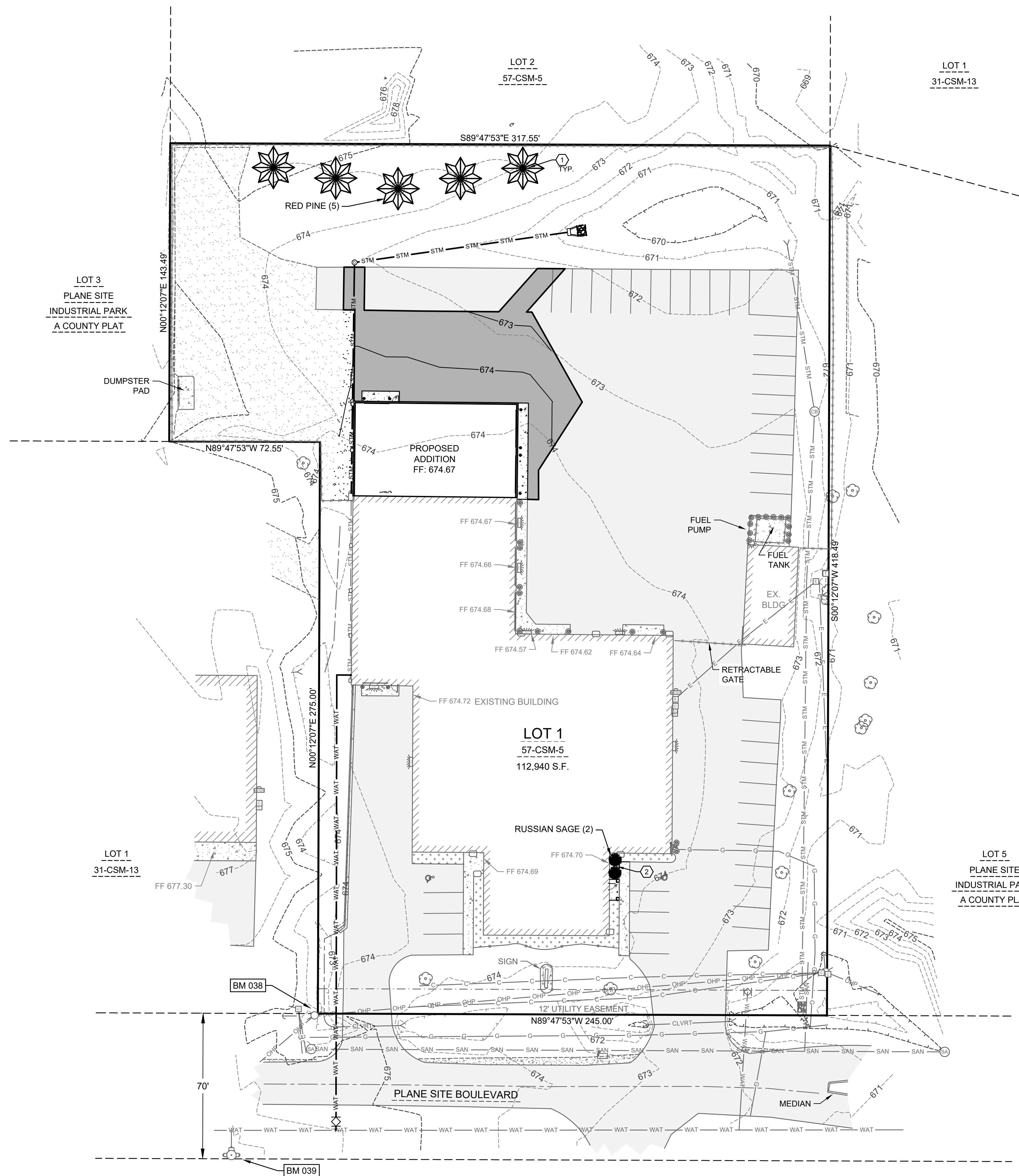
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SITE DETAILS

