



**Village of Hobart**

Village Office 2990 S. Pine Tree Rd, Hobart, WI

[www.hobart-wi.org](http://www.hobart-wi.org) - [www.buildinhobart.com](http://www.buildinhobart.com)

Notice is hereby given according to State Statutes that the **SITE REVIEW COMMITTEE** of the Village of Hobart will meet on **Wednesday October 18<sup>th</sup> 2023 at 5:30 P.M.** at the Hobart Village Office. **NOTICE OF POSTING:** Posted this 13<sup>th</sup> day of October, 2023 at the Hobart Village Office, 2990 S. Pine Tree Rd and on the village's website.

**MEETING NOTICE – SITE REVIEW COMMITTEE**

**Date/Time: Wednesday October 18<sup>th</sup> 2023 (5:30 P.M.)**

**Location: Village Office, 2990 South Pine Tree Road**

**ROUTINE ITEMS TO BE ACTED UPON:**

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of the September 20<sup>th</sup> 2023 meetings (Page 2)
4. Public Comment on Non-Agenda Items

**ACTION ITEMS**

**5. DISCUSSION AND ACTION - New 2,760 square foot commercial building and associated site improvements (Cyrus Dr., Portion of HB-194) (Page 4)**

This portion of property located along Cyrus Dr., adjacent to 1035 Cyrus Dr., is currently undeveloped and utilized as farmland. The proposed project will consist of a new 2,760 square foot, single story, manufacturing/storage facility. Access to the site will be through two new driveways from Cyrus Dr. that provide access to both the loading/unloading area and the employee/visitor parking areas. (Developer: Robert Green; Applicant: Vierbicher / Tonya Wagner)

**6. DISCUSSION AND ACTION - New 2,950 square foot Clubhouse Building and a 784 Square Foot Mail Room/Garage and associated site improvements (Lear Ln., Portion of HB-L159-2) (Page 21)**

This portion of property, located along Lear Ln. at the intersection of Packerland Dr., is currently undeveloped and the proposed project will consist of a new 2,950 square foot Clubhouse building and a 784 square foot Mail Room/Garage. Access to the site will be through a new driveway from Lear Ln. that provides access to both proposed buildings. (Developer: PDK Investments, LLC; Applicant: Vierbicher / David Meister)

**7. DISCUSSION AND ACTION - Review of light and landscape plans for Fire Station (2703 S. Pine Tree Rd., HB-83-1) (Page 57)**

The Village Fire Station, located at 2703 S. Pine Tree Rd., is under construction and the site plan approval from March 2023 was conditioned upon both the light plan and landscape plan being brought back for review and approval. This request for the review of both the lighting and landscape plans.

**8. ADJOURN**

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Aaron Kramer – Village Administrator

Members: Dave Dillenburg, Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Tom Tengowski, Peter Zobro, Steve Riley

**NOTE:** Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: [www.hobart-wi.org](http://www.hobart-wi.org). Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



Village of Hobart Site Review Committee Minutes  
Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI  
Wednesday, September 20, 2023 – 5:30 pm

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**1. Call to Order, Roll Call:**

The meeting was called to order by Dave Dillenburg at 5:31 pm. Roll call: Dave Dillenburg, aye; Tammy Zittlow, aye; Steve Riley, excused; Dave Baranczyk, aye; Tom Tengowski, aye; Peter Zobro, excused; Rick Nuetzel, aye.

**2. Verify/Modify/Approve Agenda:**

Motion by Rick Nuetzel, seconded by Dave Baranczyk, to approve the agenda as presented. All in favor. Motion carried.

**3. Approval of Site Review Minutes:**

Motion by Tammy Zittlow, seconded by Dave Baranczyk, to approve the August 16, 2023 minutes as presented. All in favor. Motion carried.

**4. Public Comment on Non-Agenda Items:**

None.

**5. DISCUSSION AND ACTION - Request for a 14,000 sf., building addition to the contractor shop building and associated site improvements (1113 Orlando Dr., HB-348):**

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the proposed building addition request.

The committee discussed.

Motion by Tammy Zittlow, seconded by Rick Nuetzel, to approve the proposed project as presented subject to the following conditions:

1. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground.
2. Planting of three (3) additional trees in accordance with Village Code on private property along Orland Dr. right-of-way continuing west from what is already planted once utility work is completed in this area.

All in favor. Motion carried.

**6. DISCUSSION AND ACTION - Request for a 14,437 sf., building addition for shop/storage and associated site improvements (3168 S. Pine Tree Rd., HB-859-2):**

Director of Planning & Code Compliance, Todd Gerbers, presented the committee with the proposed building addition request.

The committee discussed.

Motion by Dave Dillenburg, seconded by Tammy Zittlow, to approve the proposed project as presented.

All in favor. Motion carried.

**7. Adjourn:**

Motion by Tammy Zittlow, seconded by Dave Dillenburg, to adjourn. All in favor. Motion carried.

Adjourned at 6:12 pm.



**TO:** Site Review Committee

**RE:** Cyrus Dr., Portion of HB-194; New 2,760 Square Foot Commercial Building

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** October 18, 2023

**ISSUE:** Discussion and action on a new 2,760 square foot commercial building and associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval of this new development along with any conditions the Committee may identify.

### GENERAL INFORMATION

1. Developer: Robert Green
2. Applicant: Vierbicher / Tonya Wagner
3. Address/Parcel: Cyrus Dr. / Portion of HB-194
4. Zoning: I-1: Limited Industrial District
5. Use: Manufacturing / Storage

### BACKGROUND

This portion of property located along Cyrus Dr., adjacent to 1035 Cyrus Dr., is currently undeveloped and utilized as farmland. The proposed project will consist of a new 2,760 square foot, single story, manufacturing/storage facility. Access to the site will be through two new driveways from Cyrus Dr. that provide access to both the loading/unloading area and the employee/visitor parking areas.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### Section 1, Site Plan Approval

- A. **Zoning:** I-1: Limited Industrial District
- B. **Green Space:** 80.5% green space proposed.
- C. **Setbacks:** Front setback along Cyrus Dr. – 91.6' (40' minimum), 60' to east property line (side of building) (15' minimum), 30' to west property line (side of building) (40' minimum), and 164.5' to north property line (rear of building) (20' minimum). All comply with zoning requirements.
- D. **Parking:** Although no stalls (other than the one ADA stall) is illustrated on the site plan, a minimum of 3 spaces are required per code of 1 stall per 1,000 square feet of building area or for every two employees, whichever constitutes the greater number of stalls.
- E. **Fire Dept. (and Police Dept.):** The plans are currently being reviewed by the Police Department and Fire Department and any conditions or concerns will be brought to the committee meeting.
- F. **Storm Water:** Because the site is less than 1 acre, storm water will discharge to both the existing road ditch and the existing drainage swale along the rear of the property which drains to the creek area to the west.

- G. Refuse Collection:** There is no refuse/recycling enclosure proposed as the development does not generate enough waste/recycling to require outdoor storage. The building operator will utilize smaller carts that will be store indoors.

## Section 2, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Materials:** Wood framed building.
2. **Exterior Materials:** Proposed building materials consist of face brick on the north (front) elevation that will consist of greater than 25% of the wall area, while the remaining three elevations of the building will consist of metal wall panels. Such metal wall panels shall be a minimum of semi-concealed fastener.
3. **Height:** 21' to top of ridge
4. **Overhead doors:** Located on south elevation (rear) of building.
5. **Mechanical equipment:** No mechanical equipment is proposed to be mounted on the roof, however, should any be mounted on the roof, it shall be screened from view by materials that are compatible with the materials of the primary building.

**Section 3, Landscaping Plan:** Required tree planting along the public roadway is noted on plan per the 50' spacing requirement and three additional trees are proposed for along the east property line (adjacent to the remaining farm field).

**Section 4, Lighting:** Wall pack lighting is proposed around the perimeter of the building and any such lighting shall be submitted to Village Staff for approval prior to installation.

**Section 5, Signage:** No signage details are submitted at this time, so any proposed signage shall be submitted for approval prior to installation.

**Section 6, Driveway-Curb Cut:** There two 20' driveways proposed along Cyrus Dr. for the access points to this site.

## RECOMMENDATION/CONDITIONS

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any condition(s) the Site Review may identify:

1. Metal wall panels shall be a minimum of concealed fasteners.
2. Wall mounted lighting shall be submitted to Village Staff for approval prior to installation.
3. Signage details shall be submitted for approval prior to installation.
4. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground.

# VILLAGE OF HOBART

## SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS PROCESS & APPROVAL

### PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

**ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.**

### 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

1035 Cyrus Drive, approximately 100 feet east of Green Acres Ct.

Project will be a pizza production building.

### 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): 40,050 SF

Size of facility(square footage): 2400 SF

Type of facility: Building to manufacture pizzas

Developer: Robert Green

Address: 1035 Cyrus Drive Hobart, WI Phone: 920-660-2226

Engineer: Vierbicher, Attn: Tonya Wagner

Address: 400 Securty Blvd Suite #1 Green Bay 54313 Phone: 920-241-0009

Contractor: Unknown

Construction Firm:

Address: Phone:

Revised 1-23-08

3. SITE PLAN APPROVAL

A. Industrial X Business Park \_\_\_\_\_ Commercial \_\_\_\_\_  
Multi-Family \_\_\_\_\_

Current Zoning: I-1 Limited Industrial District

Other – Identify: \_\_\_\_\_

Erosion Control Plan on file: X YES \_\_\_\_\_ NO

% of Green Space: 80.5%

B. Orientation – Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

40' front, 15' side

C. Setback Information: 20' rear \_\_\_\_\_ Complies with Ordinance: Yes

D. # of parking stalls ( Include Handicapped parking): 3

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground  overhead

2) Natural Gas

3) Telephone

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines \_\_\_\_\_

7) Ingress – egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance X YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: Yes YES \_\_\_\_\_ NO

- H. Adjacent streets and street rights-of-ways and fire lanes:
  - 1) Fire Chief has reviewed and approved: \_\_\_\_YES  NO
  - 2) Not applicable \_\_\_\_\_

- I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan. N/A
  - 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
  - 2) Name and address and phone# of engineer of project plan:  
Tonya Wagner 400 Security Blvd Suite #1, Green Bay, WI 54313 920-241-0009

J. ~~Sidewalks~~, walkways, and driveways:

K. Off street loading areas and docks:

L. Fences and retaining walls or berms:  N/A

M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):  
N/A

N. Location and dimensions of proposed outdoor display areas: N/A  
 \_\_\_\_\_  
 \_\_\_\_\_

4. **ARCHITECTURAL PLAN APPROVAL** Check Plans from Robert Green

- A. Exterior construction information:
  - 1) Type of Construction Materials: \_\_\_\_\_
  - 2) Exterior Materials: \_\_\_\_\_
  - 3) Height of Facility: \_\_\_\_\_
  - 4) Compatibility with existing adjacent structure: \_\_\_\_\_ (Attach Photos)
  - 5) Other unique characteristics: \_\_\_\_\_



5. **LANDSCAPING PLAN** N/A

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

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Identify Shrubs & Location Specifics - Quantity: \_\_\_\_\_

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Identify Buffering -Type – Quantity:

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6. **LIGHTING PLAN** N/A

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

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Identify Parking Lighting – Quantity – Wattage – Location :

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Identify other Lighting – Quantity – Wattage – Location:

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7. **SIGNAGE** Not determined by engineer

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: \_\_\_\_\_

8. **DRIVEWAY – CURB CUT**

Width of Curb Cut: 20' \_\_\_\_\_

Radius / Flare: 12' \_\_\_\_\_

Apron Dimensions: 44' \_\_\_\_\_

Culvert Size (End-walls Required) 18" \_\_\_\_\_



# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2990 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3809

## A. Applicant

Applicant Name: Vierbicher Owner Name: Robert Green  
 Address: 400 Security Blvd Suite #1 Address: 1035 Cyrus Drive  
 City: Green Bay State: WI Zip: 54313 City: Hobart State: WI Zip: 54115  
 Phone: (   ) 920-241-0009 Phone: ( 920 ) 660-2226  
 Email: twag@vierbicher.com Email:

## B. Parcel – Site Information

Site Address: 1035 Cyrus Drive Parcel ID: HB-194  
 Project Description: Pizza production facility

### Residential ERU Calculations

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
<b>Total ERU's</b>			

### Nonresidential Uses - Impervious Surface Calculation

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints	0	sq. ft.	+2760 SF	sq. ft.	2760 SF	sq. ft.
Paved/Gravel Areas	0	sq. ft.	+5050 SF	sq. ft.	5050 SF	sq. ft.
<b>Totals</b>	0	<b>sq. ft.</b>	+7810 SF	<b>sq. ft.</b>	7810 SF	<b>sq. ft.</b>

ERU Calculation: 7810 / 4000 sf / ERU = 1.95 ERU's  
 New Total Area sq. ft.

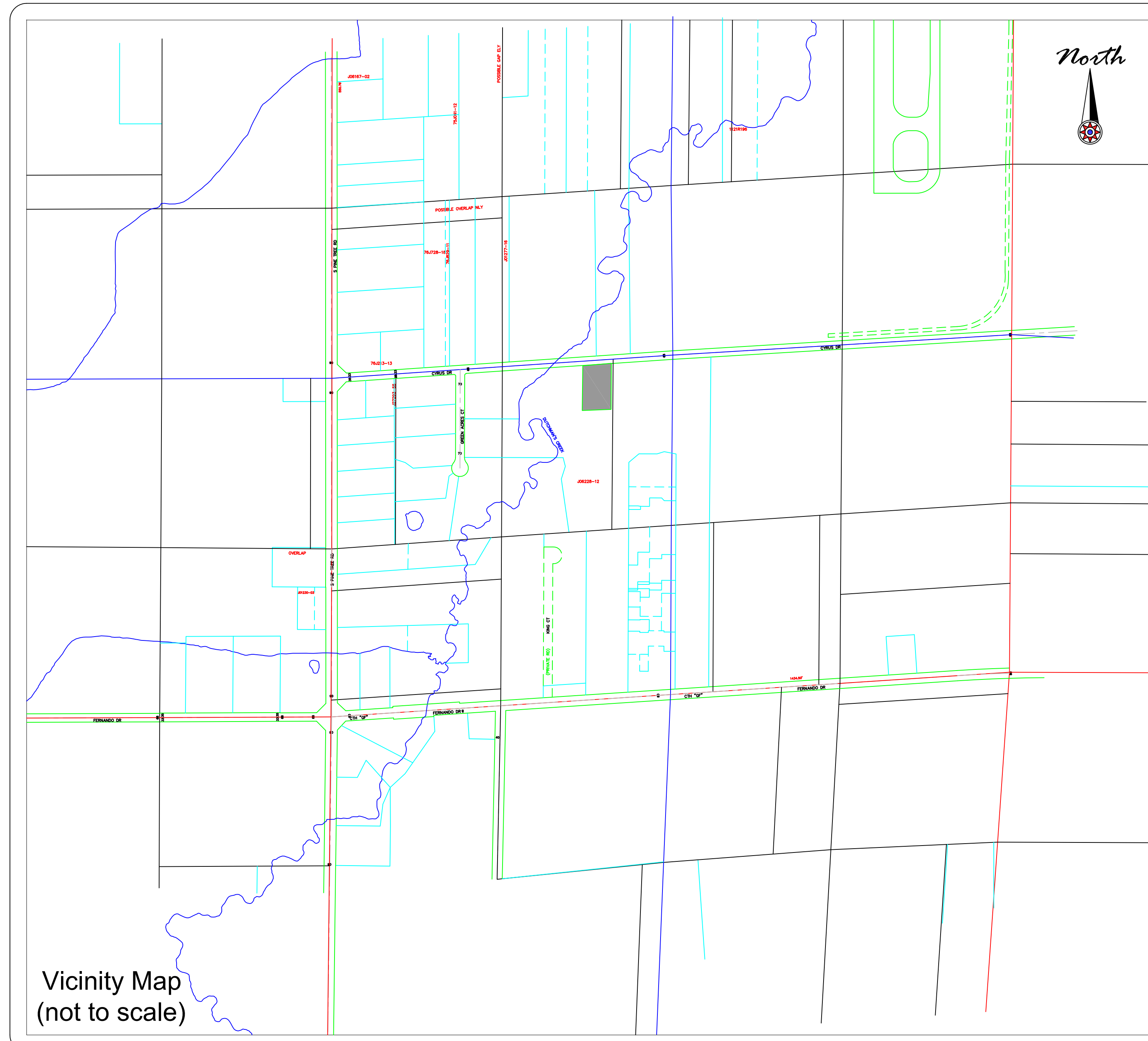
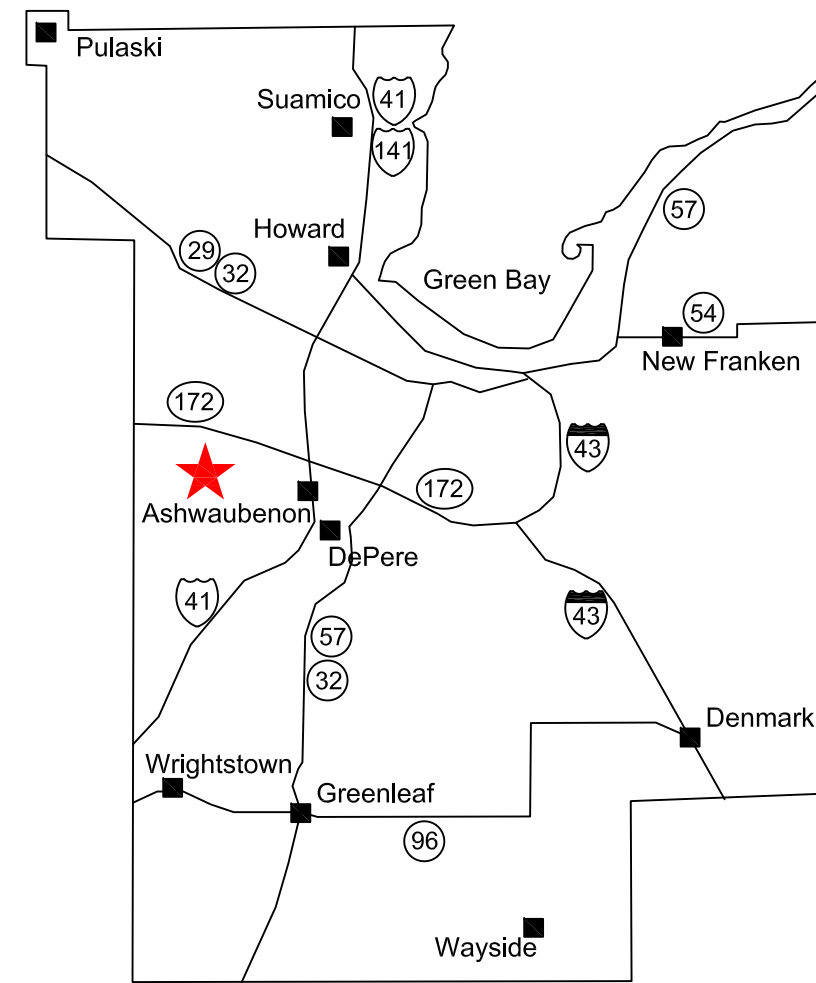
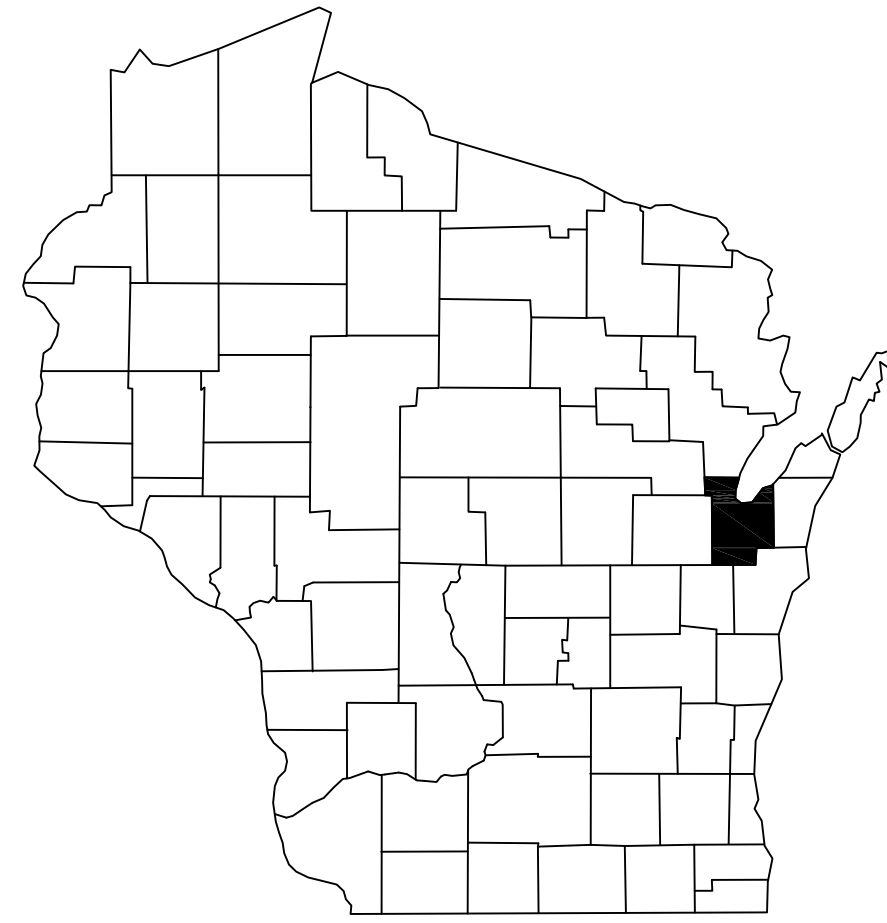
Preparer's Signature:  Date: 10/6/2023

Preparer's Printed Name: Tonya Wagner

# Robert Green - Cyrus Drive

## 1035 Cyrus Drive

### Village of Hobart, Brown County, Wisconsin



Vicinity Map  
(not to scale)

#### Project Information

<b>Owner(s):</b>	Robert Green
<b>Project Name:</b>	Pizza Production Facility
<b>Project Description:</b>	2400 SF Pizza Production Facility
<b>Project Location:</b>	1035 Cyrus Drive
<b>Parcel Number(s):</b>	HB-194

#### Contact Information

<b>Owner(s):</b>	Robert Green 1035 Cyrus Drive Hobart, WI 54115 Ph.: 920-660-2226
<b>Engineer:</b>	Vierbicher Contact: Tonya Wagner, P.E. 400 Security Blvd. Suite 1 Green Bay, WI 54313-9712 Ph.: 920-434-9670

**Sheet Index:**

C1.0	Title Sheet
C2.0	Notes
C3.0	Site Plan
C4.0	Grading & Erosion Control Plan

vierbicher  
planners | engineers | advisors



DATE:  
9-29-2023  
PROJECT NO.  
G-12996  
SHEET NO.  
**C1.0**  
DRAWING NO.  
**S-3789**

### RESPONSE ACTIONS IN THE EVENT OF A SPILL OR RELEASE

IMMEDIATELY TAKE THE FOLLOWING MEASURES TO KEEP THE SPILL FROM ENTERING SEWER OR STORM DRAINS, SPREADING OFF SITE, OR AFFECTING HUMAN HEALTH.

STOP, CONTAIN, AND CLEAN UP CHEMICAL SPILL IF:

- THE SPILLED CHEMICAL AND ITS HAZARDOUS PROPERTIES HAVE BEEN IDENTIFIED
- THE SPILL IS SMALL AND EASILY CONTAINED
- RESPONDER IS AWARE OF THE CHEMICALS' HAZARDOUS PROPERTIES

IF SPILL OR RELEASE CANNOT BE CONTROLLED OR INJURIES HAVE OCCURRED DUE TO THE RELEASE THE FOLLOWING PROCEDURES SHOULD BE IMPLEMENTED:

- SUMMON HELP OR ALERT OTHERS OF THE RELEASE
- EVACUATE IMMEDIATE AREA, PROVIDE CARE TO INJURED, CALL 911
- IF POTENTIAL FOR FIRE OR EXPLOSION - CALL 911
- RESPOND DEFENSIVELY TO ANY UNCONTROLLED SPILLS
  - USE PROTECTIVE EQUIPMENT
  - ATTEMPT TO STOP SOURCE OF RELEASE (IF SAFE TO DO SO)
  - PROTECT DRAINS BY USE OF ABSORBENT, BOOMS OR DRAIN COVERS (IF SAFE TO DO SO)
- NOTIFY ONSITE EMERGENCY CONTACT(S)
- COORDINATE RESPONSE ACTIVITIES WITH LOCAL EMERGENCY PERSONNEL
- BE PREPARED TO PROVIDE MSDS INFORMATION TO EMERGENCY PERSONNEL
- NOTIFY APPROPRIATE AGENCY IF RELEASE HAS ENTERED THE ENVIRONMENT.

### SPILL PREVENTION AND EMERGENCY RESPONSE PLAN:

EMERGENCY CONTACTS  
ROBERT GREEN  
920-660-2226

EMERGENCY RESPONSE CONTACTS  
FIRE/PARAMEDICS/POLICE 911  
FIRE NON-EMERGENCY LINE (920) 434-4666  
COUNTY HEALTH DEPARTMENT(920) 448-6400  
DNR SPILL HOTLINE 1-800-943-0003

LOCAL EMERGENCY MEDICAL FACILITY  
ST. VINCENT HOSPITAL  
835 S. VAN BUREN ST  
GREEN BAY, WI 54301  
(920) 433-0111

SPILL PREVENTION  
HAZARDOUS SUBSTANCE MANAGEMENT:  
ALL HAZARDOUS SUBSTANCES, INCLUDING CHEMICAL WASTES, ARE TO BE MANAGED IN A WAY THAT PREVENTS RELEASE.

### SITE STATISTICS

BEFORE CONSTRUCTION  
SITE AREA - 40,050 SF  
PAVEMENT 0 SF (0%)  
BUILDINGS 0 SF (0%)  
PERVIOUS 40,050 SF (100%)

AFTER CONSTRUCTION  
SITE AREA - 40,050 SF  
PAVEMENT 5,050 SF (12.6%)  
BUILDINGS 2,760 SF (6.9%)  
PERVIOUS 32,240 SF (80.5%)

### CONSTRUCTION SITE EROSION CONTROL

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

#### SEDIMENT TRACKING FROM CONSTRUCTION SITE:

- STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057  
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.  
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- STREET SWEEPING/CLEANING  
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

#### SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:

- SILT FENCE - TECHNICAL STANDARD 1056  
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058  
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052  
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.
- CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066  
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

#### SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:

- DEWATERING - TECHNICAL STANDARD 1061  
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

#### SEDIMENT ENTERING STORM DRAIN INLETS:

- STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060  
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

#### SEDIMENT BEING CARRIED OFF-SITE BY WIND:

- DUST CONTROL - TECHNICAL STANDARD 1068  
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

#### CONCRETE WASHOUT

- CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.

### GENERAL NOTES:

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.
2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.
6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.
7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.
8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

### INSPECTION AND MAINTENANCE

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

- NAME OF INDIVIDUAL PERFORMING INSPECTION;
- DATE, TIME, AND PLACE OF INSPECTION;
- A DESCRIPTION OF THE CONSTRUCTION PHASE;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;
- AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS.

### SEQUENCE OF CONSTRUCTION

- OCTOBER 2023
- A. INSTALL TRACKOUT PROTECTION AND SILT FENCE AS SOON AS PRACTICABLE. PERFORM STREET SWEEPING AS NEEDED.
  - B. CONTACT THE VILLAGE OF HOBART TO NOTIFY THEM THAT SITE GRADING IS TO BEGIN AND INITIAL EROSION CONTROLS ARE INSTALLED.
  - C. STRIP AND STOCKPILE TOPSOIL.
  - D. GRADE AND CONSTRUCT PARKING LOT. USE PARKING LOT AS CONSTRUCTION STAGING AREA
  - E. SALVAGE SUITABLE MATERIAL FOR FILL MATERIAL. DISPOSE OF NON-SUITABLE OR EXCESS SOILS AT A PERMITTED OFF-SITE LOCATION.
  - F. CONSTRUCT BUILDING.
  - G. PERFORM STREET SWEEPING AND TEMPORARY MULCHING/SEEDING AS NEEDED AND REQUIRED.
  - H. COMPLETE FINE GRADING AND LANDSCAPING. PERMANENTLY STABILIZE EACH AREA OF THE CONSTRUCTION SITE WITH TOPSOIL. SEED, FERTILIZE, AND MULCH AS SOON AS PRACTICABLE AFTER FINAL GRADING.