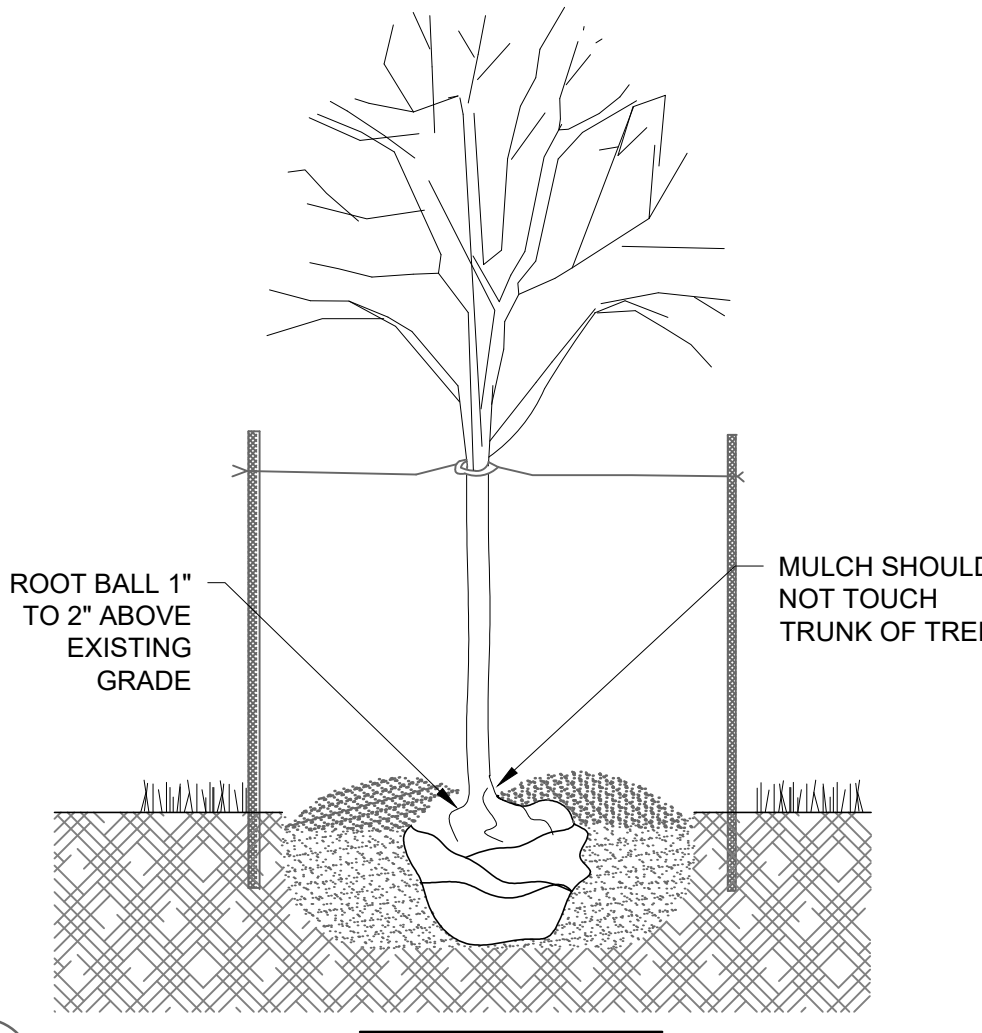
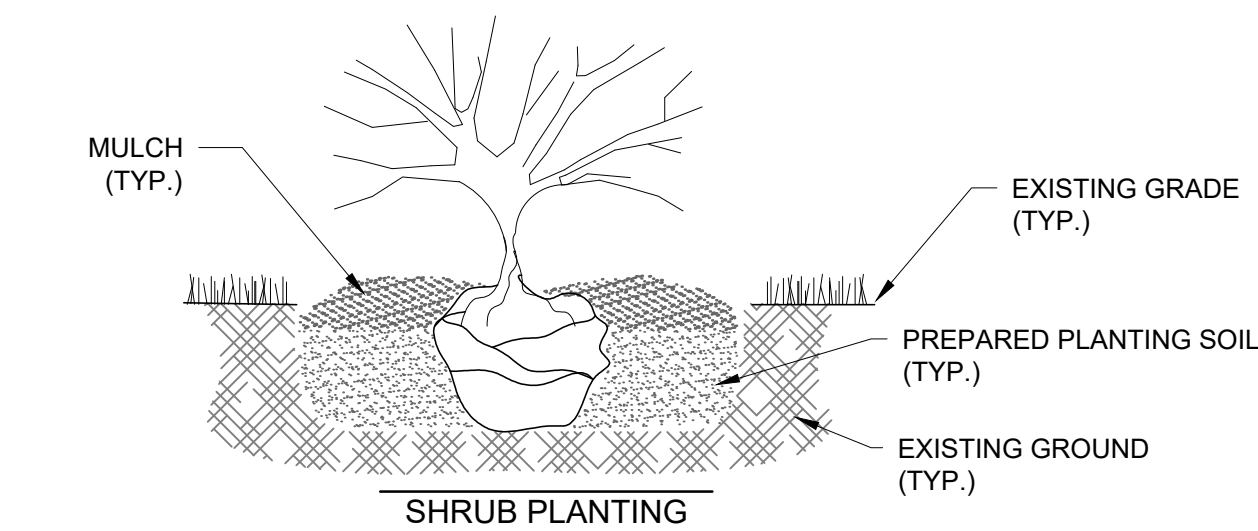


**SHEET KEY NOTES:**

- ① 6" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH; SEE DETAIL A THIS SHEET
- ② MATCH EXISTING LANDSCAPE BEDDING MATERIAL WHERE CONCRETE HAS BEEN REMOVED

**PLANT TABLE**

SYMBOL	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
	RED PINE	PINUS RESINOSA	5	6"
	RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA 'RUSSIAN SAGE'	2	3"