JULY 2024

- I. REMOVE AND DISPOSE OF EROSION AND SEDIMENT CONTROL MEASURES WITHIN 30 DAYS OF FINAL SITE STABILIZATION (I.E. SILT FENCE). VEGETATION SHALL ACHIEVE 70% GROWTH TO BE CONSIDERED STABILIZED.

### Legend

○ 1.32" (O.D.) X 18" IRON PIPE WITH CAP WEIGHING 1.68 LBS/LIN FT SET	● 1" IRON PIPE FOUND	⊙ COMPUTED POINT	⊙ PK NAIL FOUND	◁ PK NAIL SET	⊗ CUT + FOUND	⊙ 3/4" IRON PIPE FOUND	⊙ 2" IRON PIPE FOUND	⊙ BROWN COUNTY MONUMENT - TYPE NOTED	( ) RECORDED AS BEARING / DISTANCE	⋯ NO ACCESS	⊙ CB ROUND CATCH BASIN	⊙ ST STORM SEWER MANHOLE	⊙ CURB INLET	⊙ SSM STORM SEWER LINE	⊙ SC SANITARY CLEANOUT	⊙ SA SANITARY SEWER MANHOLE	⊙ SSAN SANITARY SEWER LINE	⊙ W WATER MANHOLE	⊙ HYDRANT	⊙ WAT WATERMAIN	⊙ WV WATER VALVE	⊙ WV WATER VALVE - CURB STOP	⊙ GV GAS VALVE	⊙ UGL UNDERGROUND GAS LINE	⊙ G GAS METER	⊙ TEL UNDERGROUND TELEPHONE LINE	⊙ T TELEPHONE PEDESTAL	⊙ TM TELEPHONE MANHOLE	⊙ ELEC UNDERGROUND ELECTRIC LINE	⊙ AC AIR CONDITIONER	⊙ TR ELECTRIC TRANSFORMER	⊙ E ELECTRIC PEDESTAL	⊙ EM ELECTRIC MANHOLE	⊙ CTV UNDERGROUND CABLE TV LINE	⊙ HB HANDHOLE BOX	⊙ CTV PEDESTAL	⊙ FO UNDERGROUND FIBER OPTIC LINE	⊙ FOP FIBER OPTIC PEDESTAL	⊙ FOM FIBER OPTIC MANHOLE	⊙ GL GROUND LIGHT	⊙ LP LIGHT POLE	--- CONSTRUCTION LIMITS	⊙ POWER POLE	--- ANCHOR WIRE	--- OVERHEAD WIRES	--- CONCRETE CURB & GUTTER LINE	--- EXISTING ASPHALT	--- PROPOSED ASPHALT	--- EXISTING BUILDING	--- PROPOSED BUILDING	--- CONCRETE	--- GRAVEL	--- WETLAND AREA	--- FLOODPLAIN LIMITS	--- FLOODWAY	--- SILT FENCE	--- INLET PROTECTION	--- SLOPE EROSION MAT WSDOT CLASS 1 TYPE A	--- CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B	--- RIP RAP SIZE AND QUANTITY PER PLAN	--- TRACKING PAD	--- EXISTING CONTOUR LINE	--- PROPOSED CONTOUR LINE	176.41 EXISTING GROUND GRADE	×174.88 PROPOSED GROUND GRADE	2.33% DRAINAGE ARROW	--- FENCE LINE	--- GUARD RAIL	--- GUARD POST	--- FLAG POLE	--- SIGN	--- DECIDUOUS TREE	--- CONIFEROUS TREE	--- TRAFFIC LIGHT	--- MAILBOX	--- HANDICAP PARKING SPACE	--- MONITORING WELL	--- ROCK WALL	--- WELL	--- SHRUB
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DESIGNED BY  
TJS

DATA FILE  
S-5218.dwt

DATE  
9-29-2023

Number	Date	Comments

**Notes**  
Robert Green - Cyrus Drive

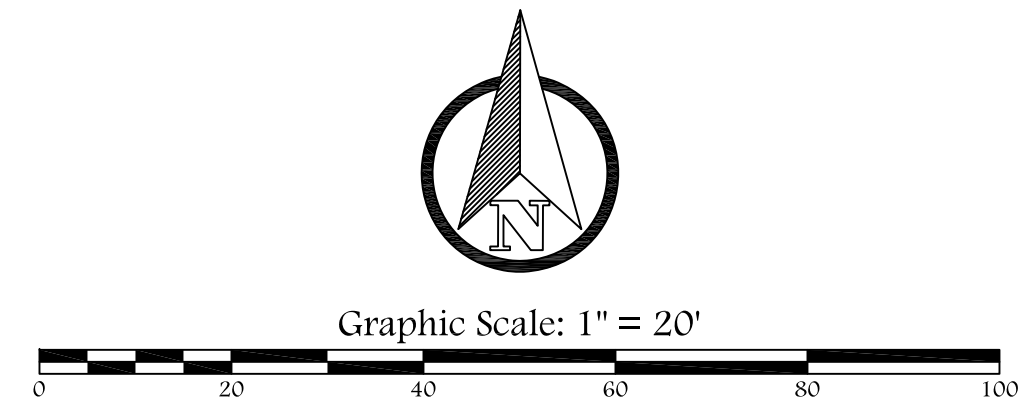
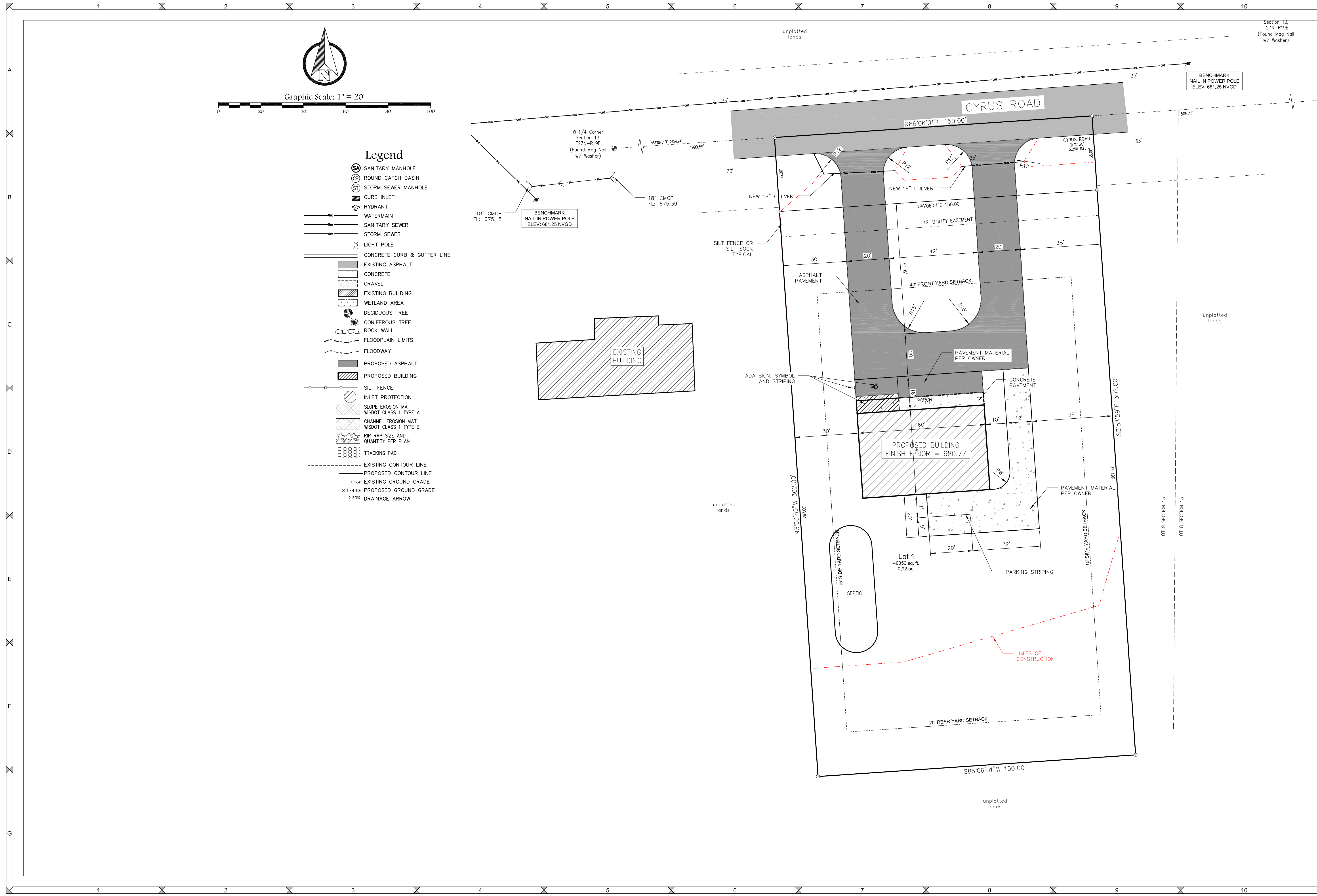
PROJECT NO.  
G-12996

SHEET NO.  
C2.0

DRAWING NO.  
S-3789

File: G-12996Eng 092523.dwg

vierbicher  
planners | engineers | advisors



- Legend**
- ⊙ SANITARY MANHOLE
  - ⊙ ROUND CATCH BASIN
  - ⊙ STORM SEWER MANHOLE
  - ⊙ CURB INLET
  - ⊙ HYDRANT
  - WATERMAIN
  - SANITARY SEWER
  - STORM SEWER
  - ⊙ LIGHT POLE
  - CONCRETE CURB & GUTTER LINE
  - ▒ EXISTING ASPHALT
  - ▒ CONCRETE
  - ▒ GRAVEL
  - ▒ EXISTING BUILDING
  - ▒ WETLAND AREA
  - ⊙ DECIDUOUS TREE
  - ⊙ CONIFEROUS TREE
  - ⊙ ROCK WALL
  - FLOODPLAIN LIMITS
  - FLOODWAY
  - ▒ PROPOSED ASPHALT
  - ▒ PROPOSED BUILDING
  - ⊙ SILT FENCE
  - ⊙ INLET PROTECTION
  - ▒ SLOPE EROSION MAT WSDOT CLASS 1 TYPE A
  - ▒ CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B
  - ▒ RIP RAP SIZE AND QUANTITY PER PLAN
  - ▒ TRACKING PAD
  - EXISTING CONTOUR LINE
  - PROPOSED CONTOUR LINE
  - 176.41 EXISTING GROUND GRADE
  - ×174.88 PROPOSED GROUND GRADE
  - 2.335 DRAINAGE ARROW

DESIGNED BY  
TAW

DATA FILE  
G-12996

DATE  
9-25-23

Number	Date	Comments



**Site Plan**

**Robert Green - Cyrus Road**

PROJECT NO.  
G-12996

SHEET NO.  
**3.0**

DRAWING NO.  
**S-3789**

File: G-12996Eng\_092523.dwg

DESIGNED BY  
TAW

DATA FILE  
G-12996

DATE  
09-25-23

Number	Date	Comments



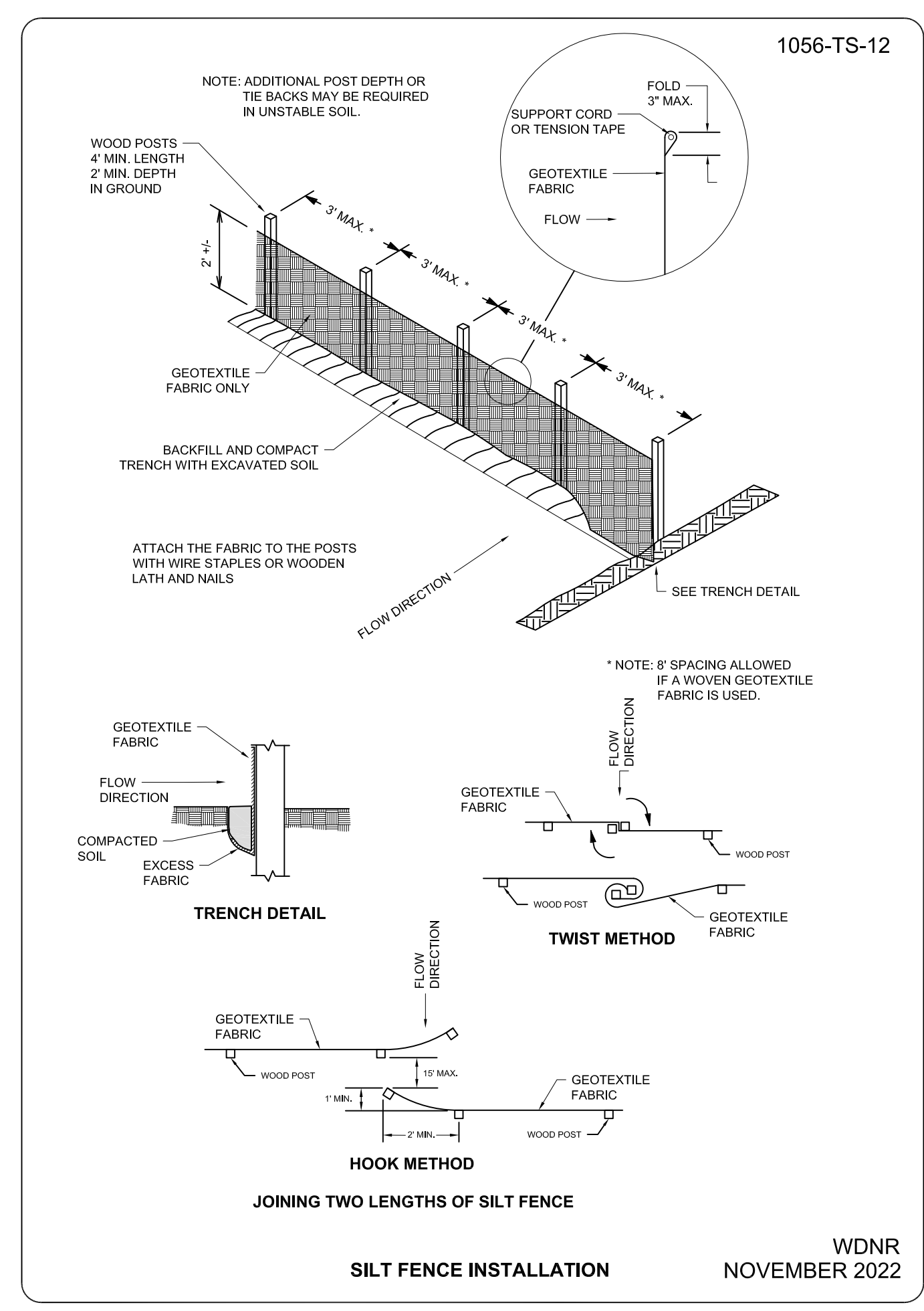
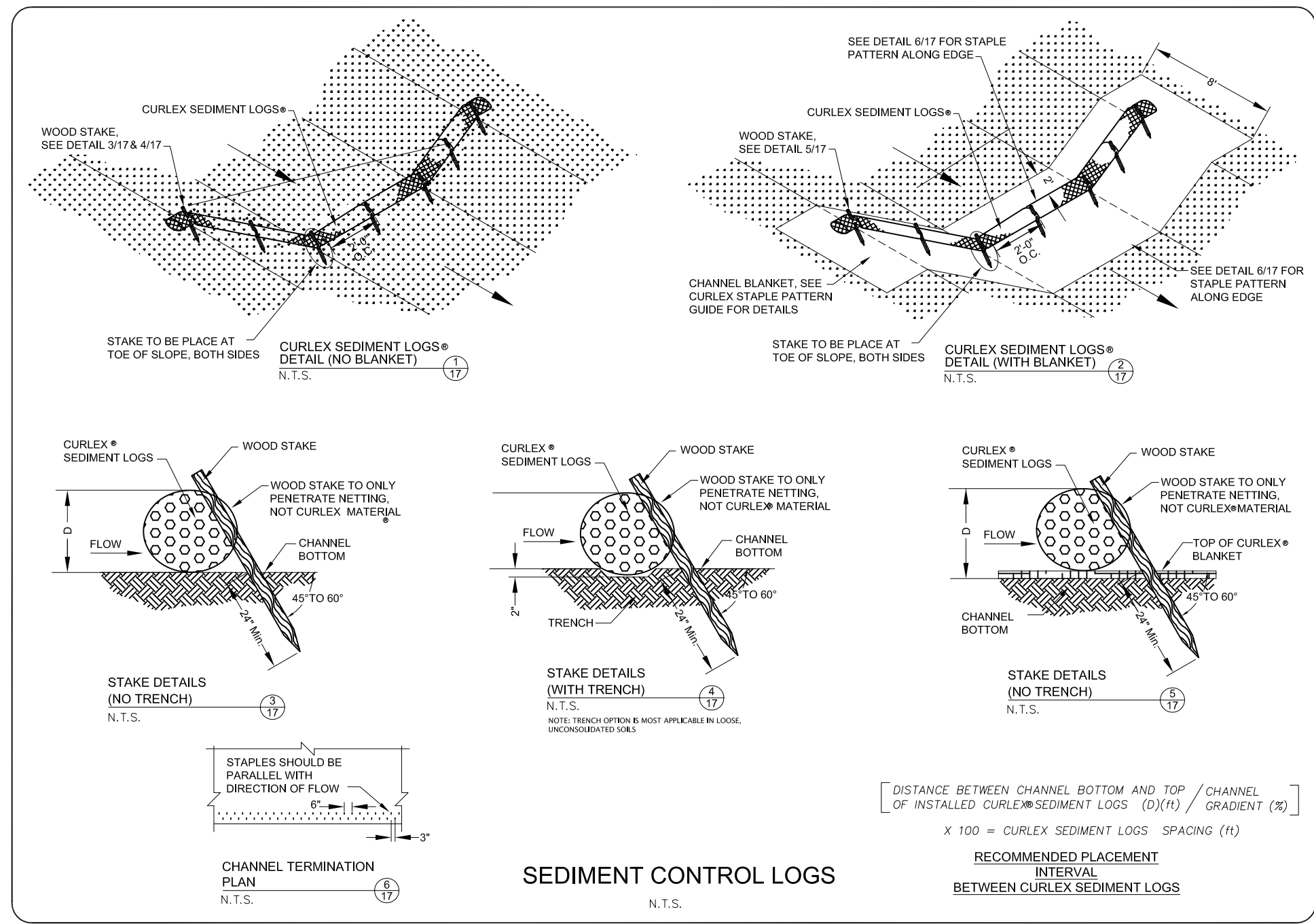
**Grading & Erosion  
Control Plan**  
Robert Green - Cyrus Drive

PROJECT NO.  
G-12996

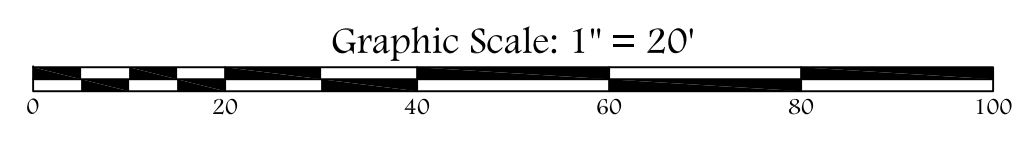
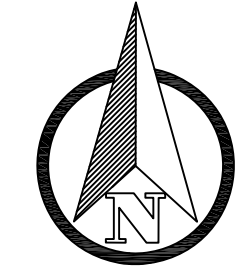
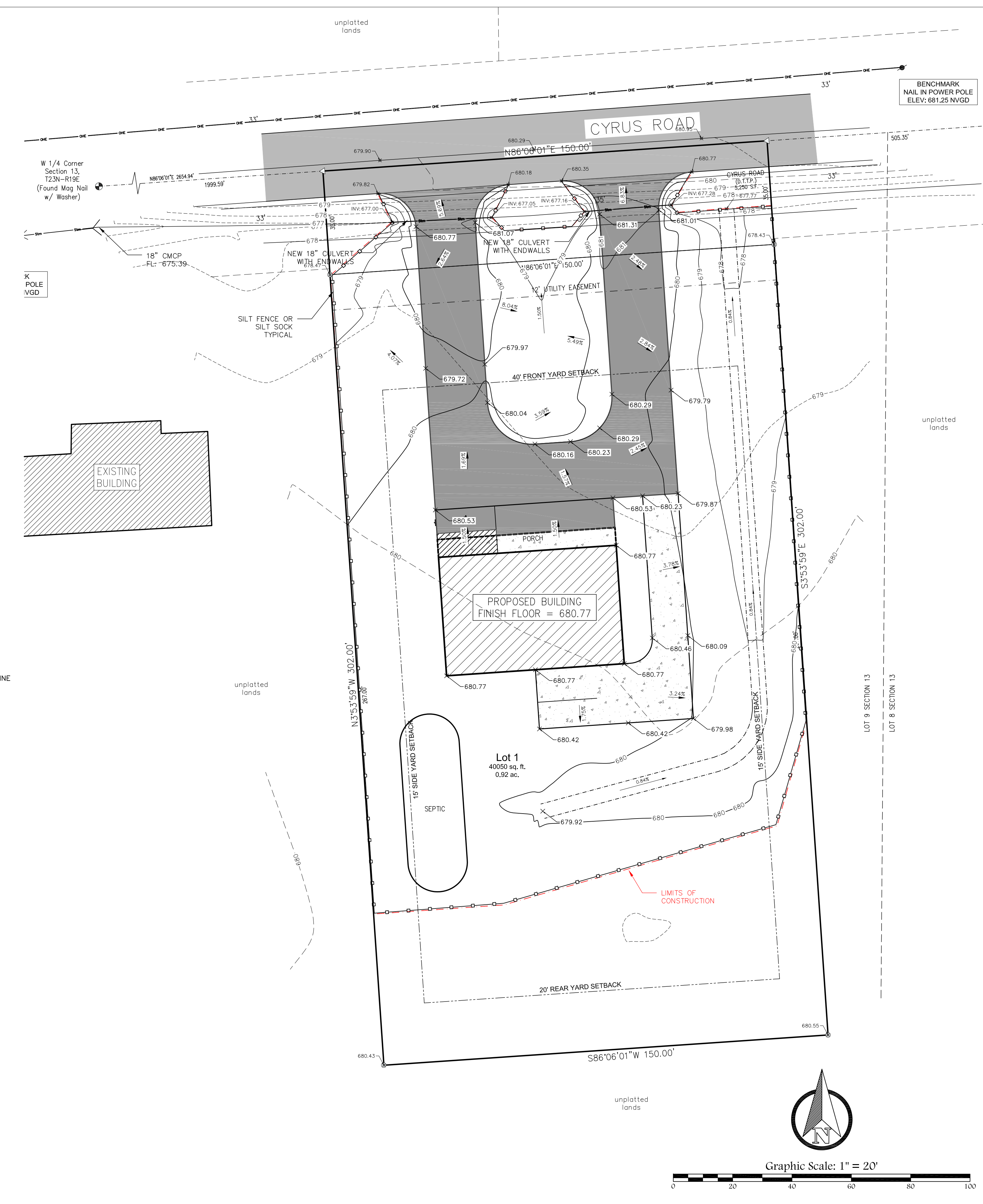
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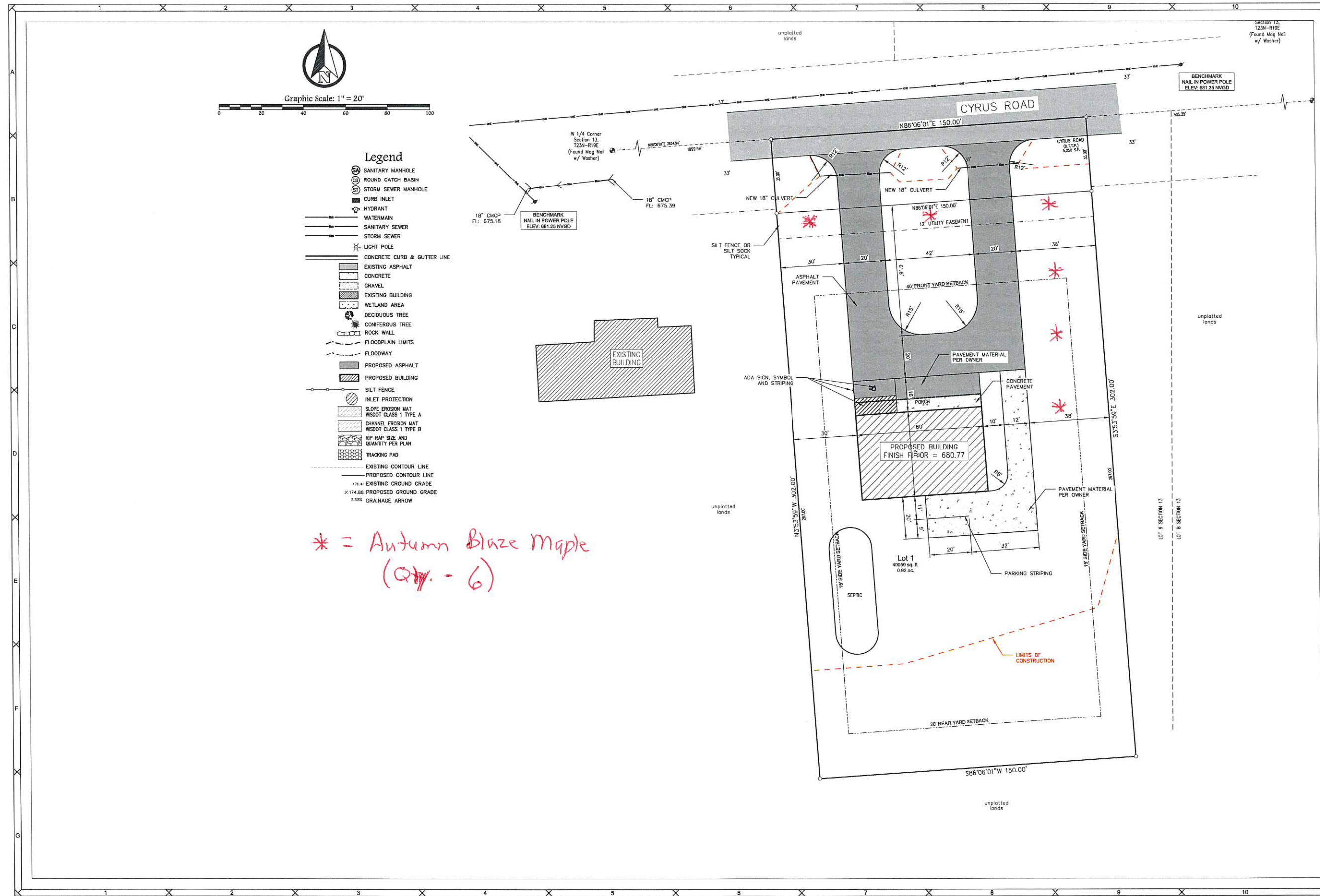
DRAWING NO.  
**S-3789**

FILE: G-12996ENG\_092523.dwg



- Legend**
- (SM) SANITARY MANHOLE
  - (CB) ROUND CATCH BASIN
  - (SM) STORM SEWER MANHOLE
  - (CI) CURB INLET
  - (H) HYDRANT
  - (W) WATERMAIN
  - (SS) SANITARY SEWER
  - (ST) STORM SEWER
  - (LP) LIGHT POLE
  - (CG) CONCRETE CURB & GUTTER LINE
  - (EA) EXISTING ASPHALT
  - (C) CONCRETE
  - (G) GRAVEL
  - (EB) EXISTING BUILDING
  - (WA) WETLAND AREA
  - (DT) DECIDUOUS TREE
  - (CT) CONIFEROUS TREE
  - (RW) ROCK WALL
  - (FL) FLOODPLAIN LIMITS
  - (FD) FLOODWAY
  - (PA) PROPOSED ASPHALT
  - (PB) PROPOSED BUILDING
  - (SF) SILT FENCE
  - (IP) INLET PROTECTION
  - (SEM) SLOPE EROSION MAT WSDOT CLASS 1 TYPE A
  - (CEM) CHANNEL EROSION MAT WSDOT CLASS 1 TYPE B
  - (RR) RIP RAP SIZE AND QUANTITY PER PLAN
  - (TP) TRACKING PAD
  - (EC) EXISTING CONTOUR LINE
  - (PC) PROPOSED CONTOUR LINE
  - (GG) EXISTING GROUND GRADE
  - (XGG) PROPOSED GROUND GRADE
  - (DA) DRAINAGE ARROW