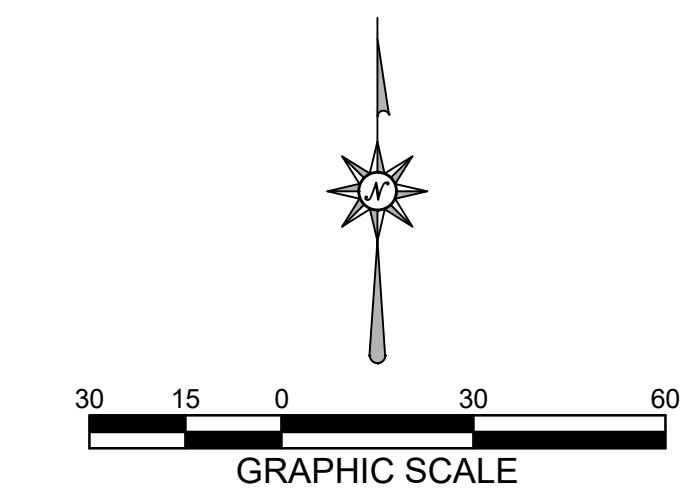
**A**  
PLANTING DETAIL

**PLANTING NOTES:**

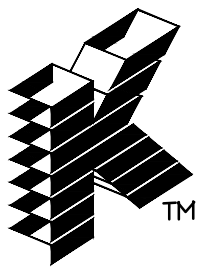
1. PLANTING HOLE SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL, AND EQUAL TO THE DEPTH OF THE ROOT BALL.
2. EXCAVATED SOIL FROM PLANTING HOLE SHALL BE MIXED WITH 1 PART POTTING SOIL TO 2 PARTS EXCAVATED SOIL.
3. PLANT SO THAT THE ROOT COLLAR WILL BE 1" TO 2" ABOVE EXISTING GRADE.
4. IF BALLED AND BURLAPED, PLACE PLANT IN HOLE, CUT THE BALLING TWINE, AND PEEL BACK THE TOP TWO THIRDS OF BURLAP. IF POTTED REMOVE POT, AND PLACE PLANT INTO HOLE.
5. BACKFILL HOLE WITH PREPARED SOIL, AND MOUND SOIL 2" TO 3" HIGH IN A RING AT THE PERIMETER OF THE EXCAVATED HOLE. WATER AND SMOOTH RING PRIOR TO MULCHING.
6. MULCH WITH 3" OF SHREDDED HARDWOOD MULCH OR LANDSCAPE STONE (RIVER ROCK, NOT CRUSHED STONE).
7. IF STAKING IS REQUIRED FOR TREES TWO STAKES SHALL BE USED ONE ON THE PREVAILING WIND SIDE OF THE TREE, AND THE OTHER STAKE ON THE OPPOSITE SIDE. STAKES SHALL BE FASTENED TO THE TREE USING RUBBER TUBING, OR NYLON STRAPPING.

**LANDSCAPE NOTES**

1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED, EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH WdOt No. 40 GRASS MIX.



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**REVISIONS**

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6		

**PROJECT MANAGER:** C.MYHRA

**DESIGNER:** R.MACH

**DRAWN BY:** RPH

**EXPEDITOR:** \_\_\_\_\_

**SUPERVISOR:** \_\_\_\_\_

**PRELIMINARY NO:** P24062

**CONTRACT NO:** \_\_\_\_\_

**DATE:** 30 DECEMBER 2024

**SHEET:** **L1.0**

**PRELIMINARY - NOT FOR CONSTRUCTION**

**LANDSCAPE PLAN**

**SHEET INDEX**

- C1.0 CONCEPTUAL SITE PLAN
- D1.0 EXISTING / DEMOLITION FLOOR PLAN
- A1.0 FLOOR PLAN
- A1.1 MEZZANINE PLAN, BUILDING SECTION
- A2.0 BUILDING ELEVATIONS
- A3.0 BUILDING SECTIONS
- A7.0 REFLECTED CEILING PLAN, FOUNDATION PLANS

**BUILDING & FIRE AREA SQUARE FOOTAGES**

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	21,510 S.F.	3,595 S.F.	25,105 S.F.
CANOPIES (COLUMN SUPPORTED)	91 S.F.	49 S.F.	140 S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	21,601 S.F.	3,644 S.F.	25,245 S.F.
MEZZANINES	2,573 S.F.	----- S.F.	2,573 S.F.
FIRE AREA TOTALS	24,174 S.F.	3,644 S.F.	27,818 S.F.
REMODEL AREA TOTALS	----- S.F.	---% OF BUILDING AREA	

**BUILDING CODE ANALYSIS**

- PROJECT ADDRESS**  
Street, City, State, Zip
- APPLICABLE CODES**  
2015 International Building Code (w/ WI Amendments)  
2015 IECC
- OCCUPANCY**  
S-1, B, F-1  
Accessory Use  
Incidental Use  
NA  
High-Piled Combustible Storage NO  
Hazardous Materials NO  
Multiple Control Areas NO
- HEIGHT & AREA**  
Building Height: 17'-0" Maximum Allowed: 75'-0"  
Number of Stories: 1 Maximum Allowed: 3  
Total Building Area: 25,245 S.F. Maximum Allowed: 79,642 S.F.  
Total Fire Area: 27,464 S.F. Maximum Allowed: 79,642 S.F.  
Mixed/Separated Occupancies  
Unlimited Area Building NO
- CONSTRUCTION TYPE**  
Construction Classification IIB  
Fire Separation Distance 10'-0" TO PROPERTY LINE
- FIRE PROTECTION SYSTEMS**  
Assumed Sprinkler Type NFPA 13  
Fire Alarm System NO
- MEANS OF EGRESS**  
Occupant Load --  
Panic Hardware NO
- STRUCTURAL DESIGN**  
Risk Category II  
Design Loads  
Roof Live Load 20 psf  
Walk-on IMP Ceiling Live Load -- psf  
Steel Framing  
Collateral Load 3 psf  
Wood Truss  
Top Chord Dead Load -- psf  
Bottom Chord Load -- psf  
Mezzanine/Second Floor/Basement/Mezz Live Load -- psf  
Point Load (Partition) -- psf  
Snow Load Criteria  
Ground Snow Load (Pg) 40 psf  
Exposure Factor (Ce) 1.0  
Thermal Factor (Ct) 1.0  
Wind Loads  
Wind Load 105 MPH  
Surface Roughness B  
Exposure Category B  
Earthquake Load Criteria  
Soil Site Class D  
Ss --  
S1 --
- PLUMBING SYSTEMS**  
Mens WC Required #  
Womens WC Required #  
Drinking Fountain Required #  
Other Source YES/NO  
Ambulatory Stall Required YES/NO
- MECHANICAL SYSTEMS**  
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU  
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

**SITE INFORMATION**

**SITE CONTENT**

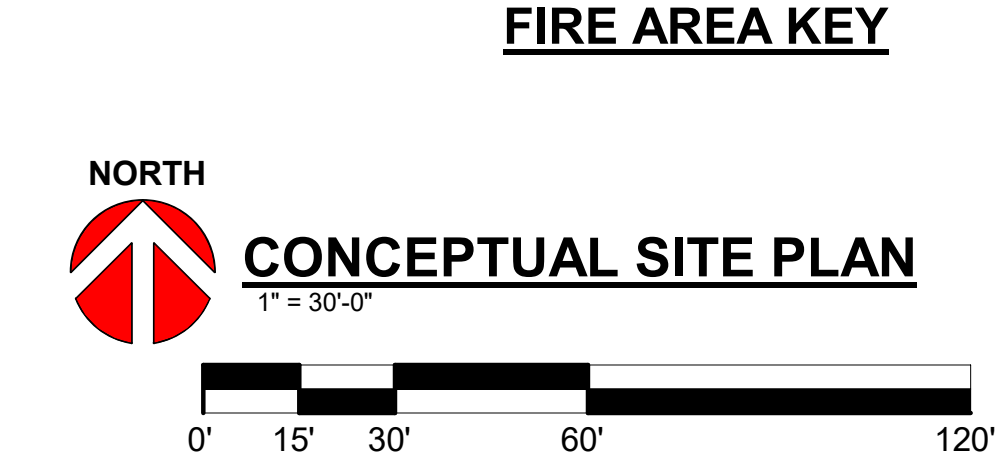
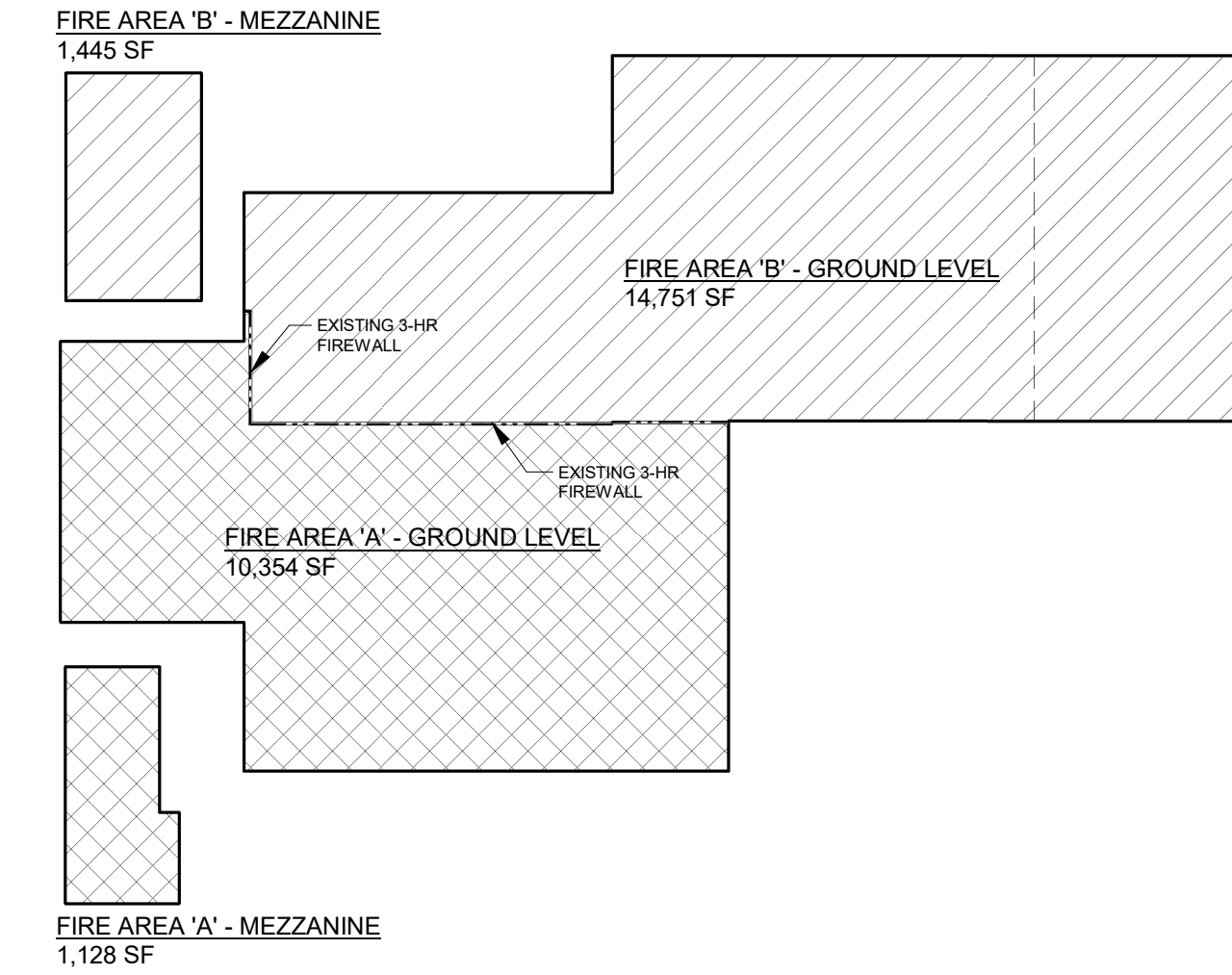
Building Size	25,122 S.F.	22.24%
Hard Surface	50,221 S.F.	44.47%
Green Space	37,597 S.F.	33.29%
Parcel Size (Approx.)	112,940 S.F.	2.59 Acres
Parking Provided	-- Stalls	
Area of Disturbance	-- S.F.	