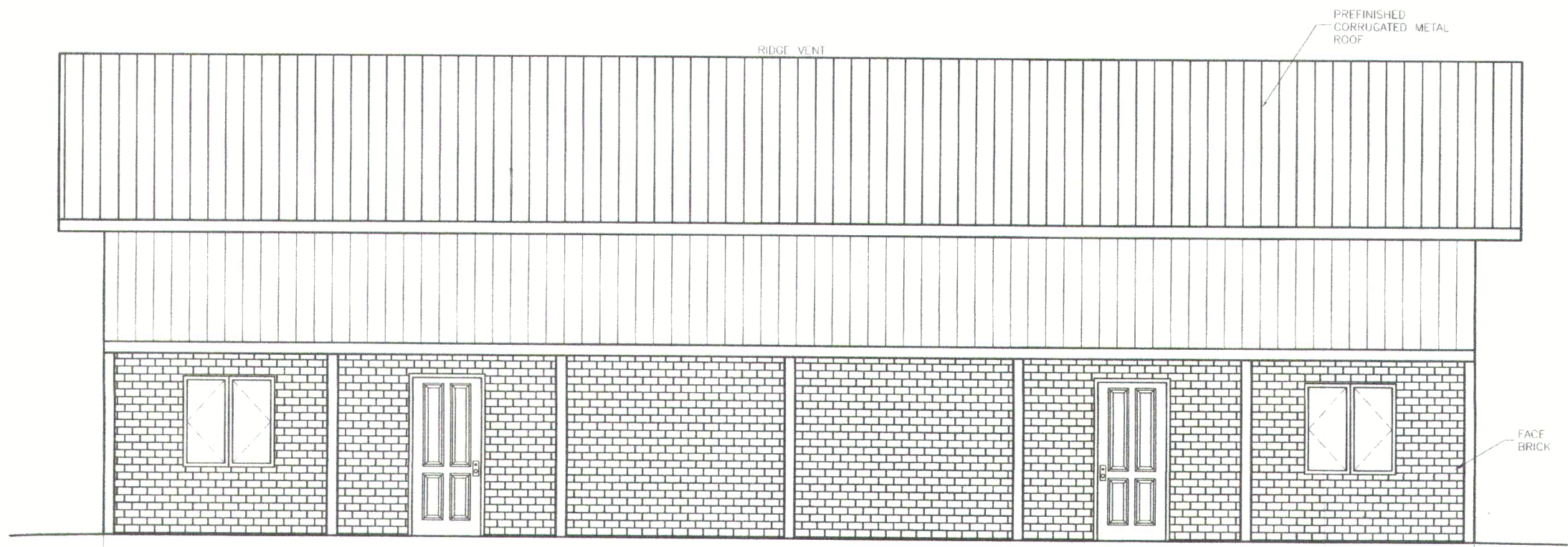




\* = Autumn Blaze Maple  
(Qty. - 6)

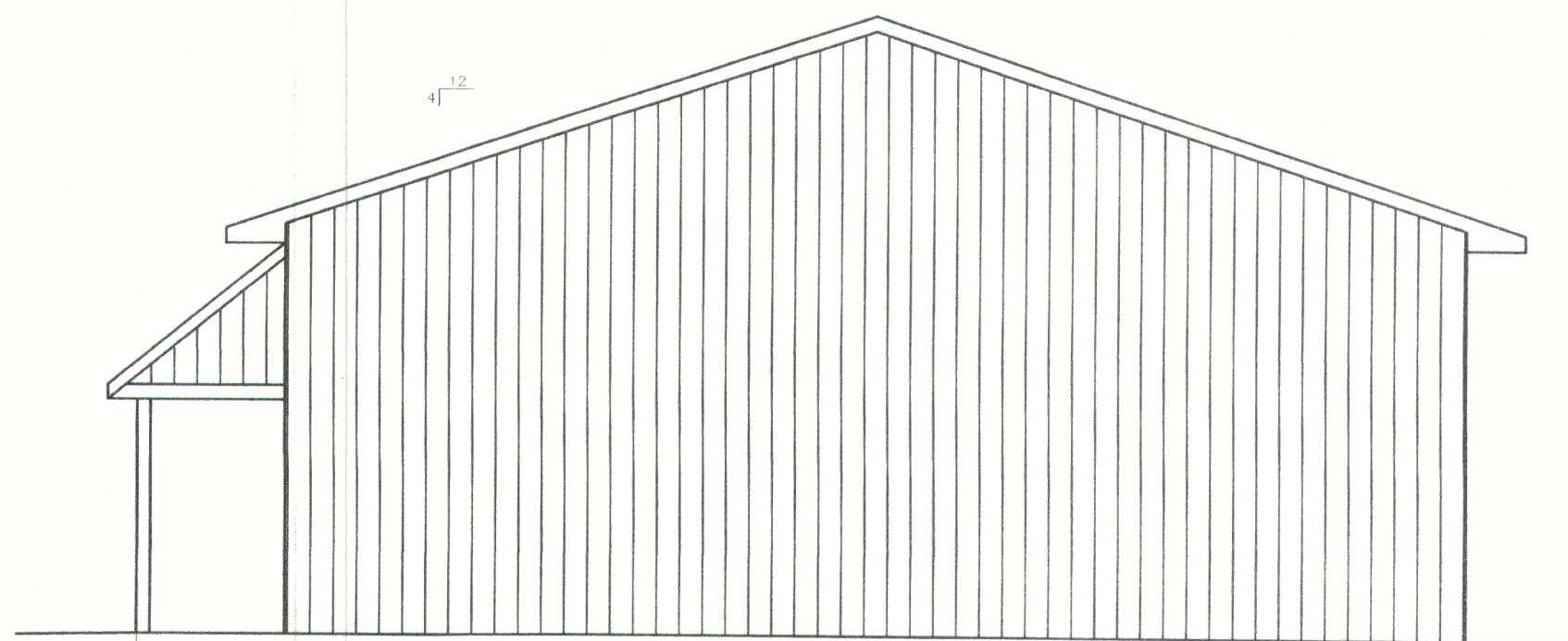
DESIGNED BY TAW	
DATA FILE G-12996	
DATE 9-25-23	
Number	Comments
 <b>vierbicher</b> planners engineers advisors	
<b>Site Plan</b> <b>Robert Green - Cyrus Road</b>	
PROJECT NO. G-12996	
SHEET NO. <b>3.0</b>	
DRAWING NO. <b>S-3789</b>	





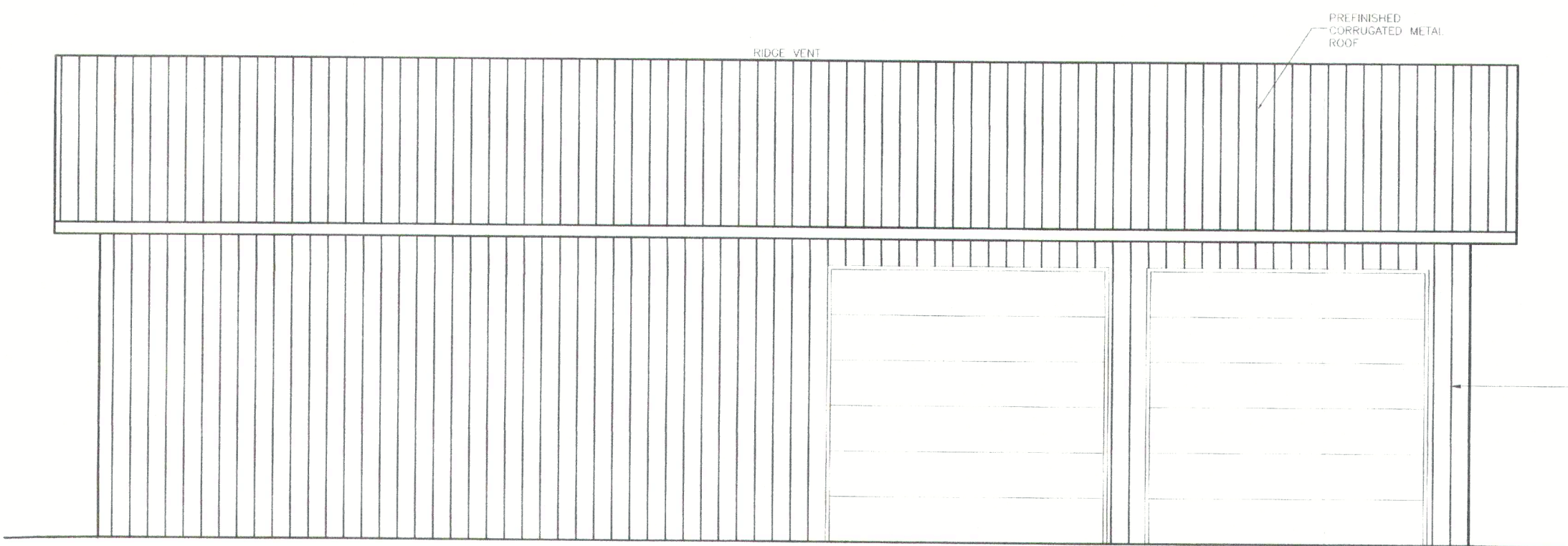
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



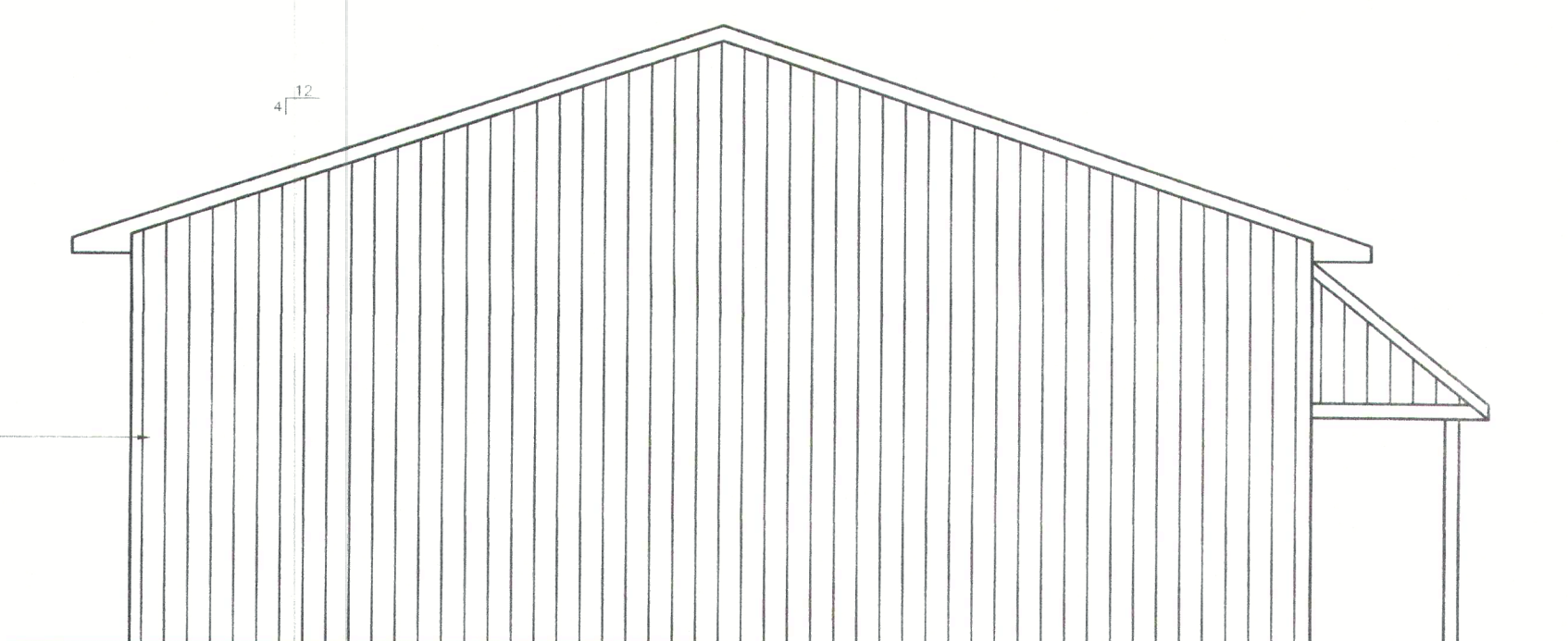
SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NOTE: ALTHOUGH EVERY EFFORT HAS BEEN MADE TO MAKE THESE PLANS AND SPECIFICATIONS ACCURATE, THE CONTRACTOR MUST CHECK ALL DETAILS & BE RESPONSIBLE FOR THE SAME.

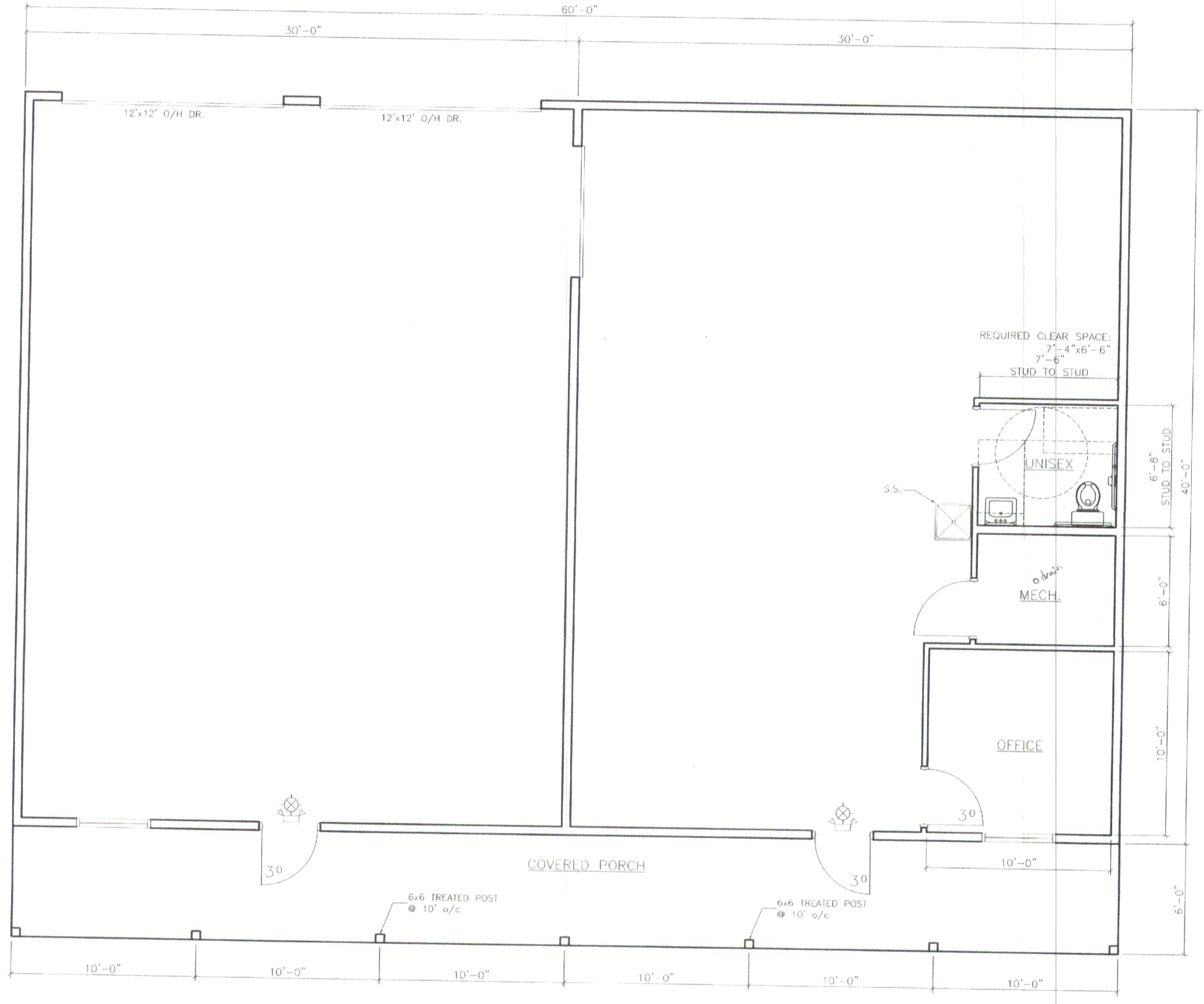
REVISION	DATE	REVISION NO.

PROPOSED NEW FACILITY FOR:  
**PACKERLAND PIZZA**  
**HOBART, WISCONSIN**  
**BAY ARCHITECTS, LLC**  
 1000 WISCONSIN WAY SUITE 100  
 GREEN BAY, WI 53033  
 PHONE: 920-337-9400

DATE	08/08/2008
FILE	88
JOB NO.	20000

A3

brichaenplbg@yahoo.com



FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
ALTHOUGH EVERY  
EFFORT HAS BEEN MADE  
TO MAKE THESE  
PLANS AND CHECKING  
THEY FOR ACCURACY,  
THE CONTRACTOR MUST  
CHECK ALL DIMENSIONS  
& CONDITIONS AND BE  
RESPONSIBLE FOR THE  
SAME.

REVISION NO.	DATE	REVISION

PROPOSED NEW FACILITY FOR:  
PACKERLAND PIZZA  
HOBART, WISCONSIN  
**BAY ARCHITECTS, L L C**  
3039 RAVADA WAY, STE. 125  
GREEN BAY, WI 54304  
PHONE: 920-337-9403











DATE 88/88/8888  
FILE 88  
JOB NO 20000

A2



Part of Brown County WI

LEGEND / KEY

-  Parcel Boundary
-  Condominium
-  Gap or Overlap
-  "hooks" indicate parcel ownership crosses a line
-  Parcel line
-  Right of Way line
-  Meander line
-  Lines between deeds or lots
-  Historic Parcel Line
-  Vacated Right of Way

A complete map legend (map key) is available at: [tinyurl.com/BrownDogLegend](http://tinyurl.com/BrownDogLegend)

Map printed 10/4/2023



1:2,400

1 inch = 200 feet\*

1 inch = 0.0379 miles\*

\*original page size is 8.5" x 11"  
Appropriate format depends on zoom level

This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin Planning & Land Services Department**



(920) 448-6480

[www.browncountywi.gov](http://www.browncountywi.gov)





**TO:** Site Review Committee

**RE:** Lear Ln., Portion of HB-L159-2; New 2,950 Square Foot Clubhouse Building and a 784 Square Foot Mail Room/Garage

**FROM:** Todd Gerbers, Director of Planning and Code Compliance

**DATE:** October 18, 2023

**ISSUE:** Discussion and action on a new 2,950 square foot Clubhouse Building and a 784 Square Foot Mail Room/Garage and associated site improvements

**RECOMMENDATION:** Staff recommends conditional approval of this new development along with any conditions the Committee may identify.

### GENERAL INFORMATION

1. Developer: PDK Investments, LLC
2. Applicant: Vierbicher / David Meister
3. Address/Parcel: Lear Ln. / Portion of HB-L159-2
4. Zoning: PDD#2: Orlando / Packerland Planned Development District
5. Use: Clubhouse & Mail Room/Garage Buildings

### BACKGROUND

This portion of property, located along Lear Ln. at the intersection of Packerland Dr., is currently undeveloped and the proposed project will consist of a new 2,950 square foot Clubhouse building and a 784 square foot Mail Room/Garage. Access to the site will be through a new driveway from Lear Ln. that provides access to both proposed buildings.

### SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS CHECKLIST

#### Section 1, Site Plan Approval

- A. **Zoning:** PDD#2: Orlando / Packerland Planned Development District
- B. **Green Space:** 53.8% green space proposed.
- C. **Setbacks:** Front setback along Lear Ln. – 99’ (30’ minimum), 30’ to east property line (Packerland Dr.) (30’ minimum), and 46’ to south property line (rear of building) (25’ minimum). All comply with zoning requirements.
- D. **Parking:** 28 stalls are proposed and based on an “office” type use, 10 stalls are required.
- E. **Fire Dept. (and Police Dept.):** The plans are currently being reviewed by the Police Department and Fire Department and any conditions or concerns will be brought to the committee meeting.
- F. **Storm Water:** Storm water is proposed to be collected by two oversized catch basins in the parking lot and discharge to low area on site. The drainage plan will need to be reviewed and approved by Village Staff and Village Engineer prior to implementation.

**G. Refuse Collection:** There is no additional refuse/recycling enclosure proposed as part of this development as they will utilize one of the existing facilities located elsewhere within this development.

## Section 2, Architectural Plan Approval

### A. Exterior Construction Information:

1. **Materials:** Wood framed building.
2. **Exterior Materials:** Proposed building materials consist of face brick, cement board siding, and vertical vinyl siding on the north (front) elevation, the same face brick and vertical vinyl siding on the remaining three elevations of the building. With the inclusion of the cement board siding on the front (north) elevation, the building will have roughly 50% masonry components.
3. **Height:** 18'-2" to top of ridge
4. **Overhead doors:** Utility overhead door to be located on the north (front) elevation of mail room/garage building.
5. **Mechanical equipment:** No mechanical equipment is proposed to be mounted on the roof, however, should any be mounted on the roof, it shall be screened from view by materials that are compatible with the materials of the primary building.

**Section 3, Landscaping Plan:** Landscape plan shall be better detailed and provided to Village Staff for review and approval prior to implementation. Additional landscaping is recommended by Village Staff to buffer the view of proposed buildings to the residential property to the south.

**Section 4, Lighting:** Parking lot lighting fixtures are included in this submittal, however, no lighting plan nor building mounted lighting is included at this time. Both the lighting plan and specs on building mounted lighting shall be submitted for review and approval prior to installation.

**Section 5, Signage:** No signage details are submitted at this time, so any proposed signage shall be submitted for approval prior to installation.

**Section 6, Driveway-Curb Cut:** One 25' wide driveway with a 35' wide curb cut is proposed along Lear Ln. to access this site.

## RECOMMENDATION/CONDITIONS

Staff recommends conditional approval of this site plan in concept only, subject to the following in addition to any condition(s) the Site Review may identify:

1. Storm water drainage plan shall be reviewed and approved by Village Staff and Village Engineer prior to implementation.
2. Landscape plan shall be better detailed and submitted for review and approval prior to implementation. Additional landscaping shall be required to buffer the view of proposed buildings to the residential property to the south.
3. Both the lighting plan and specs on building mounted lighting shall be submitted for review and approval prior to installation.
4. Signage details shall be submitted for approval prior to installation.
5. Screening of any proposed roof mounted HVAC equipment with materials similar to those utilized for the principal building, or landscaping if such equipment is located on the ground.

## VILLAGE OF HOBART

SITE REVIEW / DEVELOPMENT AND DESIGN STANDARDS  
PROCESS & APPROVAL

## PLAN SUBMITTAL REQUIREMENTS:

- Fifteen (15) copies 11 x 17 or size that is legible with all information required by this process.
- Fifteen (15) copies of the Completed Checklist
- This checklist with complete information no later than ten 10 business days prior to the Third Tuesday of the month to the Village Clerk; NO LATER THAN 1200 HOURS. (Noon)
- One (1) full size set of site plans.
- One (1) full size set of building plans, Ready for State Approval
- All site plans shall be drawn to an engineering scale no greater than one-(1) inch equals one hundred (100) feet.
- Signs not part of this application would be a considered a separate application
- Application fee of \$150.
- One (1) Digital Copy of Plans

ALL INFORMATION MUST BE COMPLETE PRIOR TO SCHEDULING A MEETING OF THE SITE REVIEW COMMITTEE. NO BUILDING PERMIT WILL BE ISSUED WITHOUT APPROVED PLANS FROM THE SITE REVIEW COMMITTEE.

## 1. LOCATION

Project / Development / Site Location / intersection (section town & range)

Southwest corner of Packerland + Lear Lane  
Parcel # HB-LIS92

## 2. TYPE OF DEVELOPMENT

Size of Parcel (acreage or square footage): TOTAL parcel is 4.76 Acres, approx

Size of facility (square footage): 2,950 SF 1.5 Acres of total parcel

Type of facility: Fitness / CLUB ROOM

Developer: PDK Investments, LLC

Address: 445 Cardinal Lane Suite 107 GB, WI 54313  
Phone: (920) 371-1057

Engineer: David Meister@Vierbicher

Address: 400 Security Blvd GB, WI 54313  
Phone: (920) 434-9760

Contractor: Duquaine Development - Jake Hoffman

Construction Firm: Duquaine Development

Address: 1927 Lakeside Place GB, WI 54302  
Phone: (920) 371-8834

Revised 1-23-08

5. LANDSCAPING PLAN

If planting new trees in Village right-of-way, a requirement of a 1.5" caliper or greater of the tree at 12" above ground is needed, according to planting ordinance specifications. A tree-planting plan must be filed with the application. Tree placement is 1-tree every 50 feet of frontage.

Provide scaled landscaping of plan for parcel

Identify tree and location specifics – Quantity / Diameter, etc:

See attached Landscaping plan

Identify Shrubs & Location Specifics - Quantity: see attached landscape plan

Identify Buffering -Type – Quantity:

Concrete N/A

6. LIGHTING PLAN

Provide scaled lighting plan for parcel

Identify Exterior Building Lighting – Quantity, Wattage, Location :

Recessed soffit lighting on building. See attached spec sheet for parking lot lighting (same product as currently being used on Arroyo apt buildings)

Identify Parking Lighting – Quantity – Wattage – Location :

See above + attached.

Identify other Lighting – Quantity – Wattage – Location:

N/A



H. Adjacent streets and street rights-of-ways and fire lanes:

- 1) Fire Chief has reviewed and approved: \_\_\_YES \_\_\_NO
- 2) Not applicable \_\_\_\_\_

I. Water bodies and wetlands. Over 1-acre disturbed requires storm water plan.

- 1) Surface water holding ponds, drainage ditches, and drainage patterns, location and size of culverts
- 2) Name and address and phone# of engineer of project plan:

David Meister @ Vierbicher

J. Sidewalks, walkways, and driveways:



K. Off street loading areas and docks:



L. Fences and retaining walls or berms:



M. Location & Size of exterior refuse collection areas (must be enclosed a minimum of three (3) sides):

N/A

N. Location and dimensions of proposed outdoor display areas: \_\_\_\_\_

N/A

4. ARCHITECTURAL PLAN APPROVAL

A. Exterior construction information:

1) Type of Construction Materials: see plans

2) Exterior Materials: Dimensional Shingles, vinyl windows, vinyl vertical siding, brick

3) Height of Facility: see plans Masonry + Cement

4) Compatibility with existing adjacent structure: photo attached (Attach board Photos) actual samples available @ meets

5) Other unique characteristics: Contemporary design board meeting.

3. SITE PLAN APPROVAL

A. Industrial \_\_\_ Business Park \_\_\_ Commercial  Clubhouse  
Multi-Family \_\_\_

Current Zoning: PUD

Other - Identify: \_\_\_\_\_

Erosion Control Plan on file: \_\_\_\_\_ YES  NO

% of Green Space: Approx 40%

B. Orientation - Provide scale map of parcel and facility, (show north indicating arrow, and a graphic scale)

C. Setback Information: See blueprints Complies with Ordinance: Yes

D. # of parking stalls ( Include Handicapped parking): 27

E. Show the following Utilities and all easements including but not limited to the following facilities types:

1) Electric underground  overhead

2) Natural Gas

3) Telephone

\* All utilities on Bear Lane

4) Water / Fire Hydrants

5) Fiber Optic Lines

6) Other transmission lines \_\_\_\_\_

7) Ingress - egress easements \_\_\_\_\_

F. Total Site Build-out including future structures and setbacks:

Complies with ordinance  YES \_\_\_\_\_ NO

G. Identify on the Site Plan Key: Spot Elevations: such as Center of Street, Driveway apron, 4 - corners of lot, building elevations, building floor, key drainage points & ditches on local USGS Datum:

Data Complete: \_\_\_\_\_ YES \_\_\_\_\_ NO

See blueprints



# Storm Water Utility Service Application

Dept. of Neighborhood Services  
2980 S. Pine Tree Rd.  
Hobart WI 54155  
920-869-3800

**A. Applicant**

Applicant Name: PDK Investments, LLC Owner Name: Same  
 Address: 445 Cardinal Lane Site 107 Address: "  
 City: Green Bay State: WI Zip: 54313 City: " State: " Zip: "  
 Phone: (920) 371-1057 Phone: ( ) "  
 Email: Katlemelham59@gmail.com Email: "

**B. Parcel - Site Information**

Site Address: Leap Lane Parcel ID: HB-L-159-2  
 Project Description: New Construction Clubhouse / Fitness Center for ARVUW APTS

**Residential ERU Calculations**

Use	<input type="checkbox"/> Single Family	<input type="checkbox"/> Duplex	<input type="checkbox"/> Multi-family
Number of Dwellings			
ERU's / Dwelling	1 ERU	0.75 ERU	0.6 ERU
<b>Total ERU's</b>			

**Nonresidential Uses - Impervious Surface Calculation**

	Existing		Change (+/-)		= New Total Area	
		sq. ft.		sq. ft.		sq. ft.
Building/Structure Foot Prints	Ø		3822	sq. ft.	3822	sq. ft.
Paved/Gravel Areas	Ø		12,149	sq. ft.	12,149	sq. ft.
<b>Totals</b>	Ø	sq. ft.	15,971	sq. ft.	15,971	sq. ft.

ERU Calculation:  $\frac{15,971}{4000 \text{ sf / ERU}} = 3.99$  ERU's

Preparer's Signature: [Signature] Date: 10-9-23

Preparer's Printed Name: DAVID J. MEISER

7. SIGNAGE

Provide scaled drawings.

Provide Site Plan for signage

Provide building elevations with signage.

Discussion: Signage will be at later date, Application  
will be at later date

Complies with Ordinance: \_\_\_\_\_ YES \_\_\_\_\_ NO

Date: 10-9-2023

8. DRIVEWAY – CURB CUT

Width of Curb Cut: 35'

Radius / Flare: 5' PER SIDE

Apron Dimensions: 25'

Culvert Size (End-walls Required) N/A

# Parking Lot Lighting

## LWA SERIES Outdoor Lighting

LWA-20WW  
LWA-20NW  
LWA-20CW

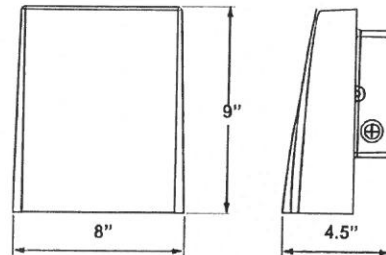
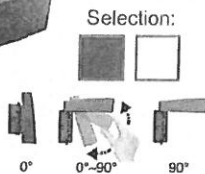
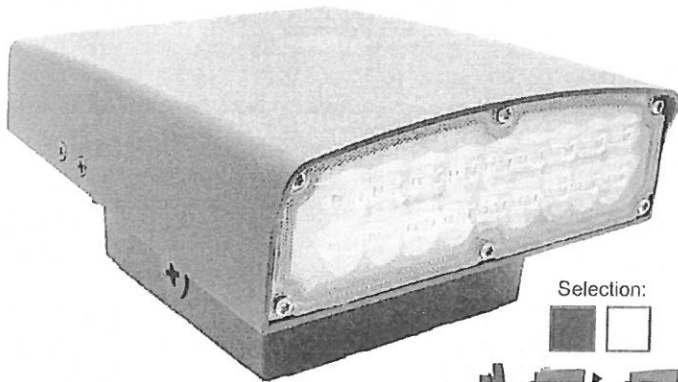
**WESTGATE**  
THE FUTURE IS HERE... AND IT'S QUITE BRIGHT!

Customer Name: \_\_\_\_\_

Project Name: \_\_\_\_\_

Note: \_\_\_\_\_

Type: \_\_\_\_\_



8" (W) x 9" (H) x 4.5" (D)

Ideal for general site lighting, alleys, loading docks, doorway, pathway, and parking areas. Great for use with motion sensors or another instant on/off controls.

## Features

- High Light Transmittance, Anti-UV and Fire Resistant PC Lens
- LED Type/Brand: SMD 3030/ Philips Lumileds LEDs
- Four 1/2" Knockouts: 1 Top, 1 on Each Side, 1 Back
- Die-Cast Aluminum With Powder Coat Finish (Dark Bronze)
- 7-Year Warranty

## Technical Specifications

### Electrical:

- Voltage: 120-277VAC 60Hz
- Wattage: 20W
- Power Factor: >0.95
- Efficacy: 100/ 110 LPW

### Mechanical:

- Die-Cast Aluminum With Powder Coat Finish
- High Light Transmittance, Anti-UV and Fire Resistant Shatterproof PC Lens
- Light Head Can Be Adjusted From 0° to 90°
- Full Cutoff, Dark Sky Compliant
- Four 1/2" Knockouts: 1 Top, 1 on Each Side, 1 Back
- Operating Temperature: -4°F -104°F
- Wet Location
- 7-Year Warranty
- IP65

### Lighting:

- LED Type/Brand: SMD 3030/ Philips Lumileds LEDs
- The Type II Distribution is Used For Wide Walkways, On Ramps and Entrance Roadways, As Well As Other Long, Narrow Lighting
- Total Lumens: 2000LM/ 2200LM
- Color Temperatures: 3000K/ 4000K/ 5000K
- Color Rendering Index: CRI ≥ 80
- Beam angle: 80° x 100°
- Rated life: 70,000 Hrs

### Applications:

- General site Lighting
- Alleys
- Loading docks
- Doorways
- Pathways
- Parking areas

### Other Models:

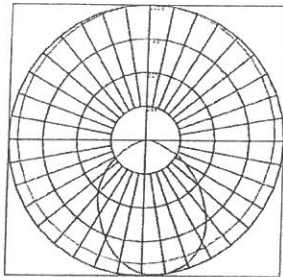
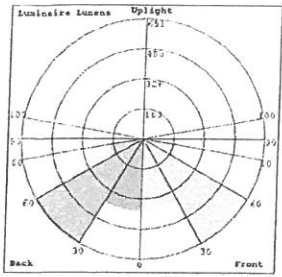
- 12W | 1100LM | LWA-12WW
- 30W | 3000LM | LWA-30WW
- 50W | 4900LM | LWA-50WW
- 80W | 8800LM | LWA-80WW
- 120W | 13700LM | LWA-120WW
- 12W | 1200LM | LWA-12NW
- 30W | 3200LM | LWA-30NW
- 50W | 5200LM | LWA-50NW
- 80W | 9000LM | LWA-80NW
- 120W | 13700LM | LWA-120NW
- 12W | 1200LM | LWA-12CW
- 30W | 3200LM | LWA-30CW
- 50W | 5200LM | LWA-50CW
- 80W | 9000LM | LWA-80CW
- 120W | 13700LM | LWA-120CW



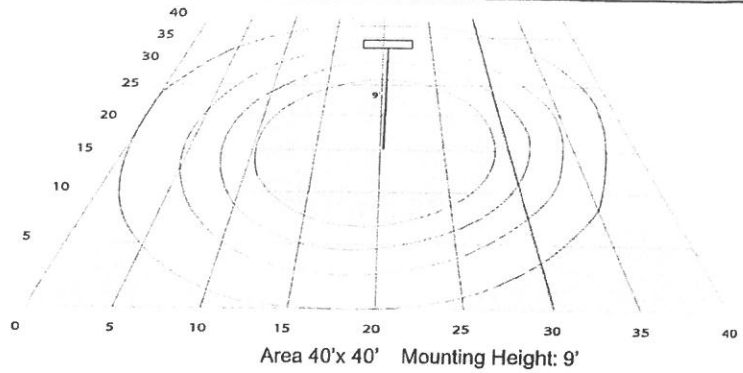
Phone: (877) 805-2252 | Fax: (877) 805-2252  
www.westgatemfg.com | www.westgatecontrols.co



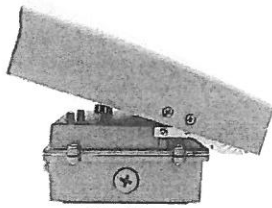
**Photometrics:** LWA-20W



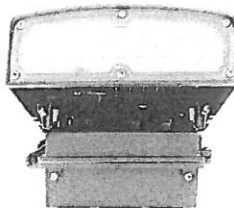
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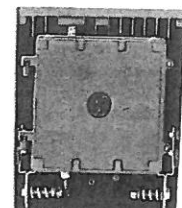
**Other Views:**



Side View



Front View



Back View

**Performance Table:** LWA-20W

MODEL NO.	Wattage	Voltage	Lumens	Color Temp.	BUG Rating	LPW
LWA-20WW	20W	120~277V	2000LM	3000K	B1-U0-G1	100
LWA-20NW	20W	120~277V	2200LM	4000K	B1-U0-G1	110
LWA-20CW	20W	120~277V	2200LM	5000K	B1-U0-G1	110

**Sample Ordering**

Model    Wattage    Color Temp.

LWA - 20W -

WW = 3000K  
 NW = 4000K  
 CW = 5000K

**Accessories:**

Blank = No Option For Accessories  
 LWA-SH2=SHROUD FOR LWA 20W

**Factory-Installed Options:**

Blank = No Option For Accessories  
 OPT-EM-FM1INT= INTERNAL EMERGENCY BACKUP BATTERY  
 OPT-SEN-3MRLV-5= PROGRAMMABLE MICROWAVE BI-LEVEL  
 OPT-CLR-85= COLOR PAINT  
 OPT-PC-B = BUTTON  
 WEC-8RC = OPTIONAL REMOTE

**ACCESSORIES:**



LWA-SH2

**FACTORY-INSTALLED OPTIONS:**



OPT-EM-FM1INT



OPT-SEN-3MRLV-5



WEC-8RC



OPT-PC-B

**Example:**

- LWA-20CW (FOR LWA 20W 5000K FIXTURE 120-277V)
- LWA-20CW LWA-SH2 (FOR LWA 20W 5000K FIXTURE 120-277V) (SHROUD FOR LWA 20W)
- LWA-20CW LWA-SH2 OPT-EM-FM1INT (FOR LWA 20W 5000K FIXTURE 120-277V) (SHROUD FOR LWA 20W) (INTERNAL EMERGENCY BACKUP BATTERY)



ARVADA CLUBHOUSE LANDSCAPE LEGEND

**EXISTING LEAR LANE STREET TREES:**

-  SPRING SNOW CRAB
-  AUTUMN BLAZE MAPLE
-  WHITE PINE
-  THORNLESS HONEYLOCUST
-  AUTUMN BLAZE PEAR
-  PRAIRIEFIRE CRAB

**DECORATIVE LANDSCAPE TREES 1 ½" CALIPER**

-  SPRING SNOW CRAB
-  AUTUMN BLAZE MAPLE
-  WHITE PINE
-  THORNLESS HONEYLOCUST
-  AUTUMN BLAZE PEAR
-  PRAIRIEFIRE CRAB
-  MISS KIM LILAC

**DECORATIVE LANDSCAPE SHRUBS 15"-18"**

-  MINUET WEIGELA
-  MAGIC CARPET SPIREA
-  FLOWERING HYDRANGEA
-  BROADMOOR JUNIPER
-  FINELINE TALL HEDGE (4FT)
-  PIGMY BARBERRY

**DECORATIVE LANDSCAPE PERRENIALS 1 GALLON**

-  MIXED HOSTAS
-  OSTRICH FERNS
-  MIXED HEUCHERA

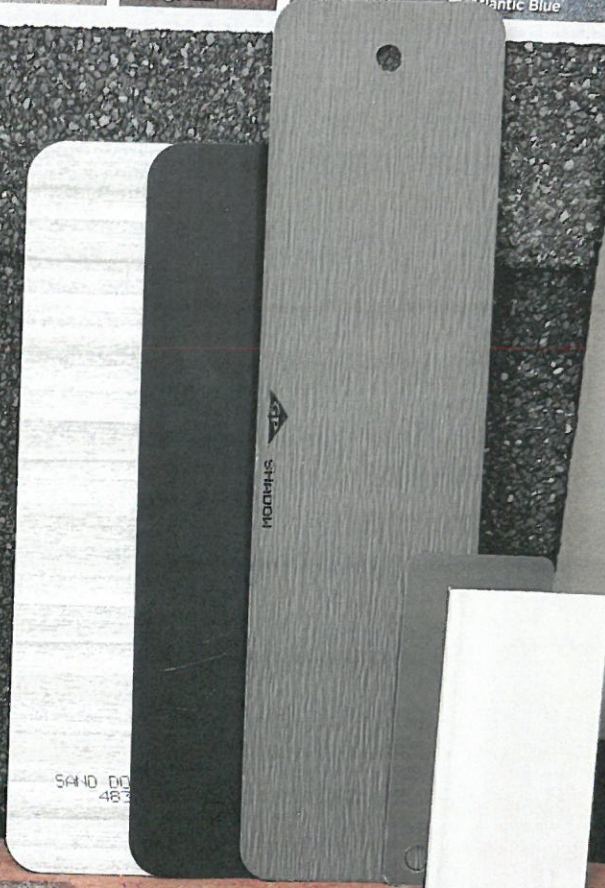
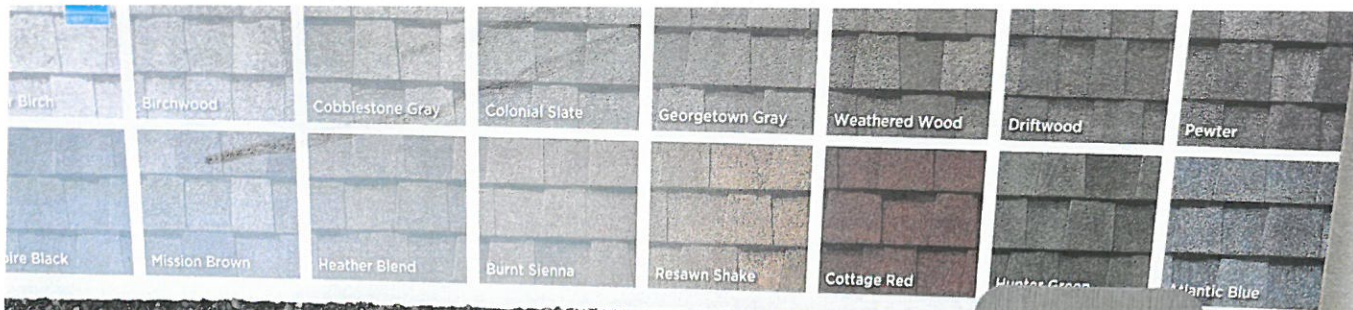


elevation facing clubhouse of  
apartment across the street





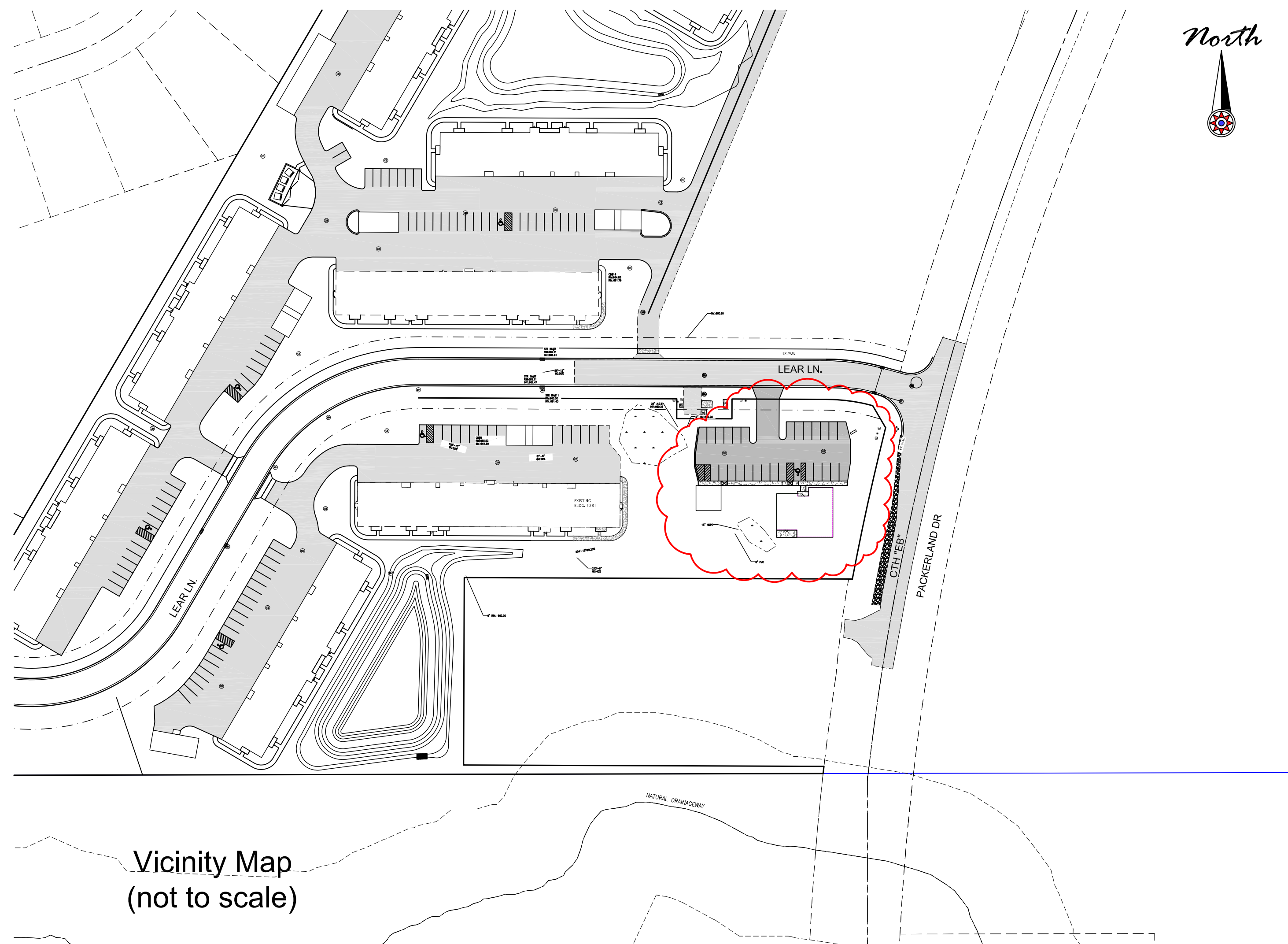
Elevation facing Clubhouse of  
Adjacent Apartment



Proposed Exterior Color Scheme

# ARVADA APARTMENT SITE CLUBHOUSE

VILLAGE OF HOBART  
BROWN COUNTY, WISCONSIN



### PROJECT INFORMATION

<b>OWNER(S):</b> MEACHAM REALTY
<b>PROJECT NAME:</b> ARVADA APARTMENTS
<b>PROJECT DESCRIPTION:</b> CLUBHOUSE, MAIL ROOM, PARKING LOT
<b>PROJECT ADDRESS:</b> 1281 LEAR LANE
<b>TAX PARCEL NUMBER(S):</b> HB-L159-2

### CONTACT INFORMATION

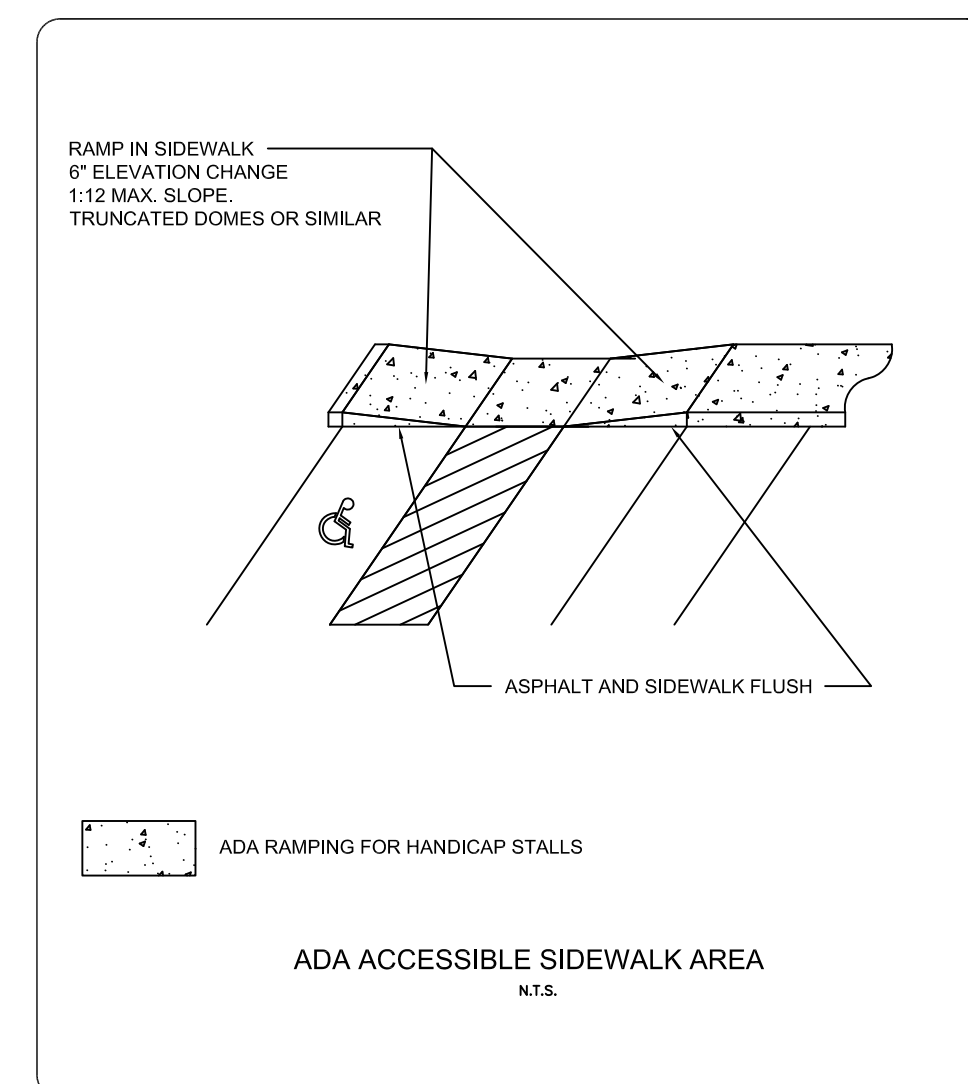
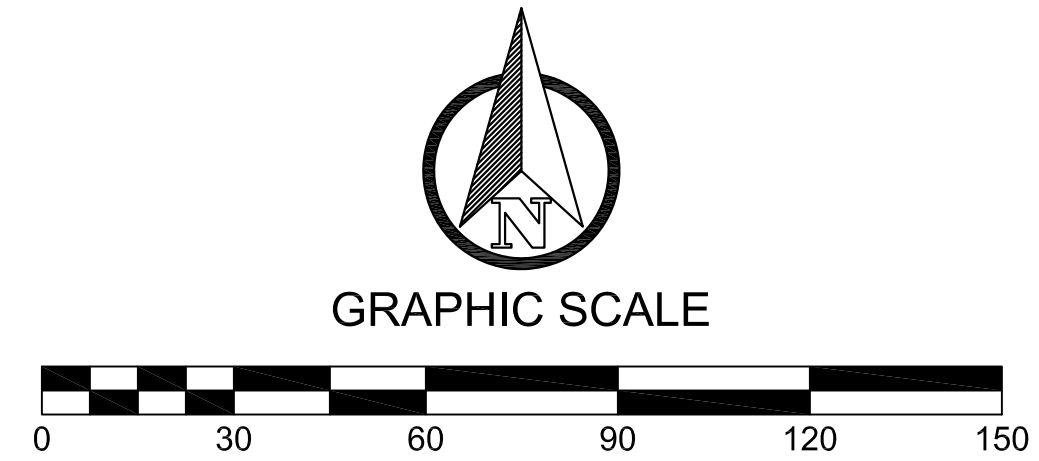
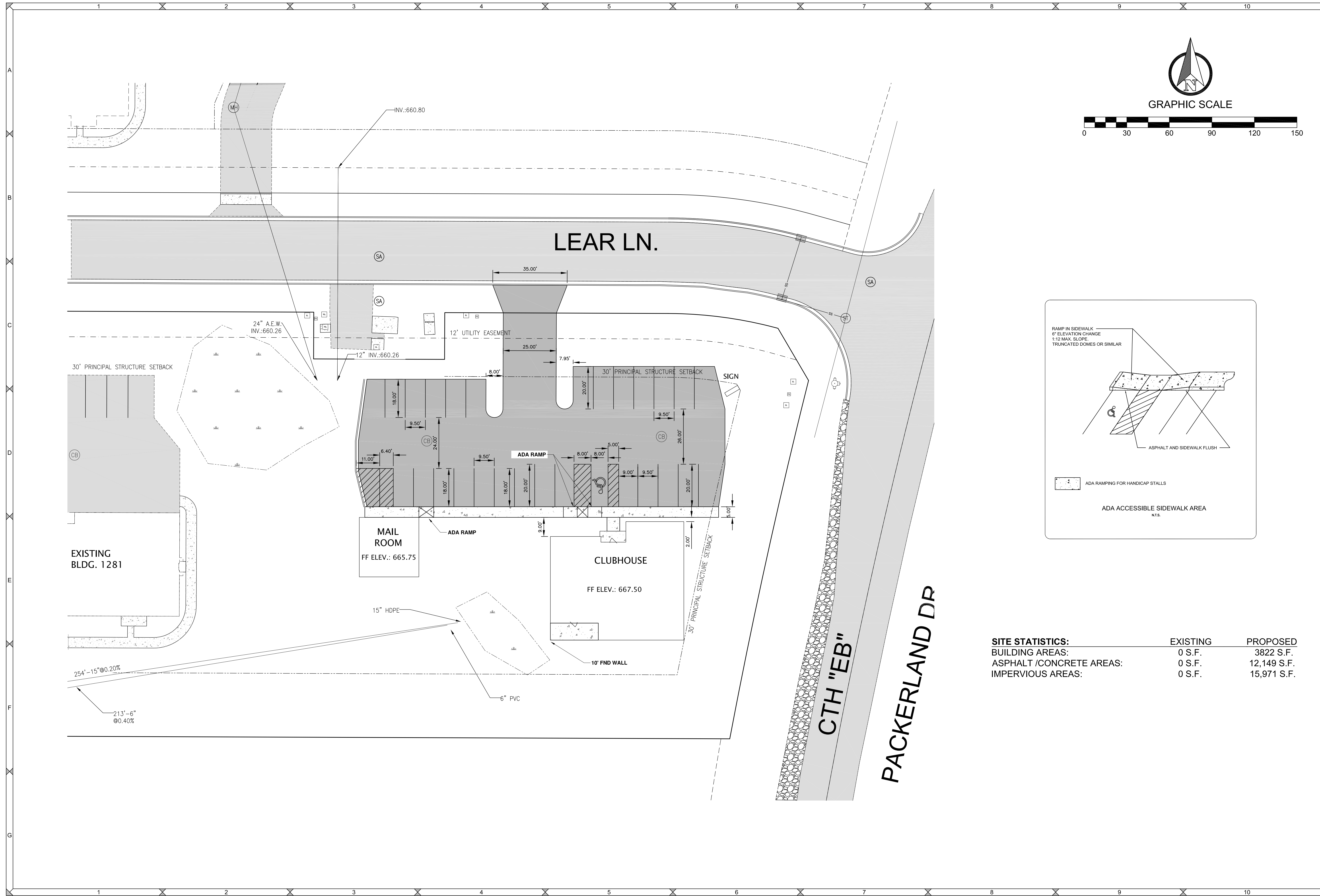
<b>OWNER(S):</b> MEACHAM REALTY 445 CARDINAL LANE GREEN BAY, WI 54313 920-494-4557
<b>ENGINEER:</b> VIERBICHER CONTACT: DAVID J. MEISTER, P.E. 400 SECURITY BLVD. GREEN BAY, WI 54313

- SHEET INDEX:**
- C1.0 TITLE SHEET
  - C2.0 SITE LAYOUT PLAN
  - C3.0 EXISTING SITE
  - C4.0 EROSION CONTROL PLAN
  - C5.0 GRADING
  - C6.0 SITE UTILITY PLAN
  - C7.0 NOTES & DETAILS

**LEGAL DESCRIPTION**  
LOT 1 OF 62 CSM 272 BNG PRT OF GOVT LOT 2 SEC 25 T23N R19E.  
PARCEL CONTAINS 207,687 SQUARE FEET

**Vierbicher**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Fax: 920-434-9672

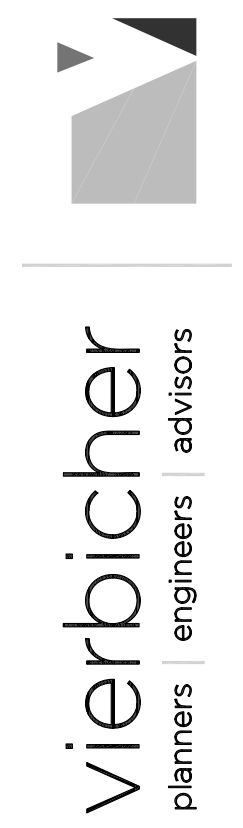
DATE: 10-09-23
PROJECT NO. M-21003
SHEET NO. <b>C1.0</b>
DRAWING NO. <b>S-3795</b>



SITE STATISTICS:	EXISTING	PROPOSED
BUILDING AREAS:	0 S.F.	3822 S.F.
ASPHALT /CONCRETE AREAS:	0 S.F.	12,149 S.F.
IMPERVIOUS AREAS:	0 S.F.	15,971 S.F.