**ZONING**

Property Zoning	FY... SY... RY...
Setbacks	---
Hard Surface Setback	---
Coverage Limit	---
Greenspace Requirement	---
Parking Required	-- Stalls
Refuse Enclosure	YES/NO
RTU SCREENING	YES/NO



ASSUMED 6" WATER LINE FOR SPRINKLER RISER ~210'



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PROPOSED FOR:

# IDEAL AIR HEATING & COOLING

DE PERE,

WISCONSIN

**Keller**  
PLANNERS | ARCHITECTS | BUILDERS

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MADISON: 711 Loka Dr., Sun Prairie, WI 53590  
MILWAUKEE: W204 N11509, Colldendale Rd, Germantown, WI 53022  
WALSAU: 5605 Llac Ave, Wausau, WI 54401

PHONE (920) 250-9790 / 1-800-236-2534  
PHONE (608) 318-2336 / (608) 318-2337  
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**REVISIONS**

1	04.29.2024	ACM
2	05.03.2024	ACM
3	06.03.2024	ACM
4	06.17.2024	ACM
5	12.04.2024	ACM
6	12.16.2024	ACM

**PRELIMINARY - NOT FOR CONSTRUCTION**

**PROJECT MANAGER:**  
C. MYHRA

**DESIGNER:**  
S. KLESSIG