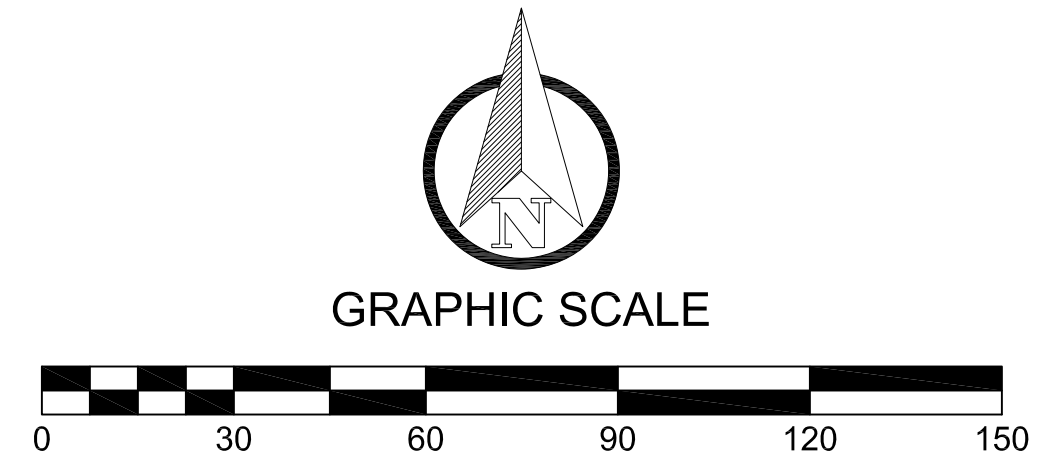
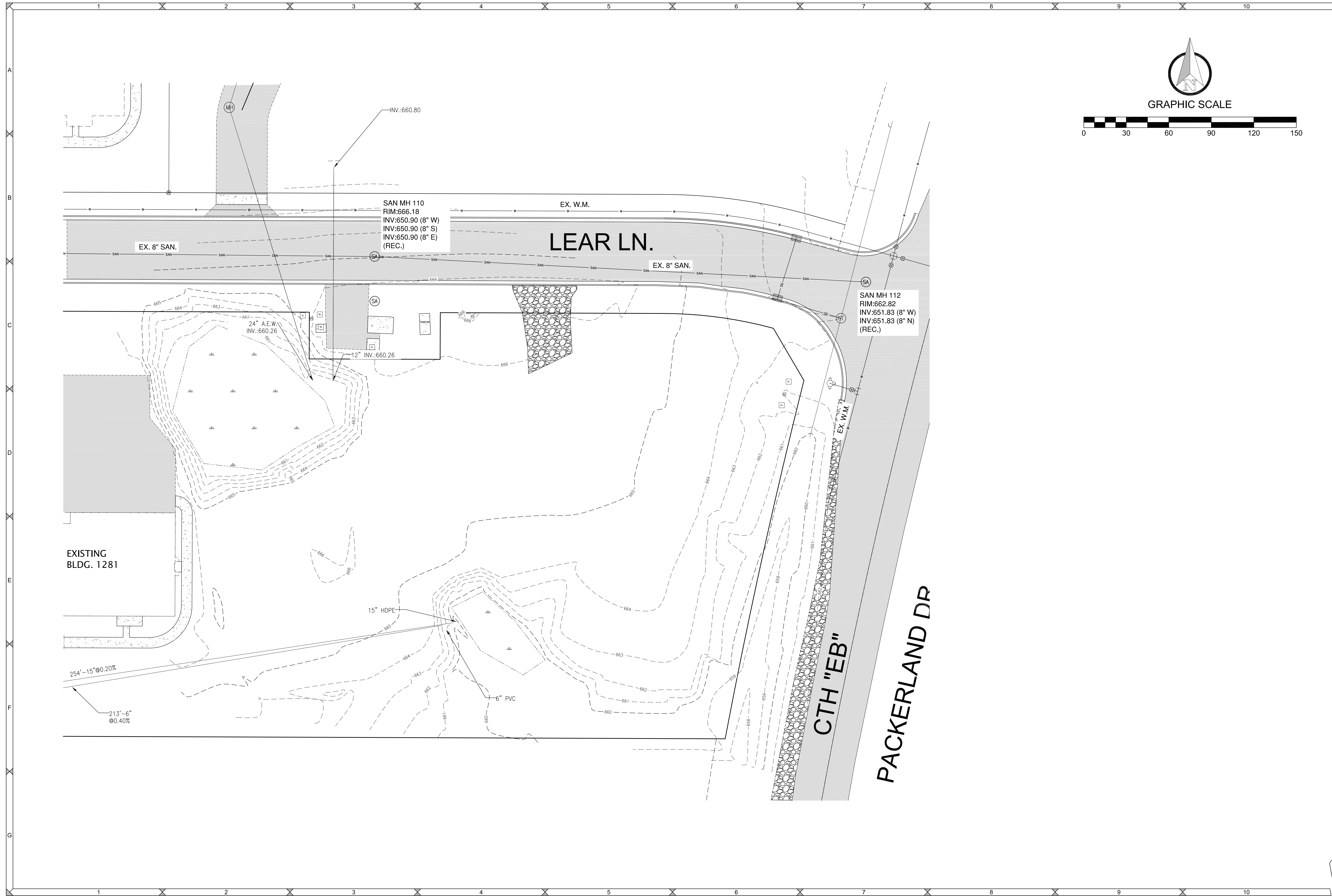
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DATE  
10-09-23

Number	Date	Comments



SIET LAYOUT  
ARVADA CLUBHOUSE  
File: M-21003 Clubhouse Area 100923.dwg

PROJECT NO.  
M-21003  
SHEET NO.  
**C2.0**  
DRAWING NO.  
**S-3795**



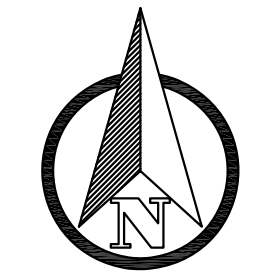
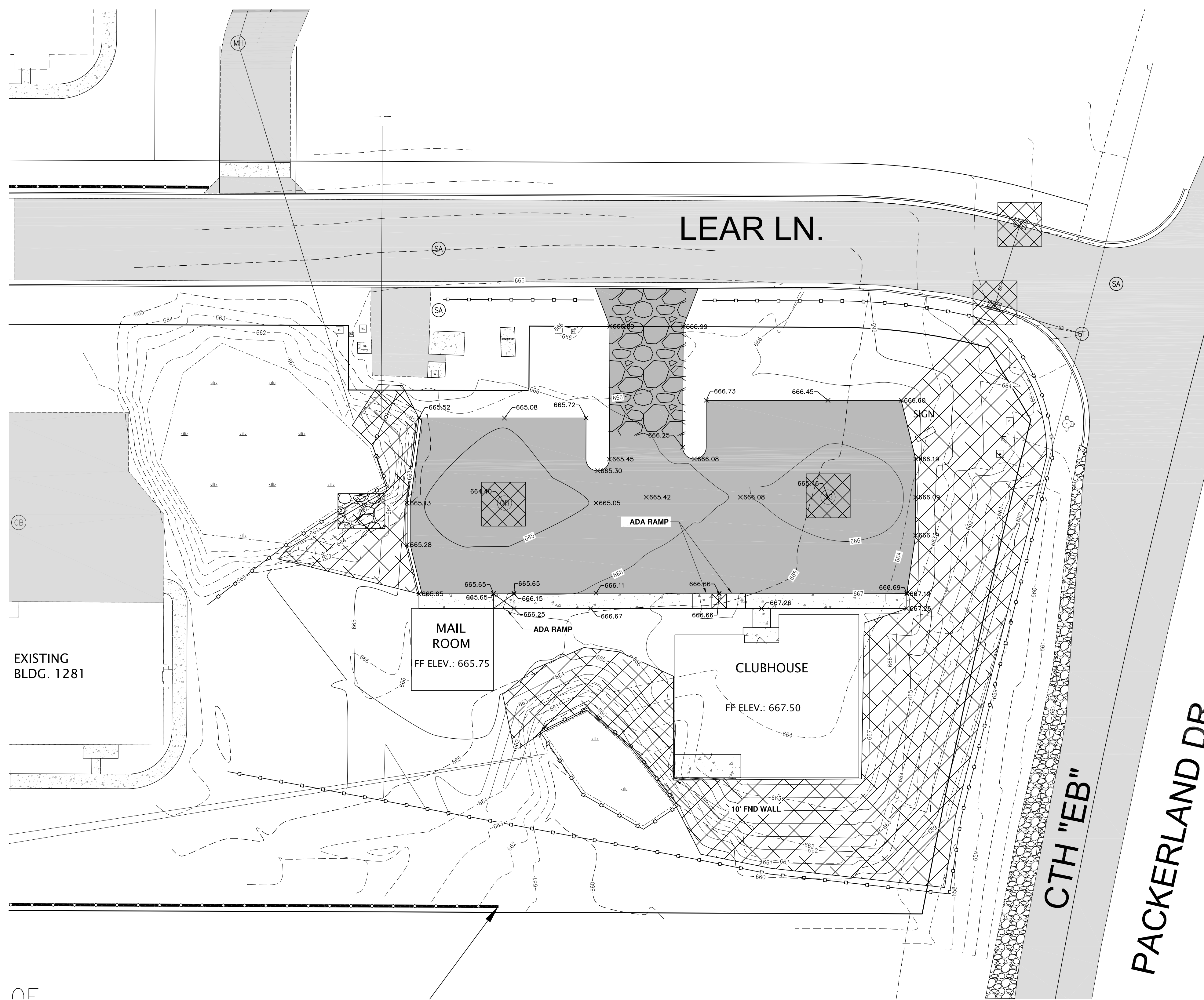
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10-09-23

Number	Date	Comments



**EXISTING SITE**  
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PROJECT NO.  
M-21003  
SHEET NO.  
**C3.0**  
DRAWING NO.  
**S-3795**



GRAPHIC SCALE



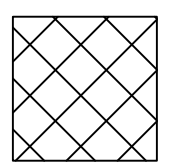
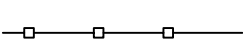
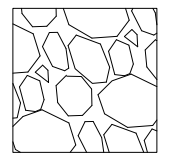
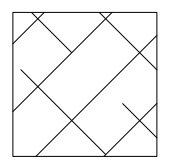
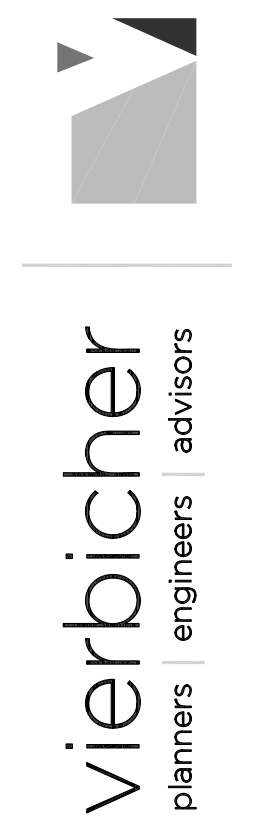
-  INLET PROTECTION (TYPICAL)
-  SILT FENCE
-  TRACKING PAD
-  EROSION CONTROL MAT FOR SLOPE STABILIZATION

TABLE 1- PRESCRIPTIVE COMPLIANCE AREA SOIL STABILIZATION

PRESCRIPTIVE COMPLIANCE AREAS	BARE SOIL	SLOPE & CHANNEL MANAGEMENT	PERIODS OF INACTIVITY	FINAL GRADE
SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS	AREAS THAT DO NOT DRAIN TO SEDIMENT BASINS OR TRAPS	GENERAL DESIGN AND IMPLEMENT APPROVED SOIL STABILIZATION PRACTICES PER DNR TECHNICAL STANDARDS.	PLANNED INACTIVITY STABILIZE IMMEDIATELY IF AREA WILL BE LEFT INACTIVE FOR MORE THAN 14 DAYS.	PERMANENT FEATURES STABILIZE AREA IMMEDIATELY AFTER REACHING FINAL GRADE.
UTILITY TRENCH BACKFILLS	LIMIT THE DURATION OF SOIL EXPOSURE TO NO MORE THAN 30 DAYS.	REFER TO WSDOT SLOPE & CHANNEL MATRICES FOR APPROPRIATE SLOPE AND SLOPE LENGTH CONDITIONS.	UNPLANNED INACTIVITY STABILIZE AREA IMMEDIATELY IF PERIOD OF INACTIVITY REACHES 14 DAYS.	TEMPORARY FEATURES STABILIZE AREA IMMEDIATELY AFTER ESTABLISHMENT OF TEMPORARY FEATURE OR REACHING SPECIFIED TEMPORARY GRADE.
TEMPORARY DITCHES/SWALES THAT WILL EXIST FOR MORE THAN 7 DAYS	AREAS THAT DRAIN TO SEDIMENT BASINS OR TRAPS	SLOPES STEEPER THAN 20%		
PERMANENT DITCHES/SWALES	LIMIT THE DURATION OF SOIL EXPOSURE TO NO MORE THAN 30 DAYS. HOWEVER, USE THE DURATION FROM THE SOIL LOSS AND SEDIMENT DISCHARGE CALCULATIONS FOR THE OTHER AREAS OF THE SITE IF LESS THAN 90 DAYS.	PROVIDE STABLE DIVERSION OF OFF-SITE RUNOFF AROUND THE SLOPE.		
SMALL AREAS - LESS THAN 1 ACRE AND LESS THAN 1% OF SITE		PROVIDE SLOPE INTERRUPTION DEVICES IN ACCORDANCE WITH MANUFACTURED PERIMETER CONTROL & SLOPE INTERRUPTION PRODUCTS TECHNICAL STANDARD 1071 OR EQUIVALENT METHODS TO REDUCE UNINTERRUPTED SLOPE LENGTH.		
DISCRETE AREAS - LESS THAN 1 ACRE				
STORM WATER PRACTICE SIDE SLOPES				
SLOPES STEEPER THAN 20%				

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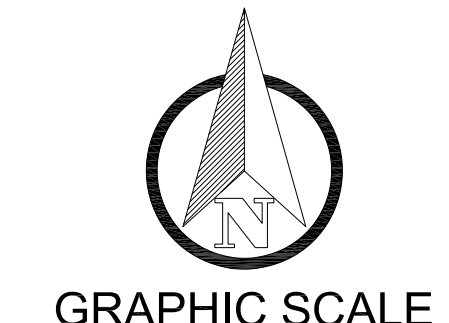
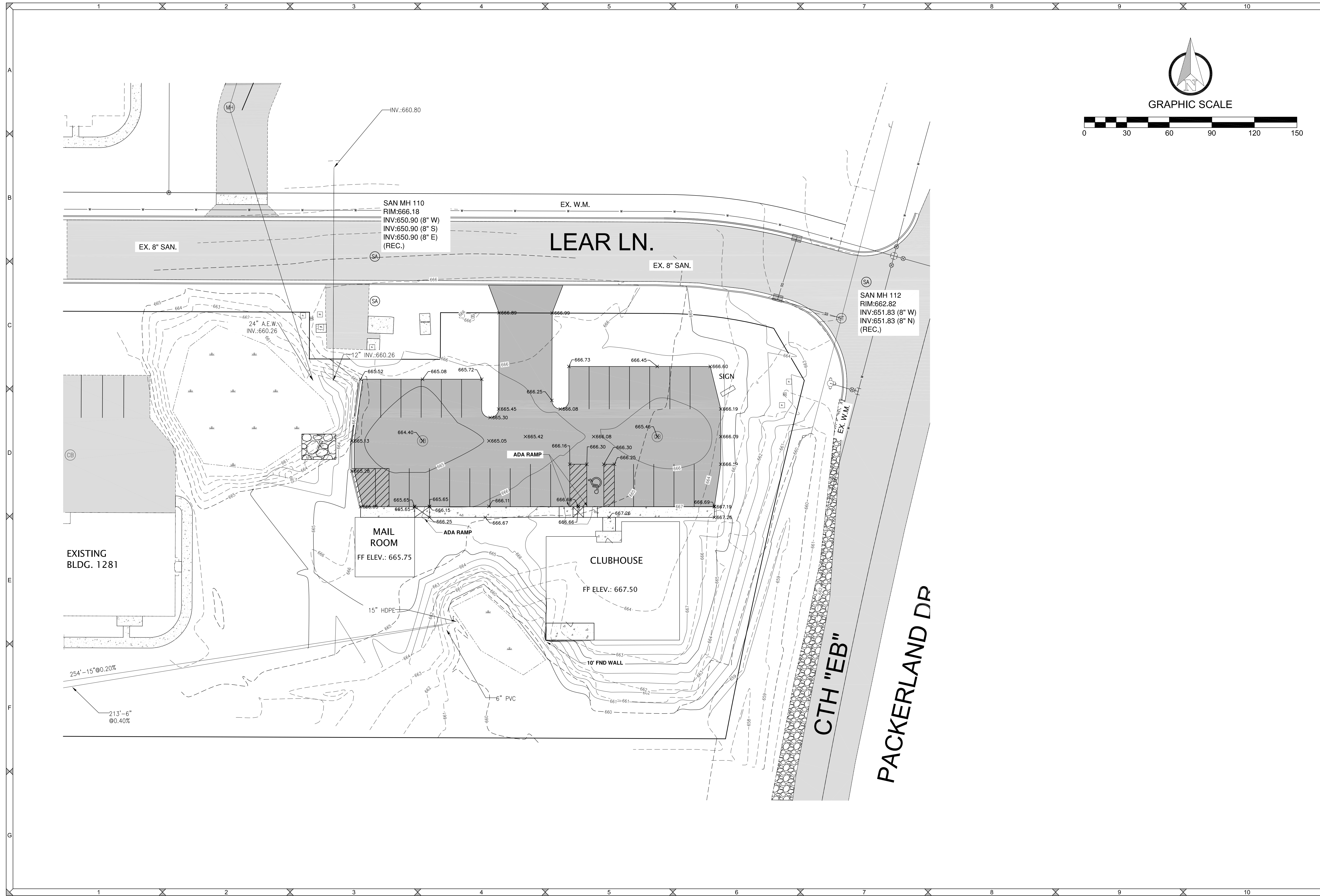
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**EROSION CONTROL PLAN**  
**ARVADA CLUBHOUSE**

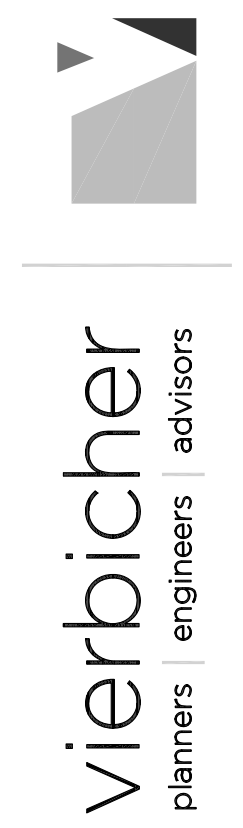
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M-21003  
SHEET NO.  
**C4.0**  
DRAWING NO.  
**S-3795**

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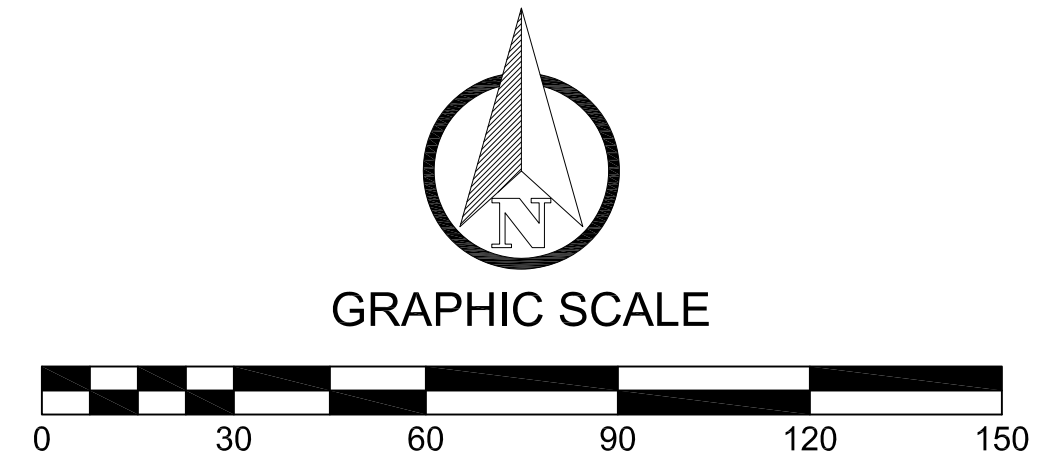
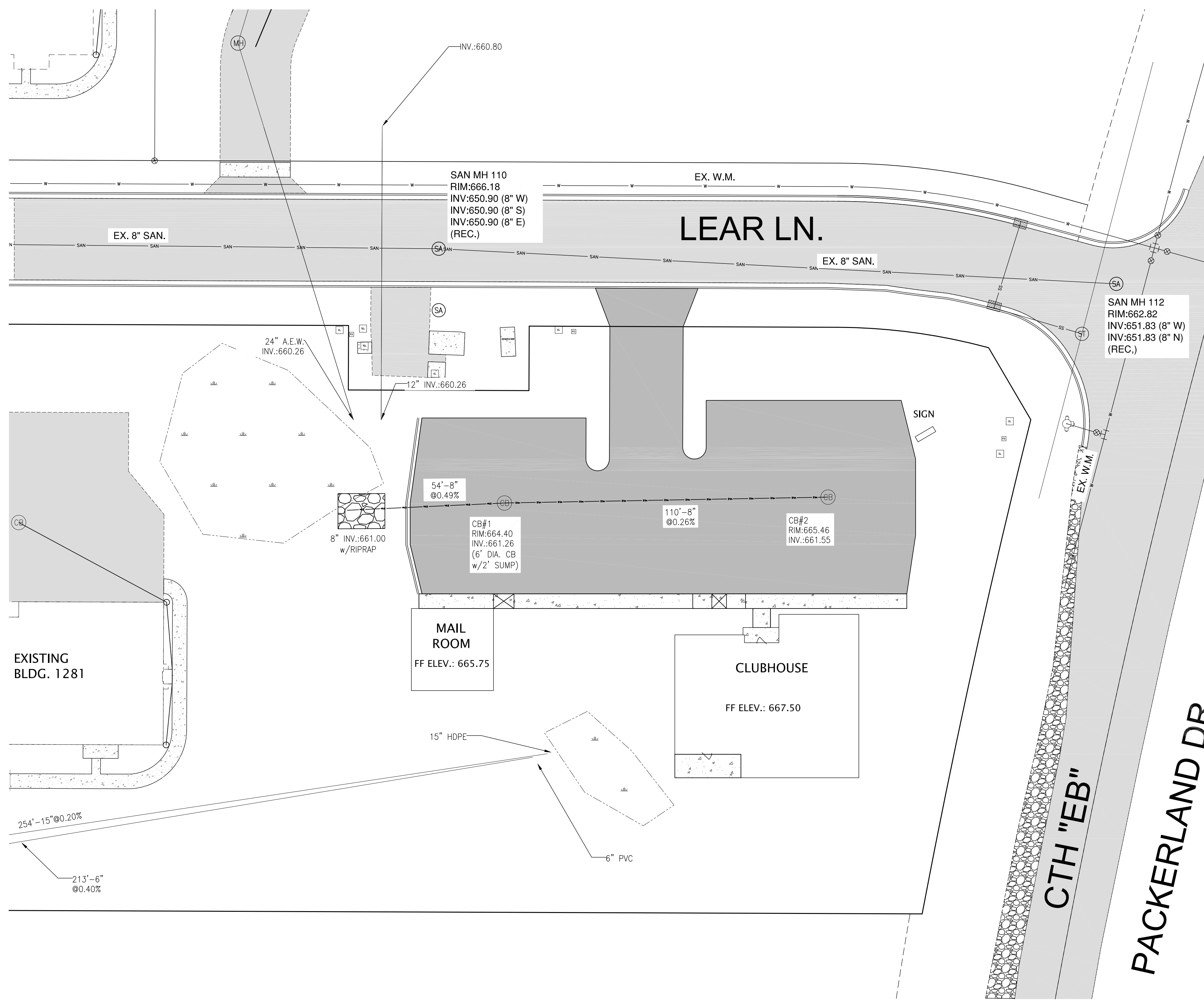
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Number	Date	Comments



GRADING PLAN  
ARVADA CLUBHOUSE  
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PROJECT NO.  
M-21003  
SHEET NO.  
**C5.0**  
DRAWING NO.  
**S-3795**



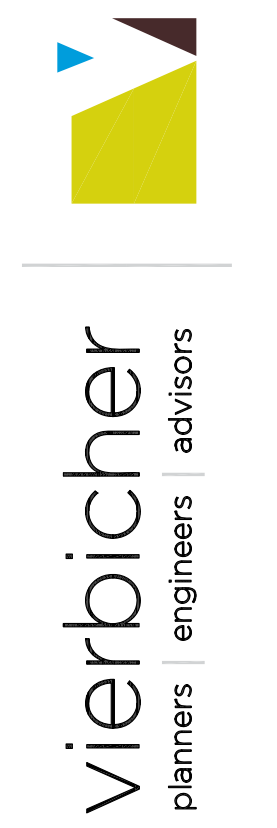
- UTILITY & LATERAL NOTES:**
- FIELD VERIFY EXISTING SANITARY AND WATER SERVICE LOCATIONS.
  - SANITARY LATERAL TO THE BUILDING SHALL 1/8" FT. SLOPE MINIMUM AND BE STUB UNDER THE FOUNDATION TO 3'+/- INSIDE THE BUILDING. VERIFY EXACT LOCATION WITH OWNER AND GENERAL CONTRACTOR.
  - SANITARY LATERAL TO HAVE CLEANOUT AT LEAST EVERY 100'. PLACE CLEANOUT IN GREEN AREAS WHEN EVER POSSIBLE. ALSO CLEANOUTS MUST BE PLACED WITHIN 5' OF THE FOUNDATION WALL.
  - WATER LATERAL TO THE BUILDING SHALL BE 4", (UNLESS THE PLUMBING DESIGNER DECIDES OTHERWISE), AND HAVE DUCTILE IRON RISERS WITH FLAT FACED FLANGES. VERIFY EXACT LOCATION WITH THE OWNER AND GENERAL CONTRACTOR.

CATCH BASINS	AREA	ROOFTOP (SF)	PAVEMENT (SF)	GREEN SPACE (SF)	FLOW (GPM)	COMBINED FLOW (GPM)	CAPACITY (GPM)	PIPE SIZE@SLOPE
1	10,270	400	7,610	2,260	271	472	474' 8" @0.49%	
2	6,190	1,650	4,460	80	201	201	350' 8" @0.26%	

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**SITE UTILITY PLAN**  
**ARVADA CLUBHOUSE**  
File: M-21003 Clubhouse Area 100923.dwg

PROJECT NO.  
M-21003  
SHEET NO.  
**C6.0**  
DRAWING NO.  
**S-3795**



**CONSTRUCTION SITE EROSION CONTROL**

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS AND IF NO STANDARD EXISTS THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (CURRENT EDITION) SHALL BE REFERENCED. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO DISTURBING THE SITE. CONTRACTORS SHALL MINIMIZE THE DURATION AND SIZE OF DISTURBED AREAS TO THE MAXIMUM EXTENT PRACTICABLE. EROSION AND SEDIMENT CONTROL PRACTICES PROPOSED FOR THIS PROJECT ARE DESCRIBED AS FOLLOWS:

**SEDIMENT TRACKING FROM CONSTRUCTION SITE:**

- **STONE TRACKING PAD(S) - TECHNICAL STANDARD 1057**  
STONE TRACKING PADS WILL BE INSTALLED AT ENTRANCES SHOWN ON THE SITE. TRACKING PADS SHALL BE IN PLACE PRIOR TO LAND DISTURBING ACTIVITIES.  
WASH WATER FROM VEHICLE AND WHEEL WASHING SHALL BE TREATED BEFORE ENTERING WATERS OF THE STATE.
- **STREET SWEEPING/CLEANING**  
SEDIMENT TRACKED FROM THE CONSTRUCTION SITE SHALL BE CLEANED UP AT THE END OF EACH WORK DAY UNLESS THE SEDIMENT PRESENTS A HAZARD. SEDIMENT PRESENTING A HAZARD MUST BE CLEANED UP IMMEDIATELY.

**SEDIMENT CARRIED OFF-SITE BY OVERLAND FLOW OR RUNOFF:**

- **SILT FENCE - TECHNICAL STANDARD 1056**  
SILT FENCE WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS OF THE SITE. THE FENCE SHALL BE INSTALLED ALONG THE CONTOURS AND BE IN-PLACE PRIOR TO LAND DISTURBING ACTIVITIES.
- **SEEDING - TECHNICAL STANDARD 1059; MULCHING - TECHNICAL STANDARD 1058**  
DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND MULCHED AS SOON AS THEY ARE BROUGHT TO FINISHED GRADE. IN ADDITION, ANY STOCK PILES IN PLACE FOR 7 DAYS OR MORE SHALL BE SEEDED AND MULCHED.
- **NON-CHANNEL EROSION MAT - TECHNICAL STANDARD 1052**  
EROSION CONTROL MAT SHALL BE PLACED AS SHOWN ON THE PLANS, AND/OR AS DETERMINED IN THE FIELD, TO PROTECT THE DISTURBED SLOPES FROM EROSION. NON-CHANNEL EROSION MAT SHALL BE INSTALLED AS SOON AS THE SLOPE HAS BEEN BROUGHT TO FINISHED GRADE.

- **CONSTRUCTION SITE DIVERSION - TECHNICAL STANDARD 1066**  
WHERE POSSIBLE, THE SITE WILL BE GRADED SUCH THE RUNOFF FROM UNDISTURBED AREAS IS ROUTED AROUND DISTURBED AREAS OF THE SITE.

**SEDIMENT CARRIED OFF-SITE BY DEWATERING OPERATIONS:**

- **DEWATERING - TECHNICAL STANDARD 1061**  
DEWATERING IS NOT ANTICIPATED FOR THIS PROJECT. IF IT IS REQUIRED, DEWATERING SHALL BE IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD. ANY NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO DEWATERING OPERATIONS TAKE PLACE.

**SEDIMENT ENTERING STORM DRAIN INLETS:**

- **STORM DRAIN INLET PROTECTION - TECHNICAL STANDARD 1060**  
ALL INLETS, PROPOSED AND EXISTING, ACCEPTING RUNOFF FROM DISTURBED AREAS OF THE SITE SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO LAND DISTURBING ACTIVITY WITHIN THE AREA DISCHARGING TO THE INLET.

**SEDIMENT BEING CARRIED OFF-SITE BY WIND:**

- **DUST CONTROL - TECHNICAL STANDARD 1068**  
WHEN REQUIRED, DUST CONTROL MEASURES SHALL BE EMPLOYED TO PREVENT DUST FROM BLOWING OFF-SITE.

**CONCRETE WASHOUT**

- **CONCRETE WASHOUT SHALL BE COLLECTED AND RETAINED, BOTH WATER AND CONCRETE, IN LEAK PROOF CONTAINERS. WASHOUT CAN BE RECYCLED OR REUSED. SEE <http://water.epa.gov/polwaste/npdes/swbmp/upload/concretewashout.pdf> FOR DETAILS.**

**GENERAL NOTES:**

1. ALL CLEARING, GRADING, GRAVELING, PAVING, AND RESTORATION SHALL BE DONE IN ACCORDANCE WITH THE WISCONSIN DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION.
2. A COPY OF THE EROSION CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES.
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION, AND SILTATION. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WIDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL STUMPS.
6. EXCESS TOPSOIL SHALL BE STOCKPILED ON THE SITE WITH THE PROPER EROSION CONTROL AT A LOCATION ACCEPTABLE TO THE OWNER.
7. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.
8. CONTRACTOR SHALL PROTECT ALL PROPERTY IRONS. A LICENSED LAND SURVEYOR, AT THE CONTRACTORS EXPENSE, SHALL REPLACE ANY PROPERTY IRONS REMOVED DURING CONSTRUCTION.

**INSPECTION AND MAINTENANCE**

THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS UNTIL THE CONSTRUCTION SITE IS PERMANENTLY STABILIZED WITH A DENSE GRASS COVER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS FOR STRUCTURAL DAMAGE, SEDIMENT ACCUMULATION, OR ANY OTHER UNDESIRABLE CONDITION. THE CONTRACTOR SHALL REPAIR DAMAGED STRUCTURES PRIOR TO THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE STRUCTURE WHEN THE DEPTH OF SEDIMENT HAS ACCUMULATED TO ONE HALF THE HEIGHT OF THE DEVICE OR AS REQUIRED BY THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD (CURRENT EDITION).

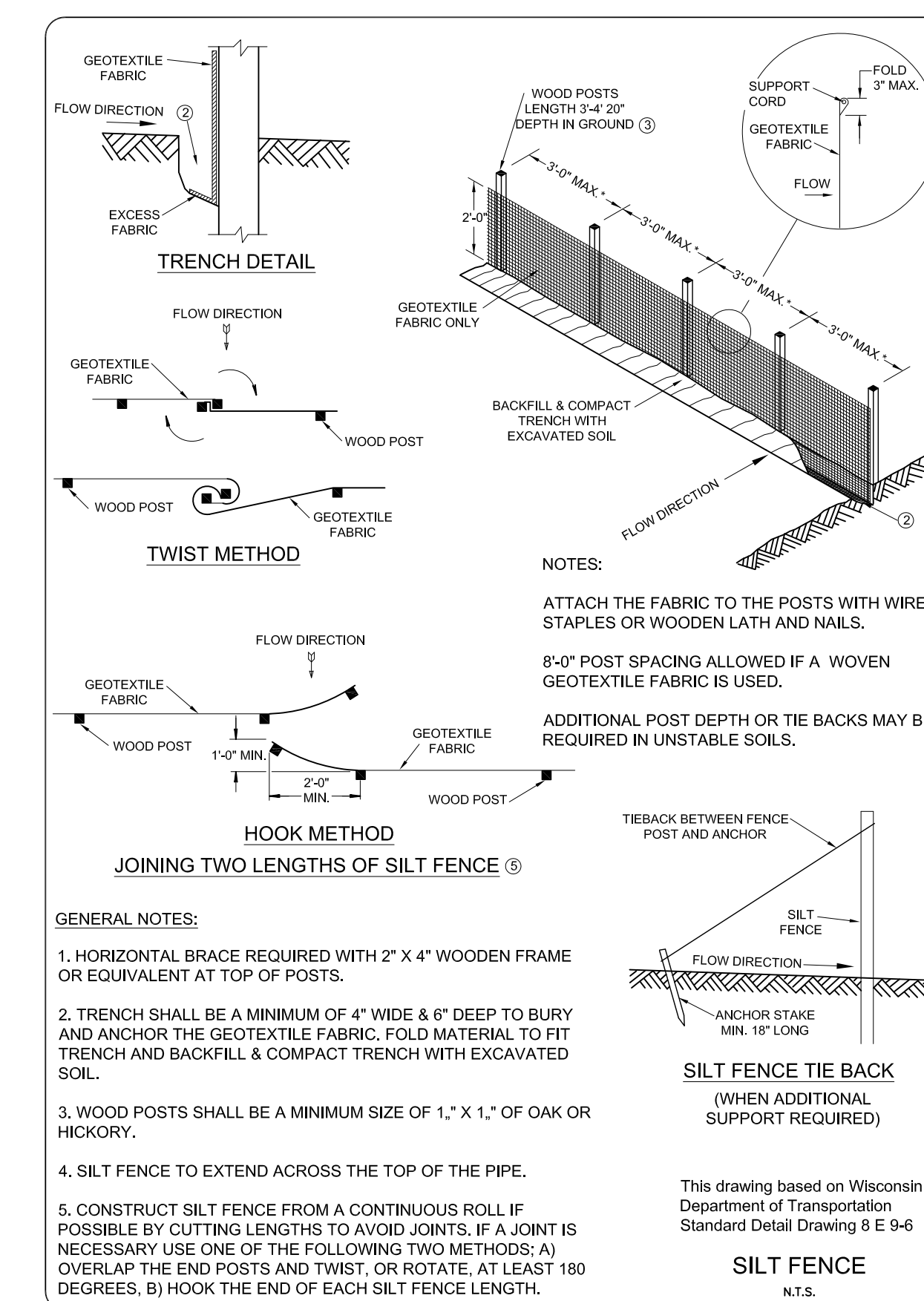
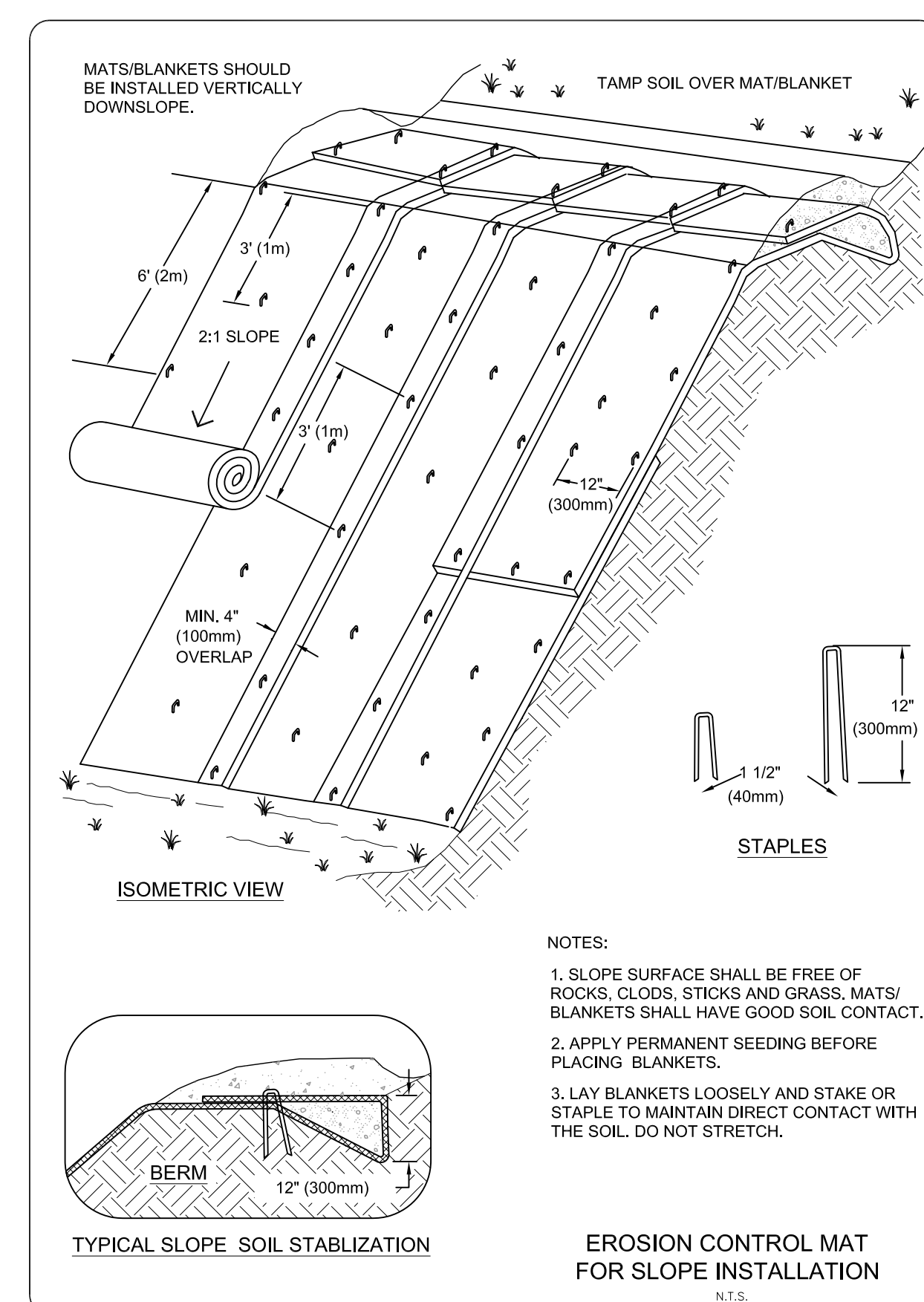
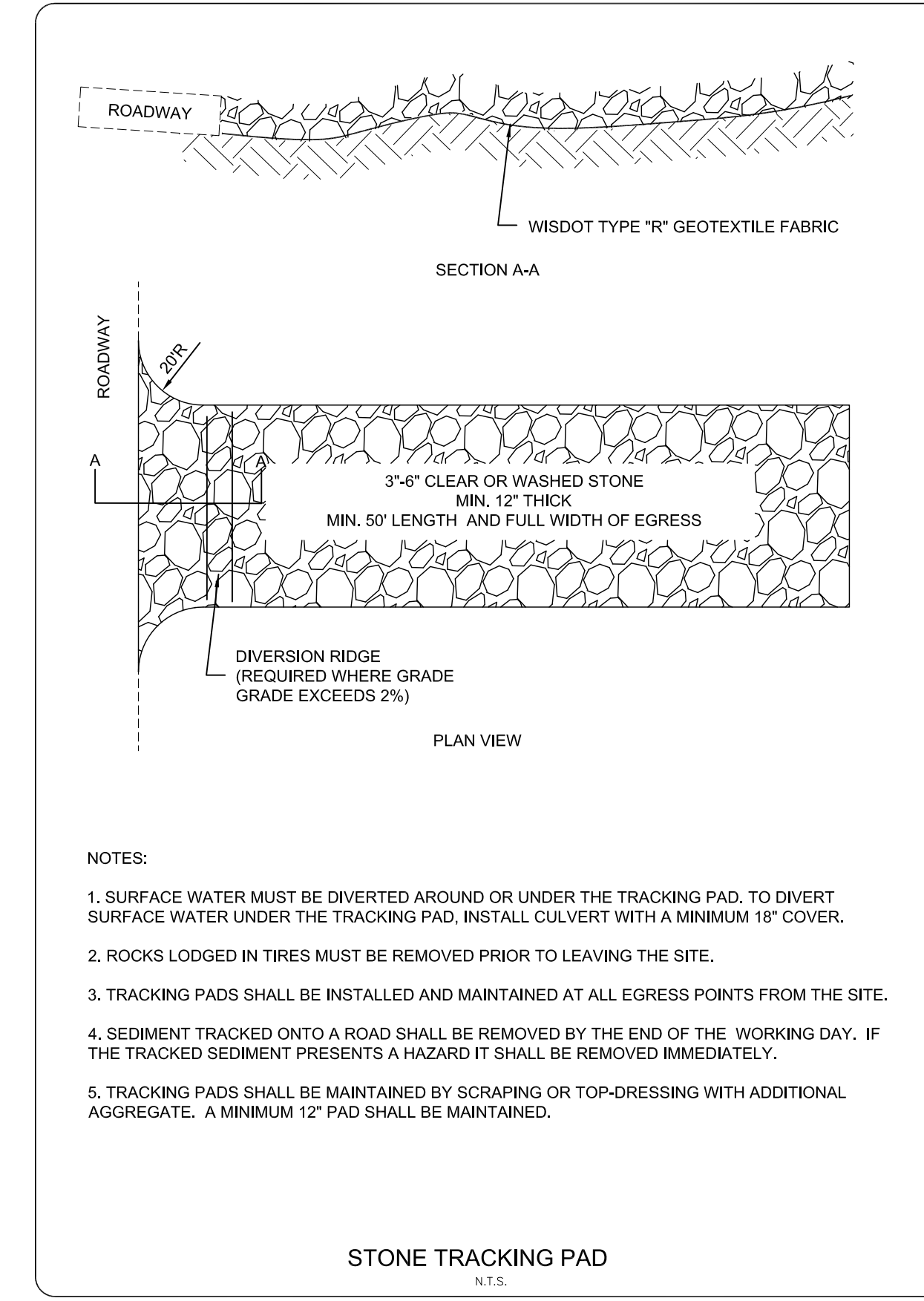
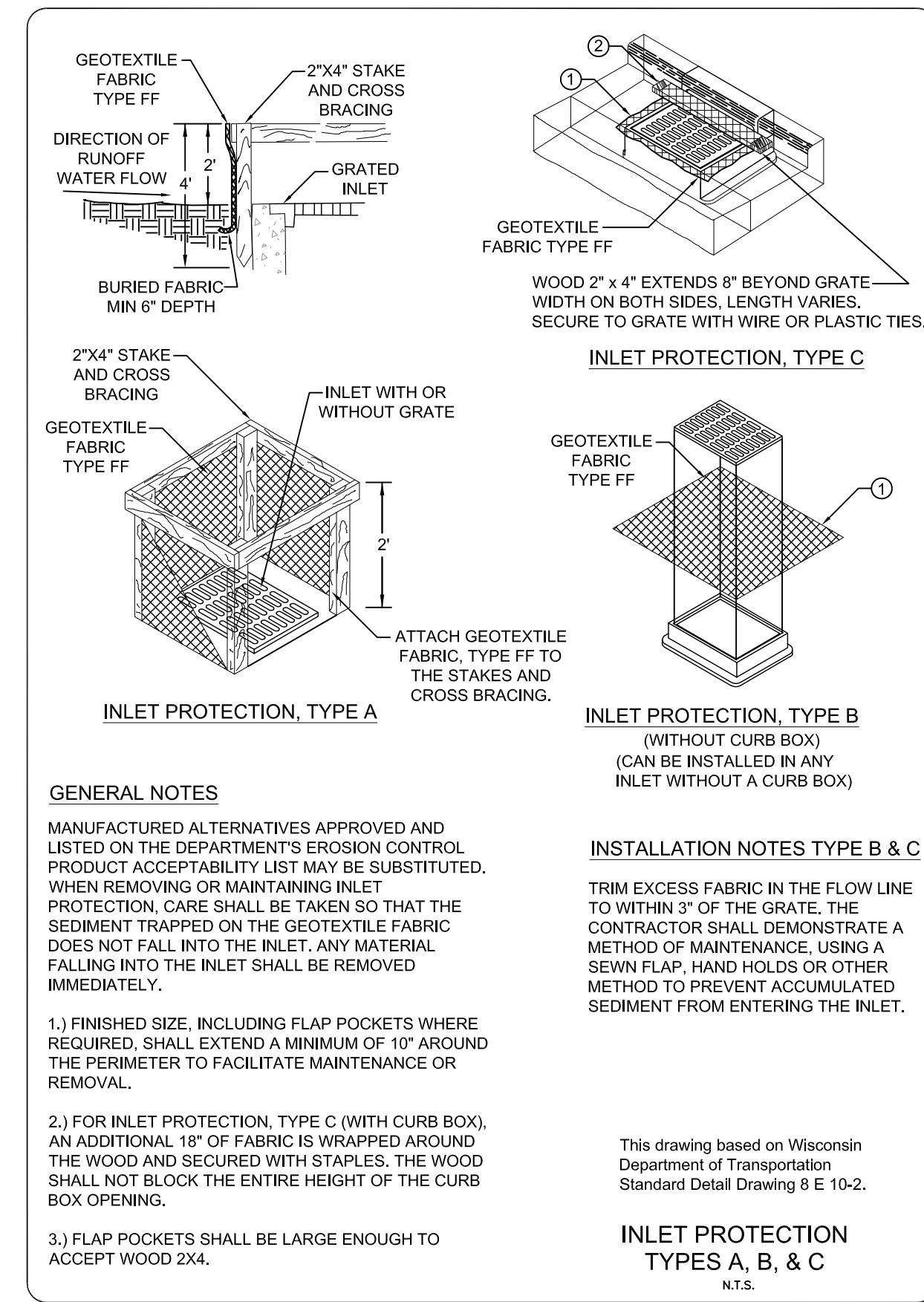
THE CONTRACTOR SHALL SUMMARIZE WEEKLY INSPECTION AND MAINTENANCE ACTIVITIES ON A WEEKLY INSPECTION REPORT THAT IS AVAILABLE THROUGH THE WIDNR.

THE WEEKLY INSPECTION REPORT SHALL INCLUDE THE FOLLOWING MINIMUM INFORMATION:

- NAME OF INDIVIDUAL PERFORMING INSPECTION;
- DATE, TIME, AND PLACE OF INSPECTION;
- A DESCRIPTION OF THE CONSTRUCTION PHASE;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL INSTALLATIONS;
- A DESCRIPTION OF EROSION AND SEDIMENT CONTROL MAINTENANCE ACTIVITIES;
- AND AN ASSESSMENT OF EROSION AND SEDIMENT CONTROL CONDITIONS.

THE CONTRACTOR SHALL PROMPTLY FURNISH THE ORIGINAL WEEKLY INSPECTION REPORTS TO THE OWNER, OWNER'S REPRESENTATIVE, OR WISCONSIN DEPARTMENT OF NATURAL RESOURCES WHEN REQUESTED. THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED EROSION & SEDIMENT CONTROL PLAN, PERMITS, AND WEEKLY INSPECTION REPORTS ON-SITE AT ALL TIMES.

ALL WASTE FROM THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT BE ALLOWED TO ENTER THE STORM SEWER SYSTEM, DRAINAGE SYSTEM, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS LOCATED WITHIN THE CONSTRUCTION SITE, INCLUDING GARNERS CREEK.



DESIGNED BY  
DJM

DATA FILE  
.dwt

DATE  
10-09-23

Number	Date	Comments

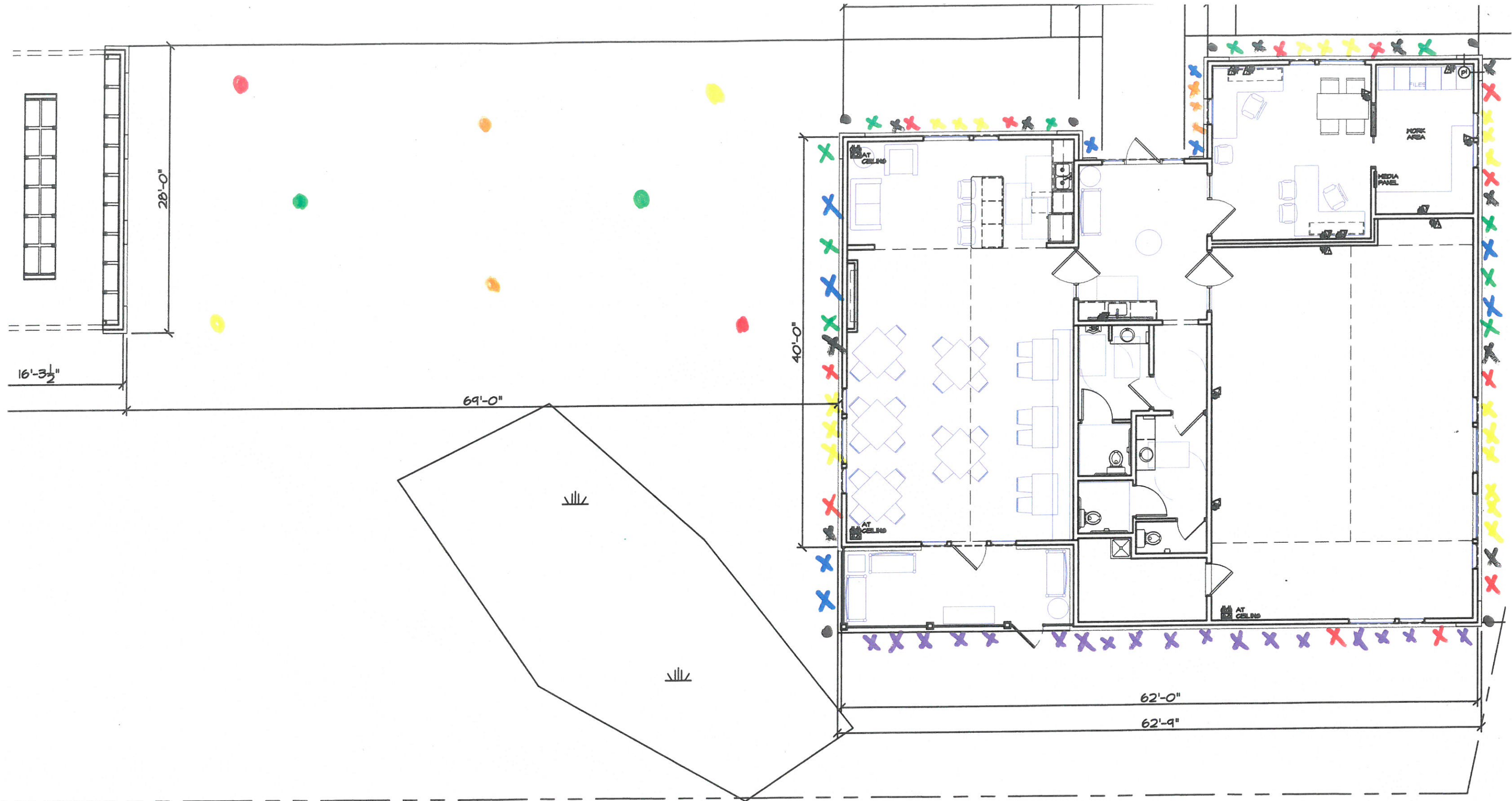


**NOTES & DETAILS**  
**ARVADA CLUBHOUSE**  
File: M-21003 Clubhouse Area 100923.dwg

PROJECT NO.  
M-21003

SHEET NO.  
**C7.0**

DRAWING NO.  
**S-3795**



### BUILDING CODE INFORMATION 2015 IBC (WISCONSIN)

CODE CHAPTER	CODE TITLE	CODE CHAPTER	CODE INFORMATION																		
3	USE AND OCCUPANCY	303.4 310.4	A-3 ASSEMBLY - GYM/FITNESS CENTER & CLUB ROOM (OVER 50 PEOPLE) B = OFFICE SPACE																		
5	ALLOWABLE HEIGHT STORIES AREA STREET FRONTAGE INCREASE MIXED USE & OCCUPANCY INCIDENTAL USE	504.3 504.4 506.2 506.3 508 509	TYPE VB - 40' HEIGHT TYPE VB - A3 = 1 STORY A3 = 6,000 NOT REQUIRED MIXED OCCUPANCIES NOT SEPARATED MECHANICAL ROOM INCIDENTAL USE, SMOKE SEPARATION REQUIRED, 0 HOUR RATED WALL																		
6	CONSTRUCTION TYPE  SEPARATION DISTANCE	601 602	VB WOOD FRAME UNPROTECTED; • INTERIOR AND EXTERIOR BEARING WALLS = 0 HOUR • FLOOR = 0 HOUR • ROOF = 0 HOUR • ALL EXTERIOR WALLS MORE THAN 10' FROM IMAGINARY PROPERTY LINES, 0 HOUR SEPARATION REQ.																		
7	RATED CONSTRUCTION NONE  OPENING PROTECTION	718 718.3 718.3.2 718.4.2	FIREBLOCKING - 2X LUMBER, MINERAL WOOL INSUL. OR MINERAL FIBER BOARD USED TO CUT OFF DRAFT OPENINGS DRAFTSTOPPING - 1/16" OSB IN FLOOR ABOVE ALL TENANT SEPARATIONS DRAFTSTOP IN ATTIC EVERY 3,000 S.F. OR TWO TENANT SPACES																		
8	FINISH REQUIREMENTS	803.11	A - CORRIDORS, CLASS A FLAME SPREAD 0-25 C - ALL ROOMS CLASS C FLAME SPREAD 75-200																		
9	FIRE AREA	903.2.1.3	12,000 S.F. OR OCCUPANT LOAD OF 330 OR MORE																		
10	OCCUPANT LOAD		<table border="1"> <tr> <td>ACCESSORY STORAGE / MECHANICAL</td> <td>300 GROSS</td> <td>195 GROSS = 1 PERSON</td> </tr> <tr> <td>ASSEMBLY WITHOUT FIXED SEATS</td> <td>15 NET</td> <td>630 NET = 42 PEOPLE</td> </tr> <tr> <td>ASSEMBLY KITCHEN / COZY</td> <td>---</td> <td>10 PEOPLE</td> </tr> <tr> <td>ASSEMBLY GYM</td> <td>50 NET</td> <td>461 NET = 19 PEOPLE</td> </tr> <tr> <td>BUSINESS AREA</td> <td>100 GROSS</td> <td>935 GROSS = 9 PEOPLE</td> </tr> <tr> <td></td> <td></td> <td>81 PEOPLE</td> </tr> </table>	ACCESSORY STORAGE / MECHANICAL	300 GROSS	195 GROSS = 1 PERSON	ASSEMBLY WITHOUT FIXED SEATS	15 NET	630 NET = 42 PEOPLE	ASSEMBLY KITCHEN / COZY	---	10 PEOPLE	ASSEMBLY GYM	50 NET	461 NET = 19 PEOPLE	BUSINESS AREA	100 GROSS	935 GROSS = 9 PEOPLE			81 PEOPLE
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		81 PEOPLE																			
11	ACCESSIBILITY	1104-1105 1106.1  1106.1	ACCESSIBLE ROUTE TO FRONT DOOR AND TIMBER TERRACE, BOTH ACCESSIBLE ENTRANCES / EXITS ALL SPACES CONNECTED WITHIN BUILDING 4% BUT NOT LESS THAN ONE AT EACH BUILDING																		
24	PLUMBING		<table border="1"> <tr> <td>TOILET FIXTURES</td> <td></td> </tr> <tr> <td>ASSEMBLY WITHOUT FIXED SEATS</td> <td>1 WATER CLOSET PER 65 PEOPLE</td> </tr> <tr> <td>BUSINESS AREA</td> <td>1 WATER CLOSET PER 25 PEOPLE</td> </tr> <tr> <td>THREE TOILETS AND ONE URINAL PROVIDED, SEXES SEPARATED</td> <td></td> </tr> </table>	TOILET FIXTURES		ASSEMBLY WITHOUT FIXED SEATS	1 WATER CLOSET PER 65 PEOPLE	BUSINESS AREA	1 WATER CLOSET PER 25 PEOPLE	THREE TOILETS AND ONE URINAL PROVIDED, SEXES SEPARATED											
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## Proposed Clubhouse