**INTERIOR DESIGNER:**  
-----

**DRAWN BY:**  
ACM

**EXPEDITOR:**  
-----

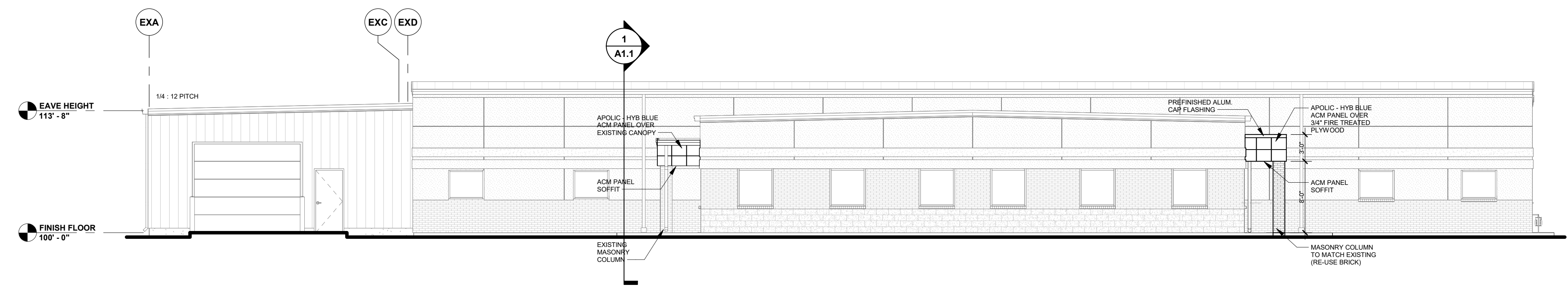
**SUPERVISOR:**  
-----

**PRELIMINARY NO:**  
P24062

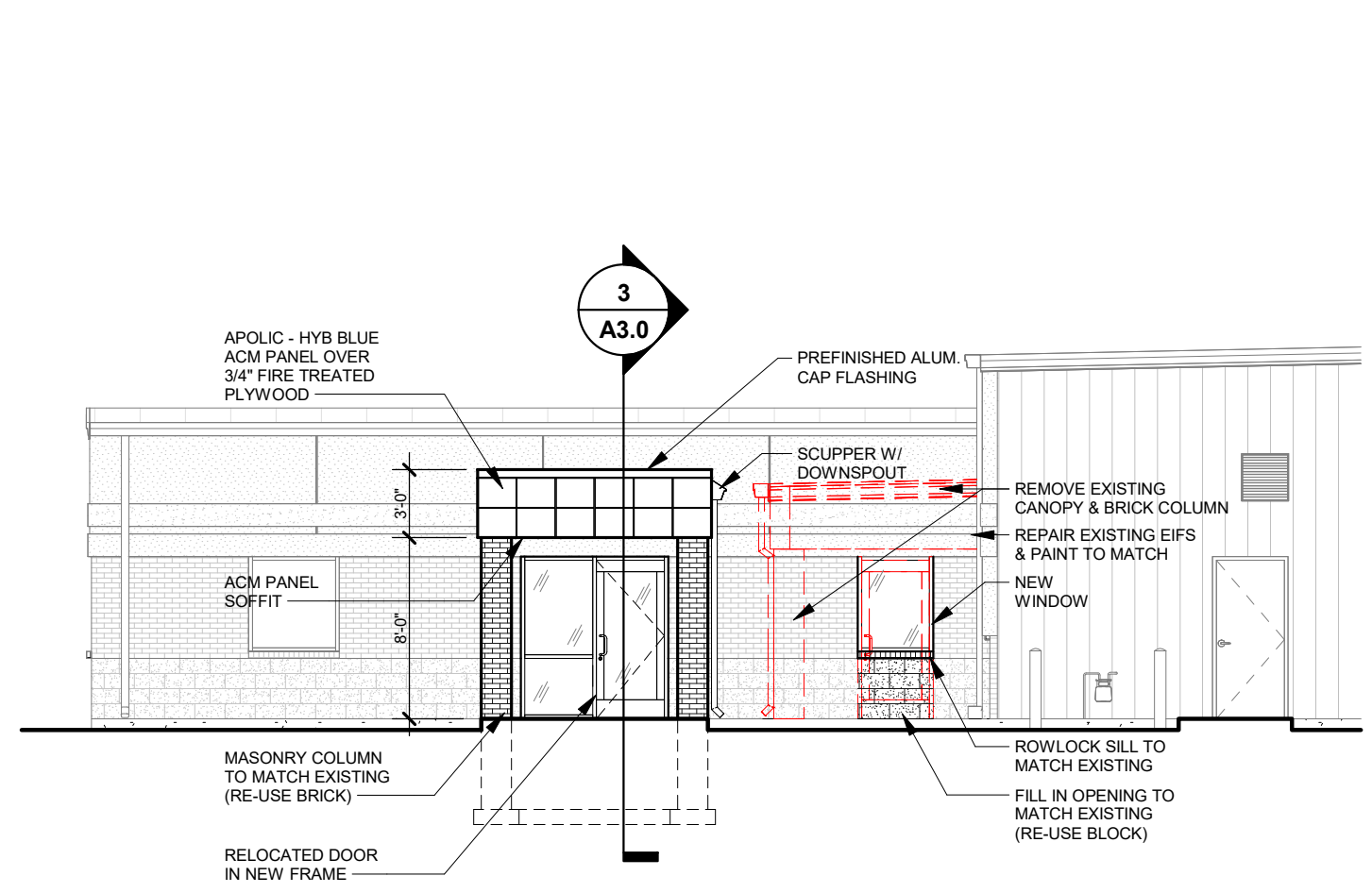
**CONTRACT NO:**  
-----

**DATE:**  
02.22.2024

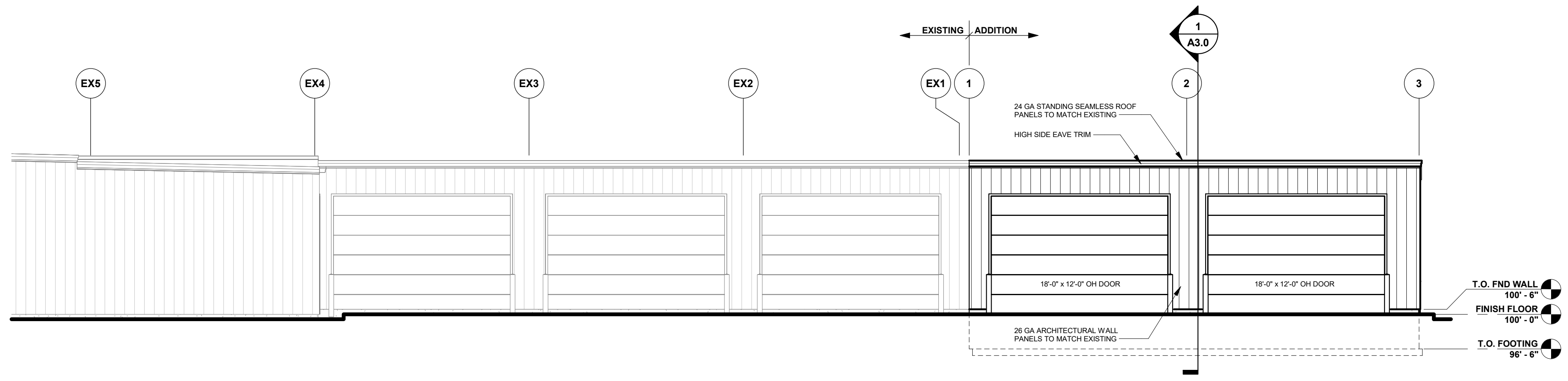
**SHEET:**  
**C1.0**



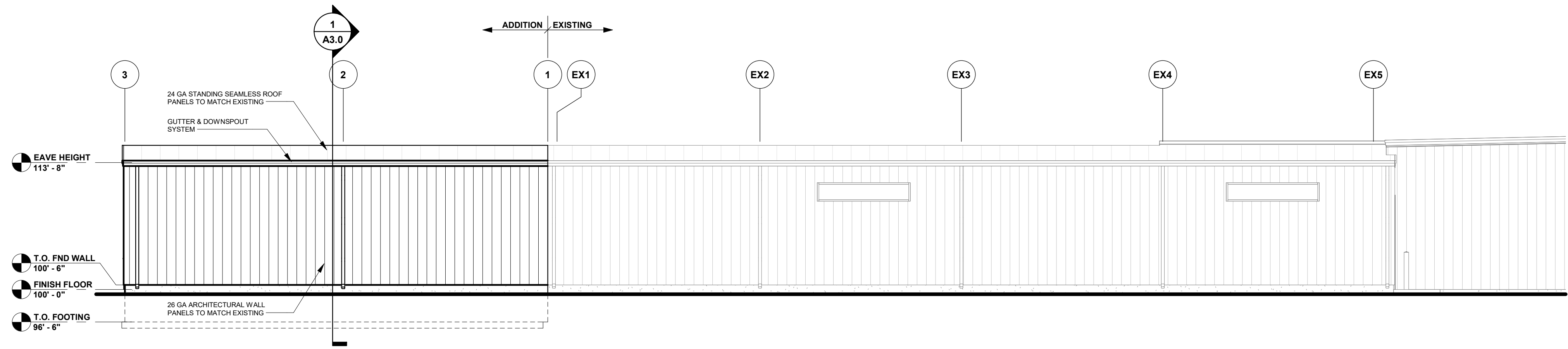
**SOUTH ELEVATION**  
1/8" = 1'-0"



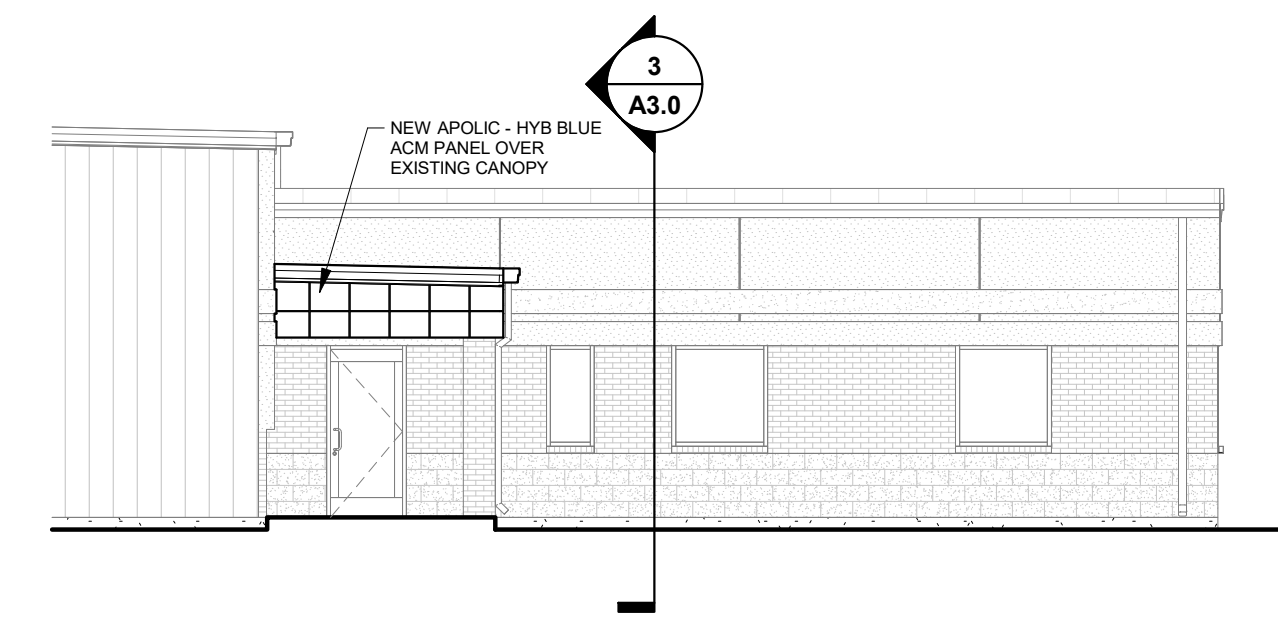
**EAST ELEVATION**  
1/8" = 1'-0"