# PDK Investments, LLC @ Arvada Hobart, WI

INDEX TO DRAWINGS	TI	TITLE SHEET, CODE DATA
	CI	ARCHITECTURAL SITE PLAN
	A1.1	ELEVATIONS, FLASHING DETAIL
	A2.1	CLUBHOUSE FLOOR PLAN
	A2.2	NOT USED
	A2.3	ACCESSIBLE NOTES AND DETAILS
	A3.1	BUILDING SECTIONS
	A3.2	BUILDING SECTION
	S1.0	STRUCTURAL - GENERAL NOTES, SCHEDULES
	S2.0	STRUCTURAL - FOUNDATION PLAN, FOUNDATION DETAILS
S2.1	STRUCTURAL - ROOF FRAMING PLAN, SCHEDULES	
S3.1	STRUCTURAL - DETAILS	
MI.1	MAILROOM / GARAGE	
MI.1	ELEVATIONS, FLOOR PLAN, FOUNDATION PLAN, INTERIOR ELEVATION	
MI.2	ROOF FRAMING PLAN, BUILDING SECTION, NOTES & SCHEDULES	

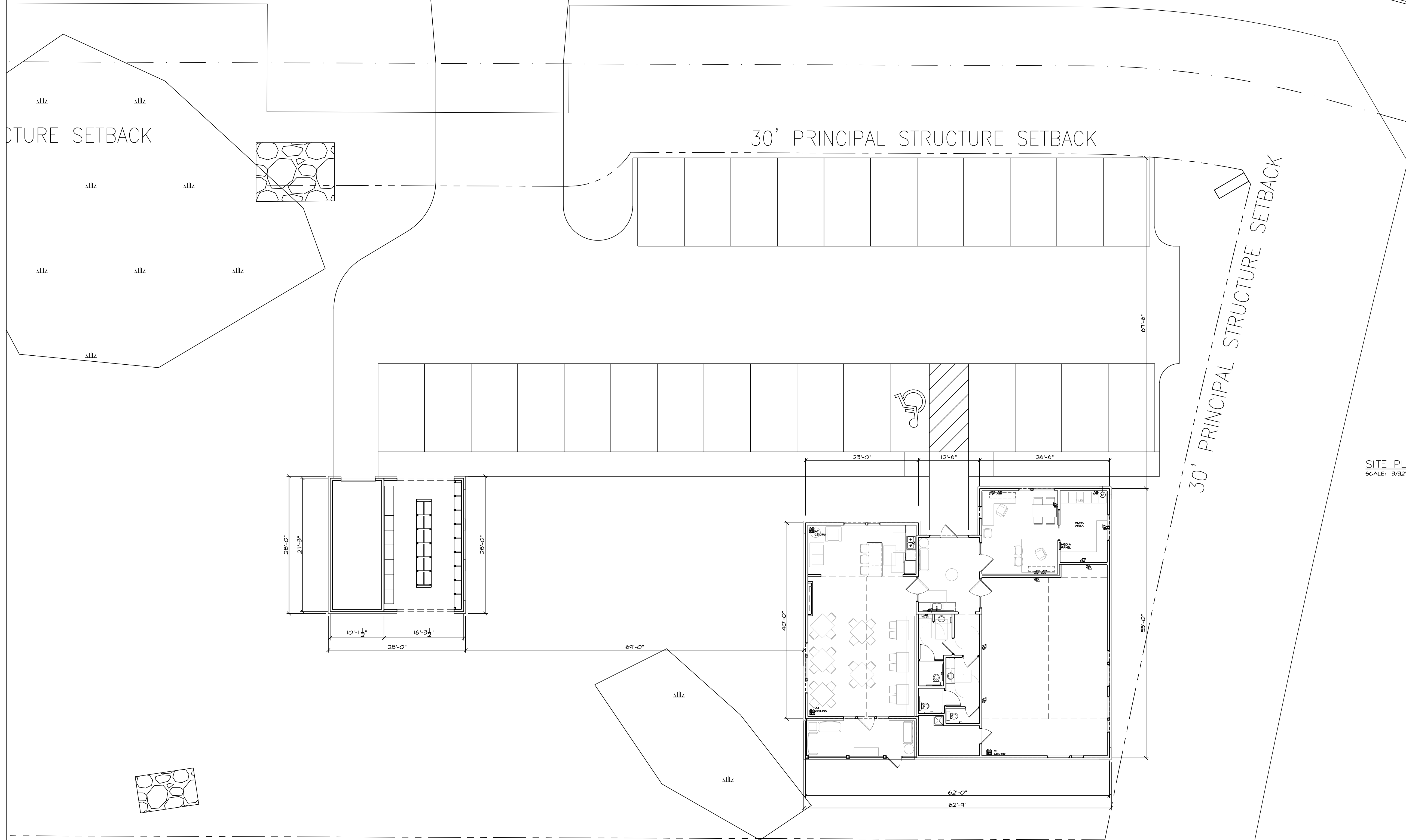
LEGEND			
SYMBOL	ITEM	SYMBOL	ITEM
	WALL TYPE - REFER TO WALL TYPES		PLAN NOTE
	ELEVATION REFERENCE		REVISION MARK - REFER TO TITLE BLOCK FOR REVISION DATE
	WALL SECTION REFERENCE OR DETAIL CUT - REFER TO SHEET NUMBER INDICATED IN BOTTOM OF SYMBOL		ACCESSIBILITY PLAN NOTE
			SCHEDULED NOTE LIKE STRUCTURAL HEADER
SYMBOL	ITEM	ITEM DESCRIPTION	
	SMOKE DETECTOR ALARM	IBC 907.2.11 - SINGLE AND MULTIPLE STATION SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE-WARNING EQUIPMENT PROVISIONS OF NFPA 72.	
	BATH FAN	BATH FANS ARE TO BE IN ROOMS CONTAINING ANY BATHING FIXTURES, BATHTUBS, SHOWERS, IBC 1203.4.2.1	
	VINYL WINDOW	LOW E, DOUBLE PANE GLASS, GLAZING, MINIMUM ASSEMBLY U-VALUE = .27 - .29	

#### GENERAL NOTES:

- ALL MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF 2015 IBC (WISCONSIN).
- ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS TO VERIFY THE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, TOILETS, TRUSSES AND OTHER PROJECT REQUIREMENTS.
- ALL CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE TYPICAL DETAILS SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE CONTRACT DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL CONTRACTORS ARE EACH RESPONSIBLE FOR THEIR OWN JOB SITE SAFETY DURING CONSTRUCTION.
- VAPOR RETARDER, REQUIRED ON WARM SIDE OF THERMAL INSULATION.
- INFILTRATION BARRIER, HOUSE WRAP TO BE ON ALL EXTERIOR WALLS INCLUDING GABLED ENDS, CLERESTORIES AND GARAGE WALLS. NO DUCT TAPE OR VOIDS ALLOWED.
- WIND WASH PROTECTION, USE OSB @ COLD SIDE OF INSULATION IN ATTICS INCLUDING THROUGH FLOOR SPACE OF ATTIC TRUSSES.
- GYPSON 5/8" TYPE "X" (TYPICAL ALL SURFACES)  
5/8" TYPE "C" USED ON CEILING OF HORIZONTAL SEPARATIONS.
- DOORS - SOLID PANEL U VALUE = 0.16  
1/4 LITE GLASS = 0.23  
FULL LITE GLASS = 0.36

PRELIMINARY - NOT FOR CONSTRUCTION	<b>PDK Investments, LLC</b> Clubhouse Building Arvada Hobart, Wisconsin														
	© These plans are copyrighted by LaPlant Architecture, LLC and PDK. No reproduction without written permission. Date, 2022	 <b>LaPlant</b> Architecture, LLC EMAIL: loplantarchitecture@yahoo.com OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313 Telephone: (920) 737-9769	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>x</td> <td>xx</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISION	DATE	x	xx								
	REVISION	DATE													
	x	xx													
	DATE 10/06/2023 PROJECT NO. 361403 SHEET		<b>T 1</b>												

LEAR LN.



**PRELIMINARY - NOT FOR CONSTRUCTION**

**PDK Investments, LLC**  
**Clubhouse Building**  
 Arvada Hobart, Wisconsin

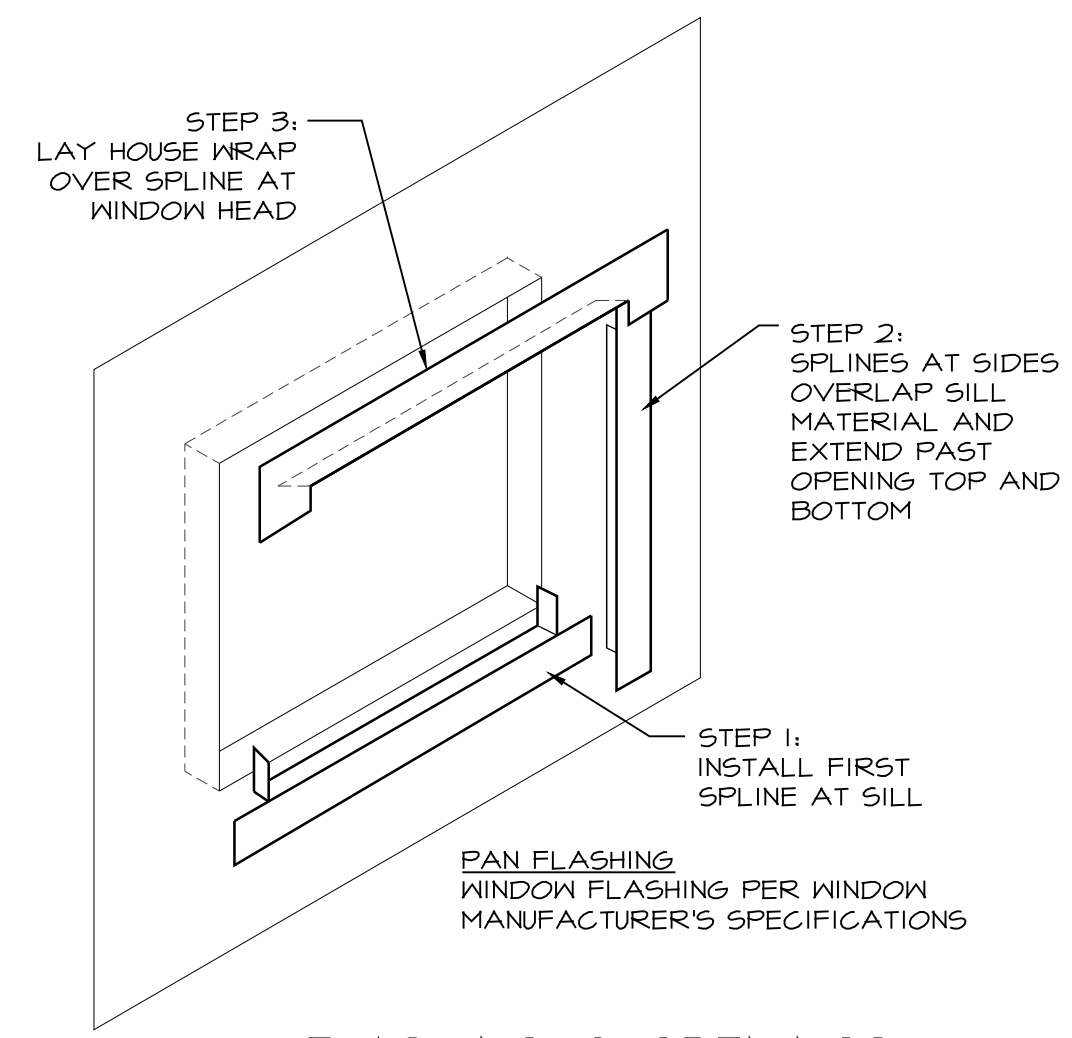
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 EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)  
 OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN  
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 Telephone: (920) 737-9769

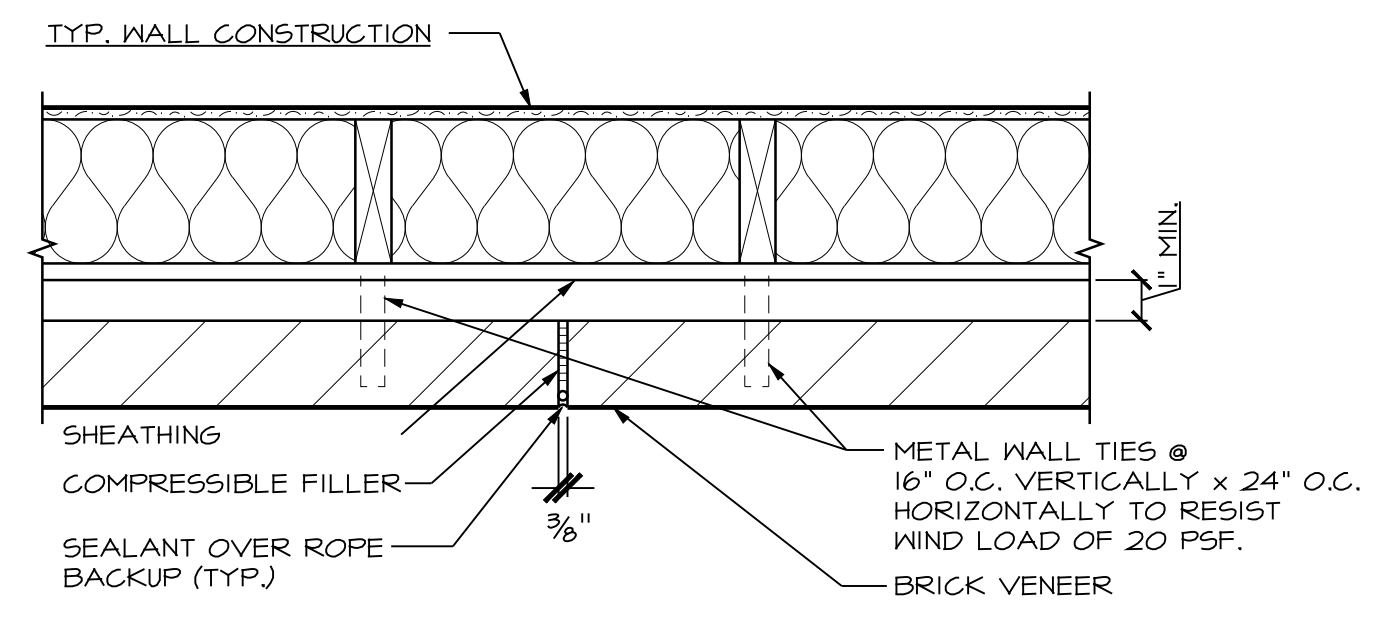
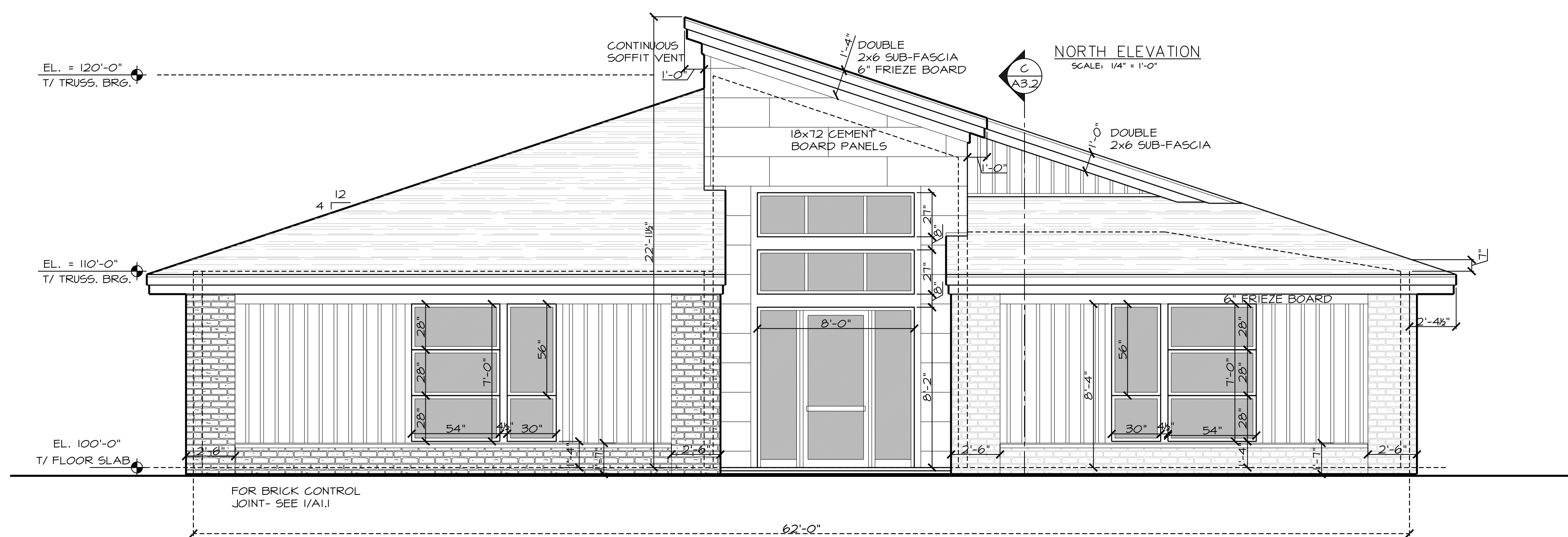
REVISION	DATE
X	XX

DATE: 10/06/2023  
 PROJECT NO. 381403  
 SHEET

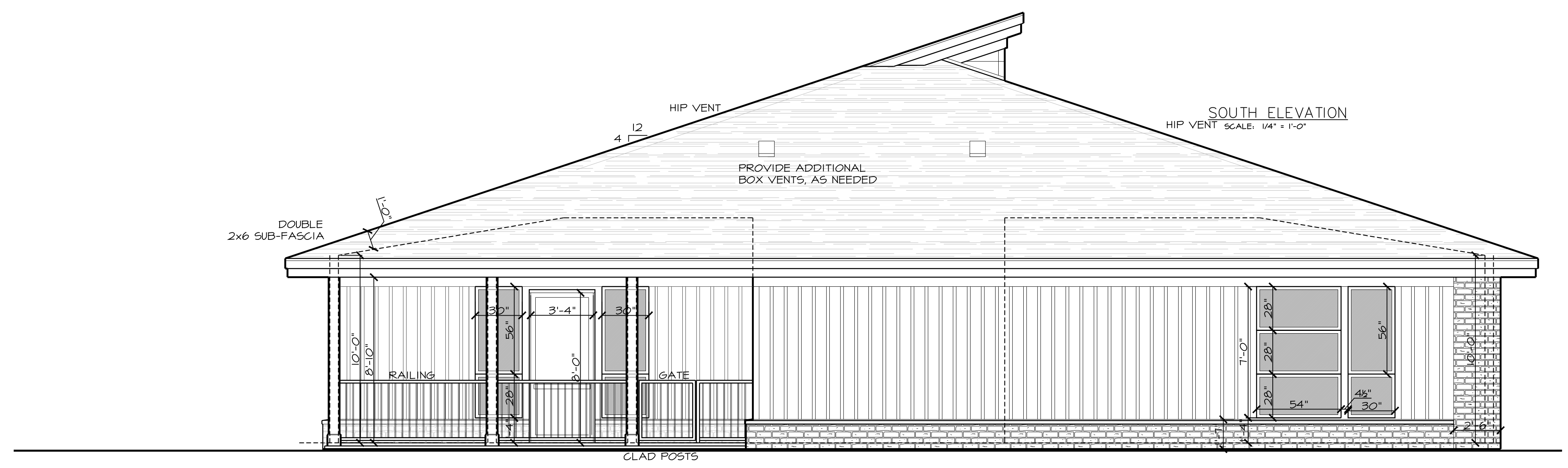
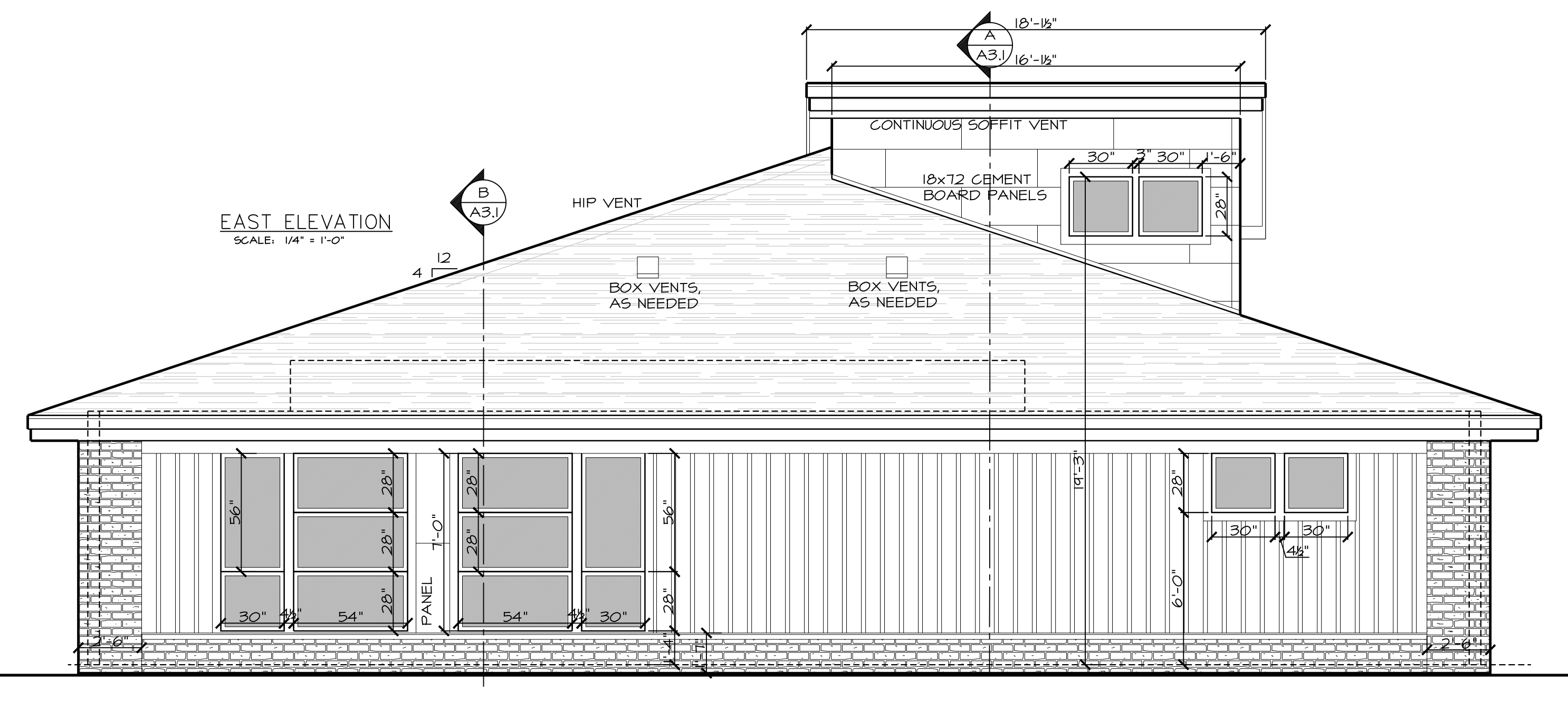
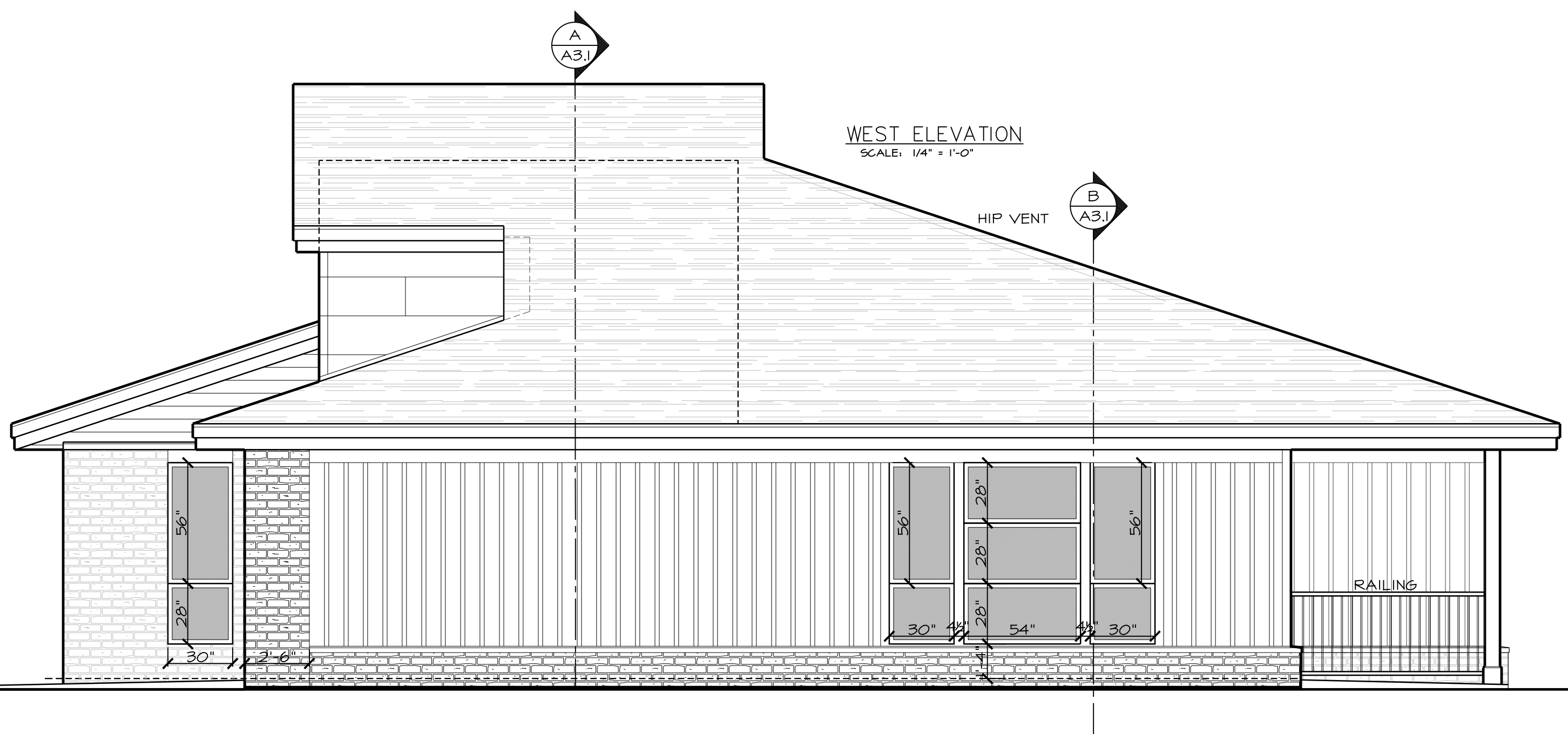
**C 1.1**



FLASHING @ OPENINGS



1 BRICK VENEER - CONTROL JOINT  
SCALE: 1-1/2" = 1'-0"



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Clubhouse Building  
Arvada Hobart, Wisconsin