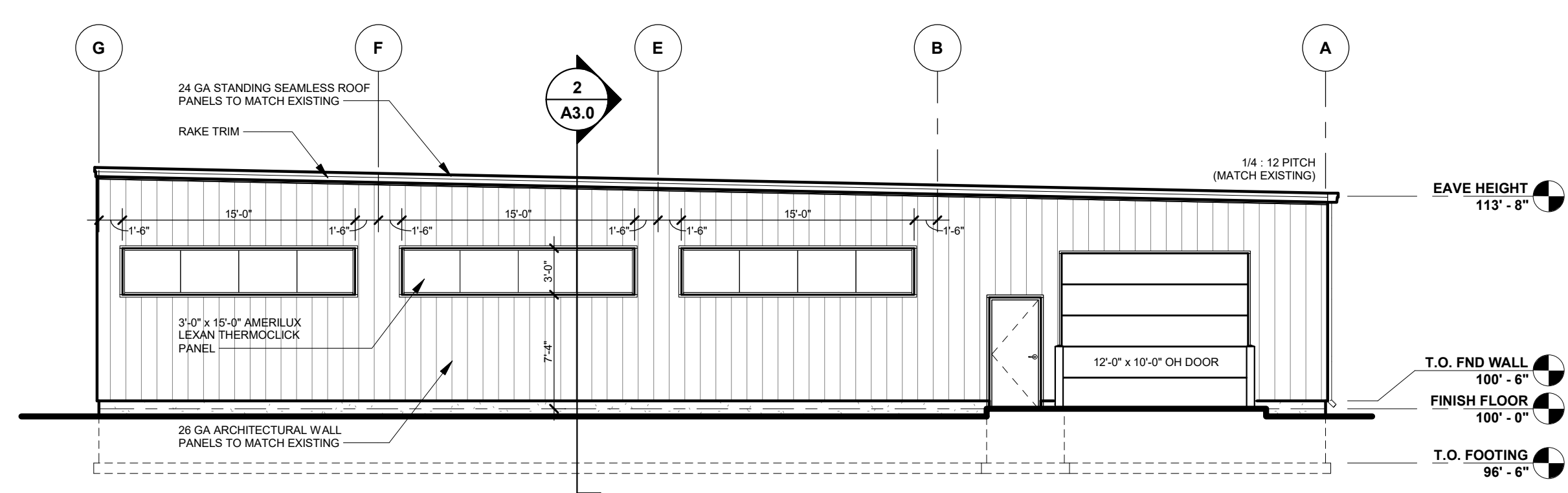
**EAST ELEVATION**  
1/8" = 1'-0"



**WEST ELEVATION**  
1/8" = 1'-0"



**WEST ELEVATION**  
1/8" = 1'-0"



**NORTH ELEVATION**  
1/8" = 1'-0"

**DOOR & WINDOW VALUES**

WINDOWS:	U VALUE	0.--
	SHGC	0.--
	VT	0.--
DOORS:	U VALUE	0.38
(SWINGING)		
O.H. DOORS:	U VALUE	0.15
(NON-SWINGING)		
DOORS:	U VALUE	0.--
(50% GLAZING)	SHGC	0.--
	VT	0.--

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P.O. Box 620  
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**PROJECT MANAGER:**  
C. MYHRA

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**DRAWN BY:**  
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**EXPEDITOR:**  
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**SUPERVISOR:**  
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**PRELIMINARY NO:**  
P24062

**CONTRACT NO:**  
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**DATE:**  
02.22.2024

**SHEET:**  
**A2.0**

**PRELIMINARY - NOT FOR CONSTRUCTION**



SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	21,510 S.F.	3,595 S.F.	25,105 S.F.
CANOPIES (COLUMN SUPPORTED)	91 S.F.	49 S.F.	140 S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	21,601 S.F.	3,644 S.F.	25,245 S.F.
MEZZANINES	2,219 S.F.	----- S.F.	2,219 S.F.
FIRE AREA TOTALS	23,820 S.F.	3,644 S.F.	27,464 S.F.
REMODEL AREA TOTALS	----- S.F.	--% OF BUILDING AREA	

LOT 3  
PLANE SITE  
INDUSTRIAL PARK  
A COUNTY PLAT

### BUILDING CODE ANALYSIS

**PROJECT ADDRESS**

Street, City, State, Zip

**APPLICABLE CODES**

2015 International Building Code (w/ WI Amendments)  
2015 IECC

**OCCUPANCY**

S-1, B, F-1

Accessory Use

Symbol	Qty	Label	Description	LLF
⊙	2	OG1	LITHONIA LBR6 ALO3 (3000LM) SWW1 (4000K) AR LSS WD 80CRI	0.900
⊞	4	OA1	LUMARK XTOR3B	0.900

Incidental Use

NA

High-Piled Combustible Storage

NO

Hazardous Materials

NO

Multiple Control Areas

NO

**HEIGHT & AREA**

Building Height: ---"

Maximum Allowed: ---"

Number of Stories: --

Maximum Allowed: --

Total Building Area: --- S.F.

Maximum Allowed: --- S.F.

Total Fire Area: --- S.F.

Maximum Allowed: --- S.F.

Mixed/Separated Occupancies

YES/NO

Unlimited Area Building

**CONSTRUCTION TYPE**

Construction Classification

IIB

Fire Separation Distance

10'-0" TO PROPERTY LINE

**FIRE PROTECTION SYSTEMS**

Assumed Sprinkler Type

FIREWALLS

Fire Alarm System

NO

**MEANS OF EGRESS**

Occupant Load --

Panic Hardware NO

**STRUCTURAL DESIGN**

Risk Category

II

Design Loads

Roof Live Load

20 psf

Walk-on IMP Ceiling Live Load

-- psf

Steel Framing

Collateral Load

3 psf

Wood Truss

Top Chord Dead Load

-- psf

Bottom Chord Load

-- psf

Mezzanine/Second Floor/Basementoor/Mezz

Live Load

-- psf

Point Load (Partition)

-- psf

Snow Load Criteria

Ground Snow Load (Pg)

40 psf

Exposure Factor (Ce)

1.0

Thermal Factor (Ct)

1.0

Wind Loads

Wind Load

105 MPH

Surface Roughness

B

Exposure Category

B

Earthquake Load Criteria

Soil Site Class

D

Ss

--

S1

--

**PLUMBING SYSTEMS**

Mens WC Required

#

Womens WC Required

#

Drinking Fountain Required

#

Other Source

YES/NO

Ambulatory Stall Required

YES/NO

**MECHANICAL SYSTEMS**

NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU