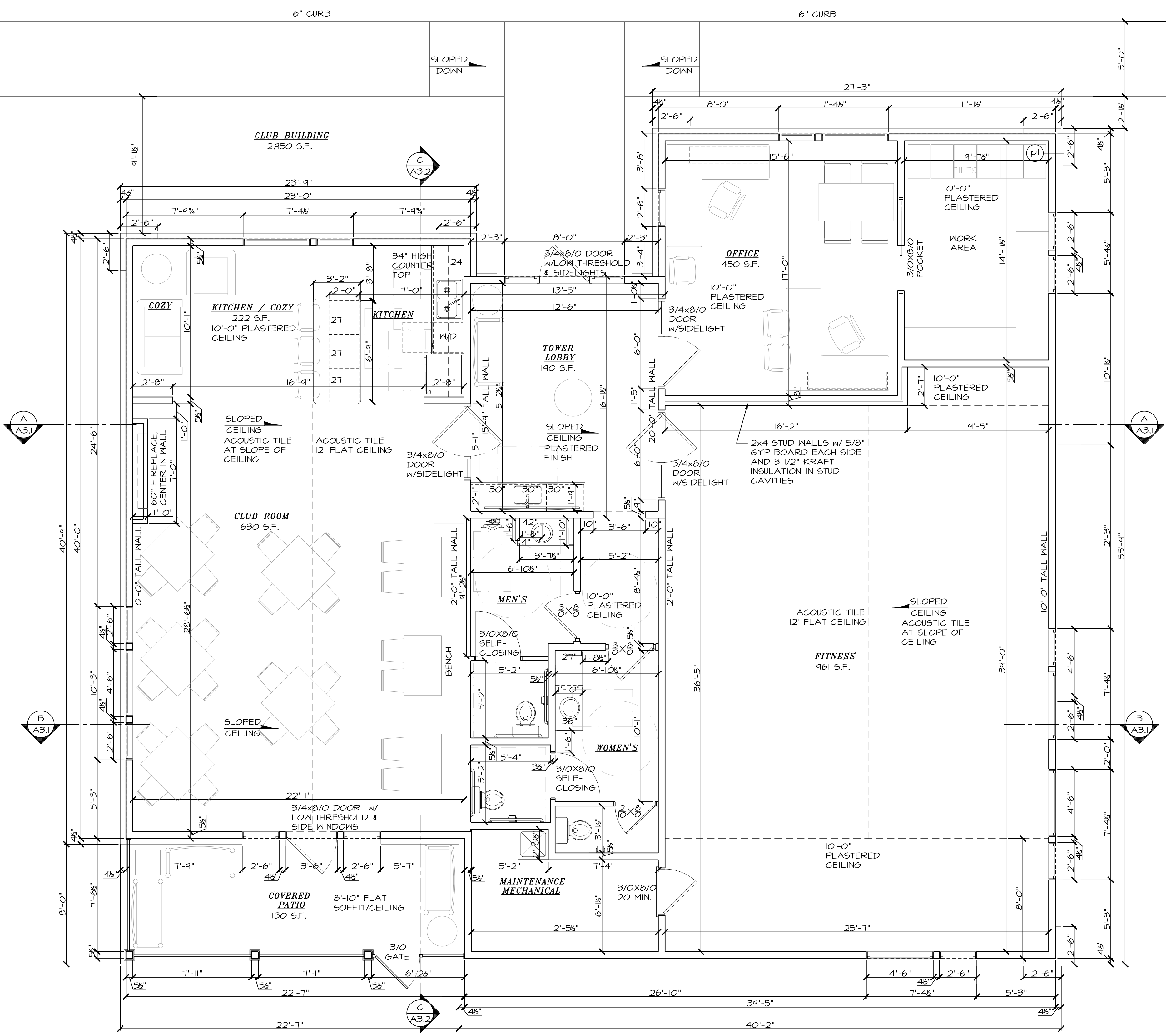
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REVISION DATE  
x xx

DATE 10/06/2023  
PROJECT NO. 381403  
SHEET **A 1.1**

EMAIL: loplantarchitecture@yahoo.com  
OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769

PRELIMINARY - NOT FOR CONSTRUCTION



FIRST FLOOR  
SCALE: 1/4" = 1'-0"

**PRELIMINARY - NOT FOR CONSTRUCTION**

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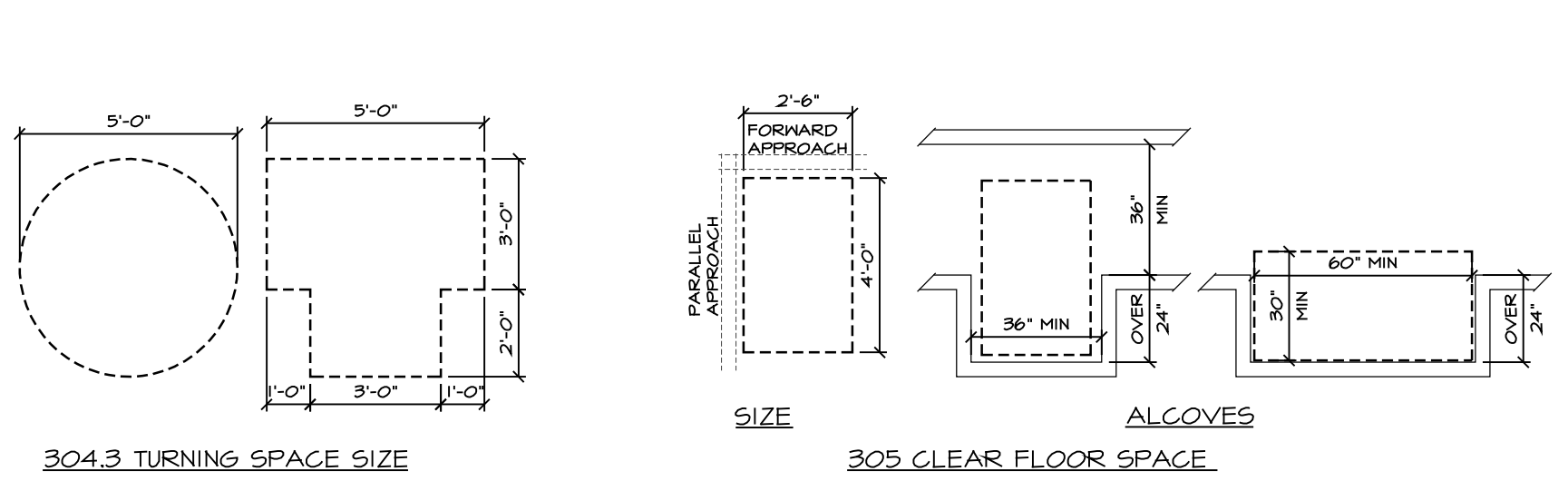
**LaPlant**  
Architecture, LLC

EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)

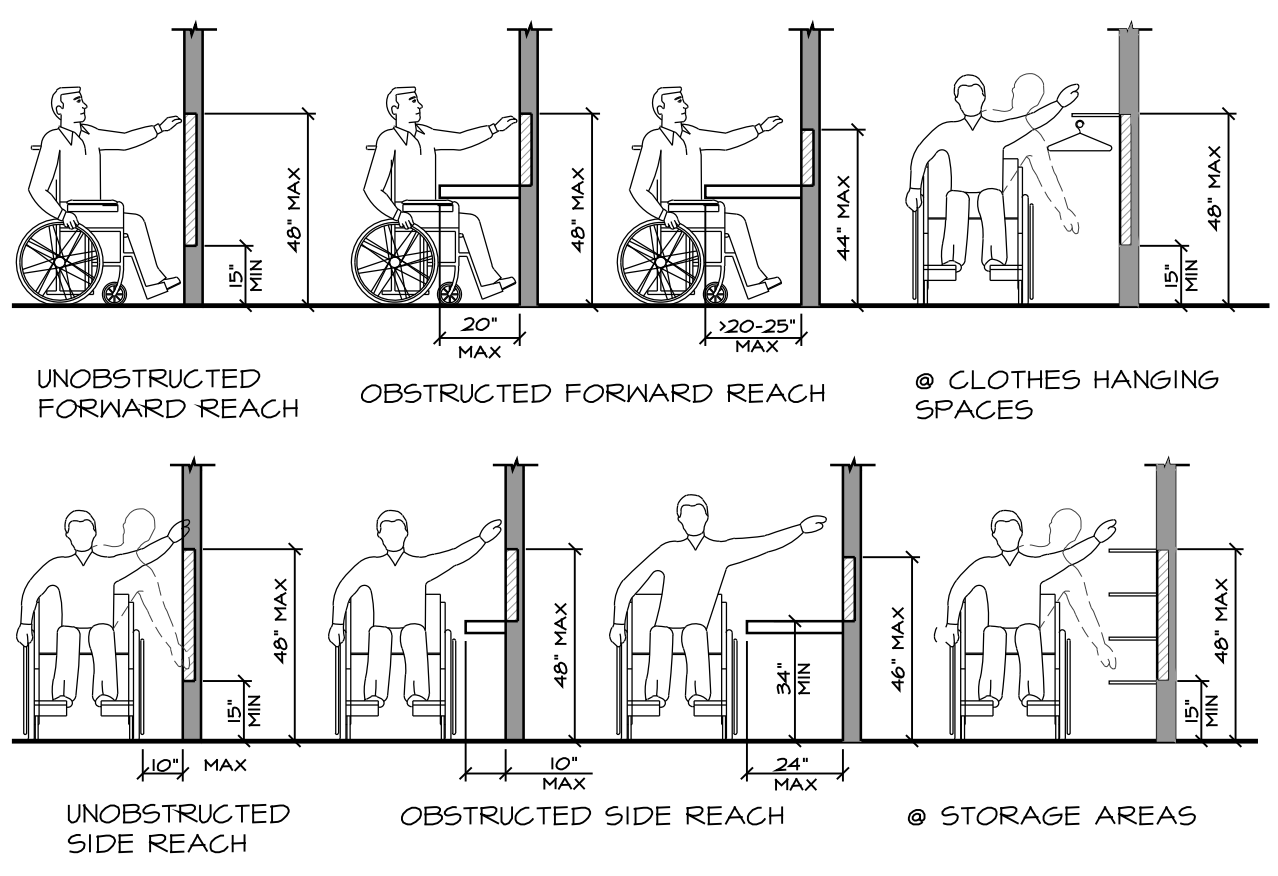
OFFICE: 926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769

REVISION	DATE
x	xx

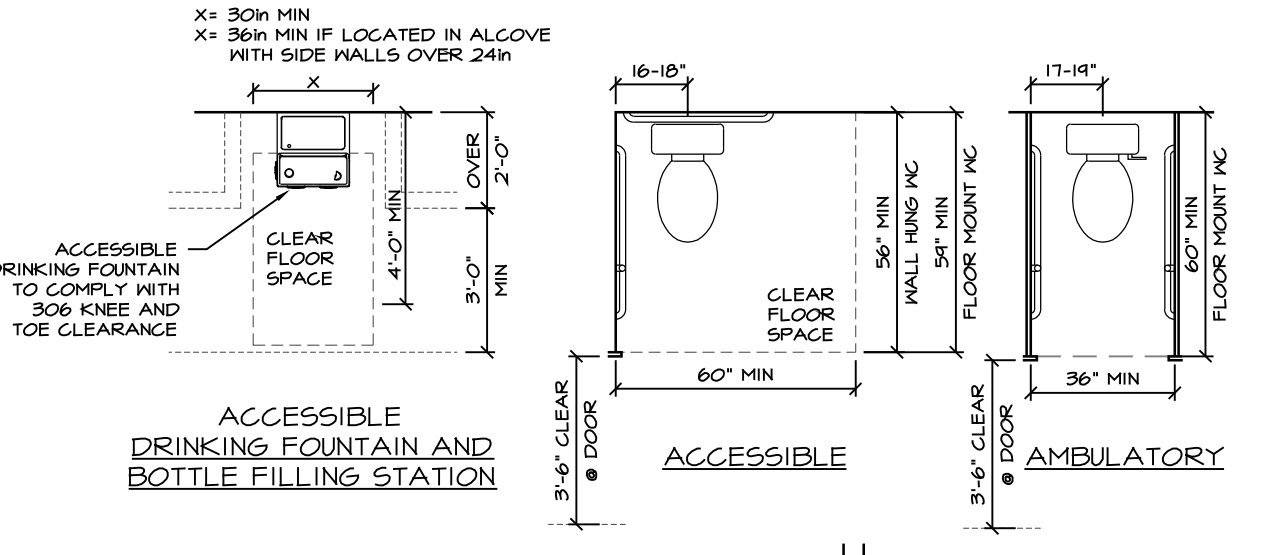
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PROJECT NO. 381403  
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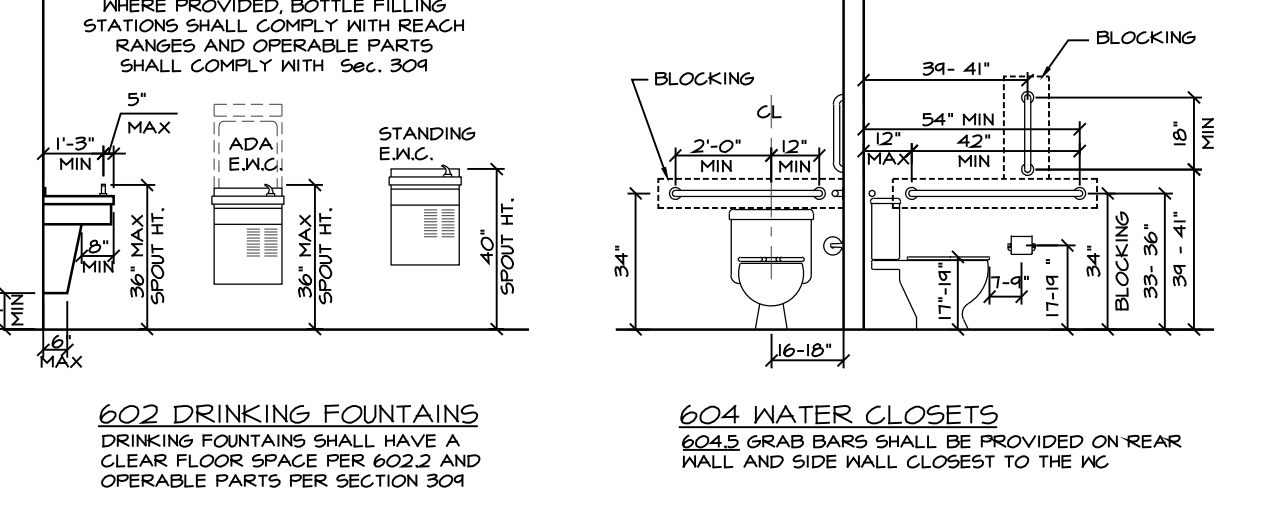
304.3 TURNING SPACE SIZE  
305 CLEAR FLOOR SPACE



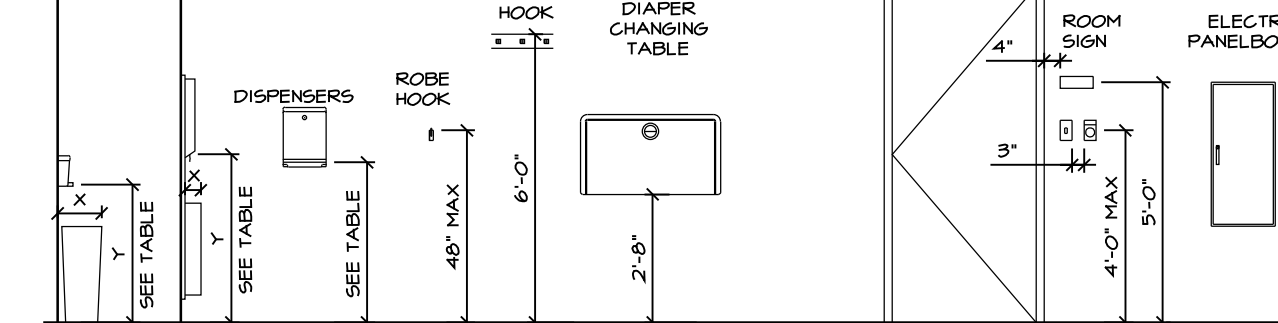
308 STANDARD REACH HEIGHTS  
NOT TO SCALE



306 KNEE AND TOE CLEARANCE



306.2 DRINKING FOUNTAINS  
306.4 WATER CLOSETS

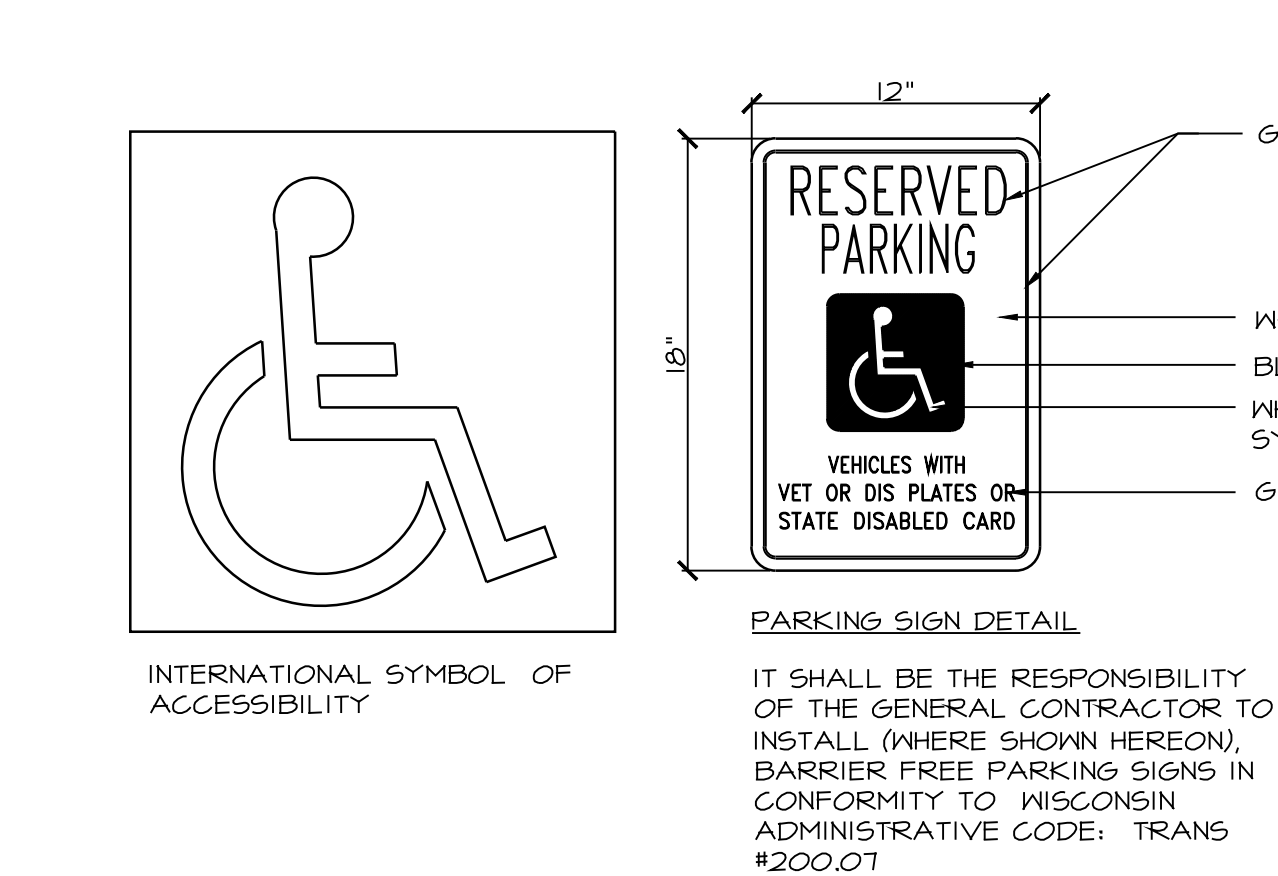


305 URINALS  
306.1 CURB RAMPS

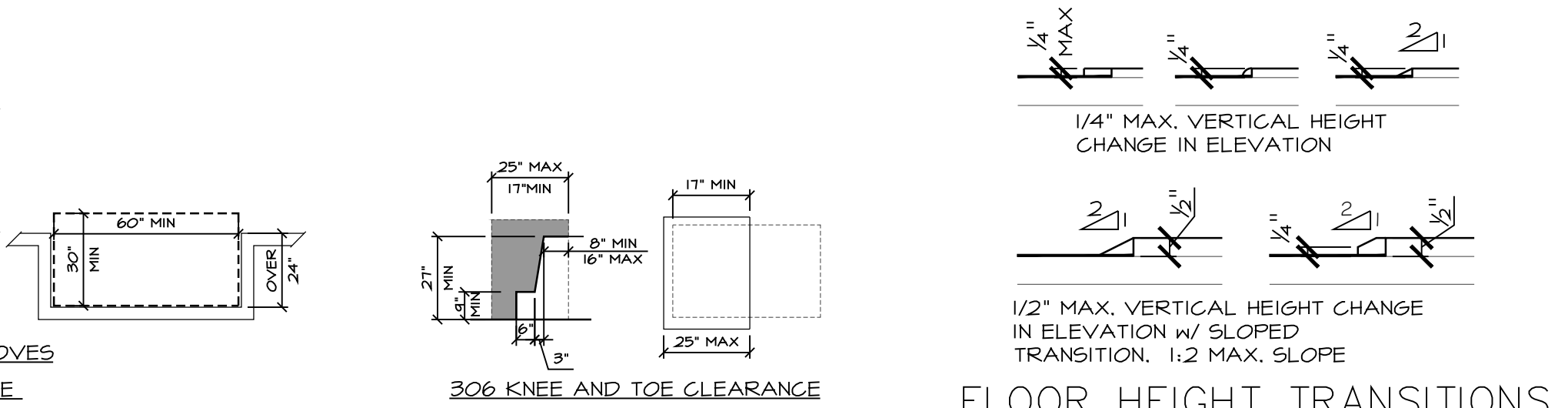
TABLE 606.7 MAXIMUM REACH DEPTH AND HEIGHT TABLE

MAX. REACH X DEPTH (OVER OBSTACLE)	0-5 INCHES (13 mm)	2 INCHES (50 mm)	5 INCHES (125 mm)	6 INCHES (150 mm)	9 INCHES (225 mm)	11 INCHES (280 mm)
MAX. REACH HEIGHT OF OPERABLE PART	48 INCH (1220 mm)	46 INCH (1170 mm)	42 INCH (1065 mm)	40 INCH (1015 mm)	36 INCH (915 mm)	34 INCH (865 mm)

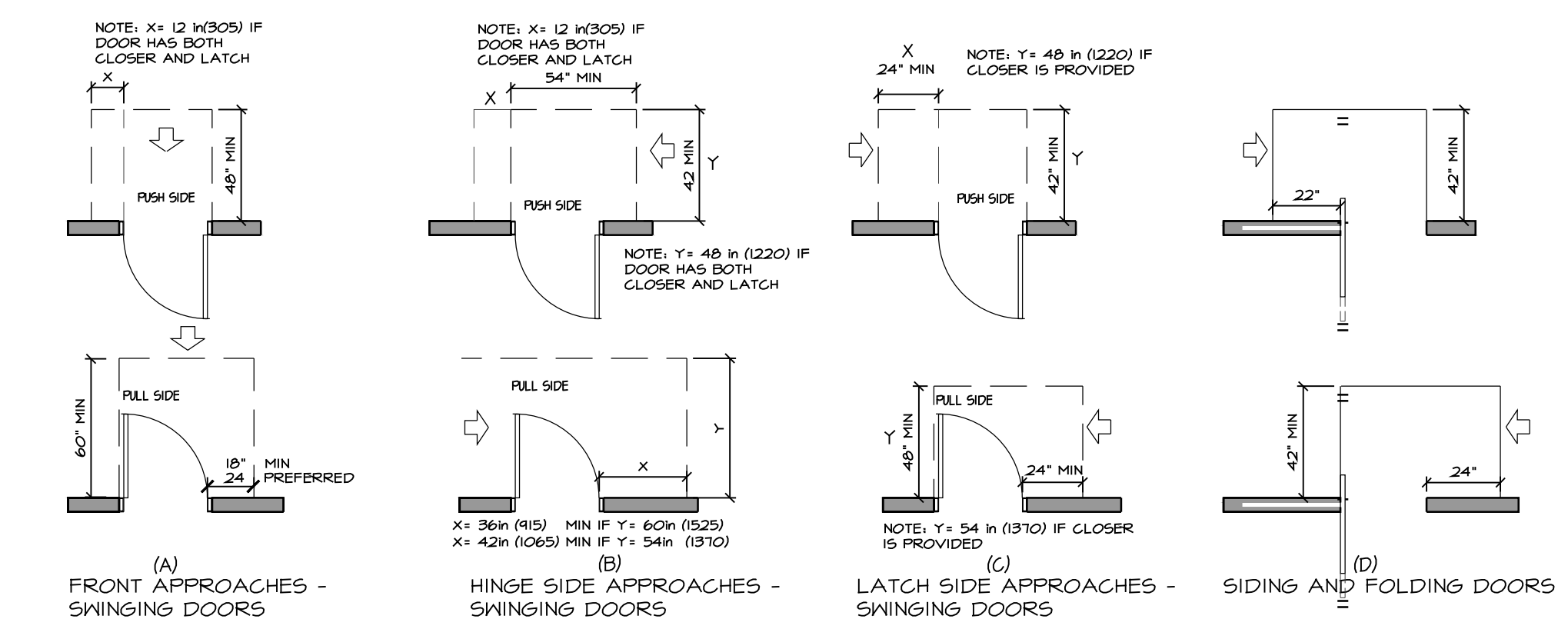
PLUMBING FIXTURES AND MOUNTING HEIGHTS



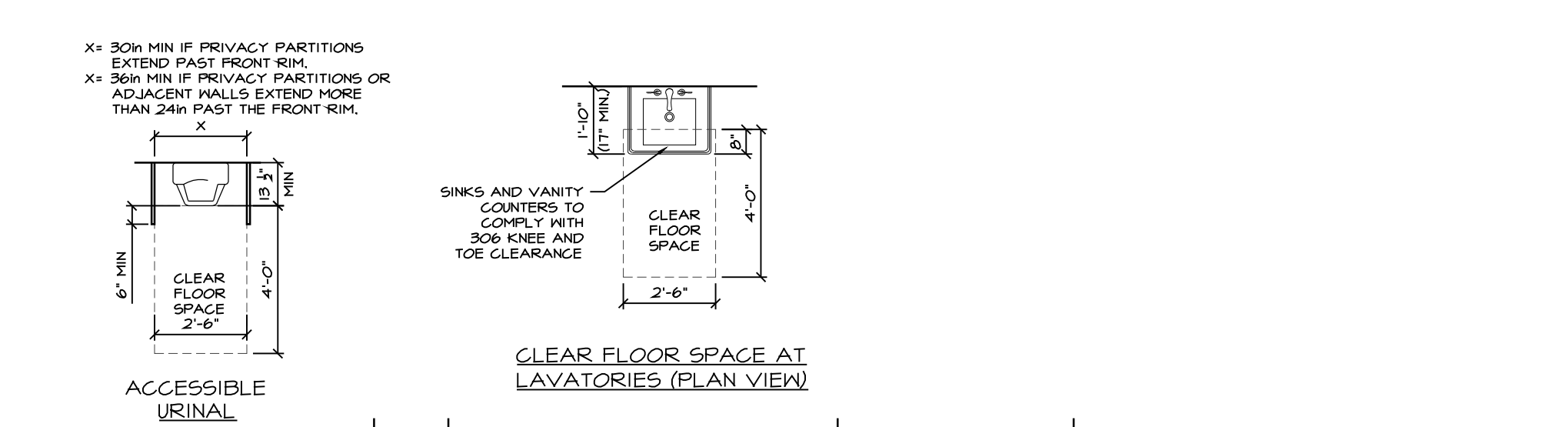
ADA PARKING SIGNAGE  
SCALE: 1/2" = 1'-0"



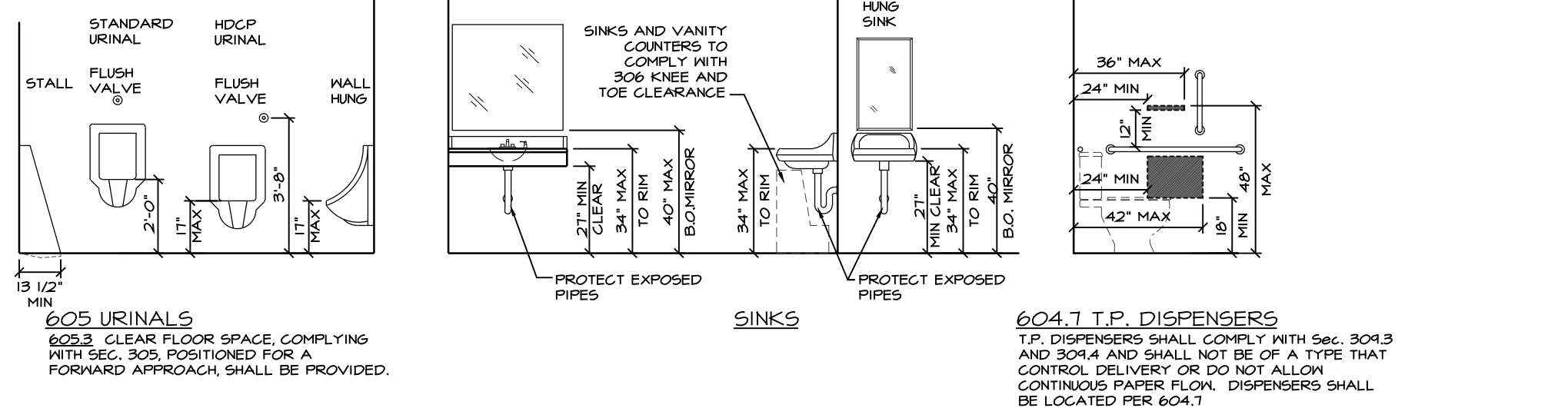
FLOOR HEIGHT TRANSITIONS ALLOWABLE  
SCALE: 3" = 1'-0"



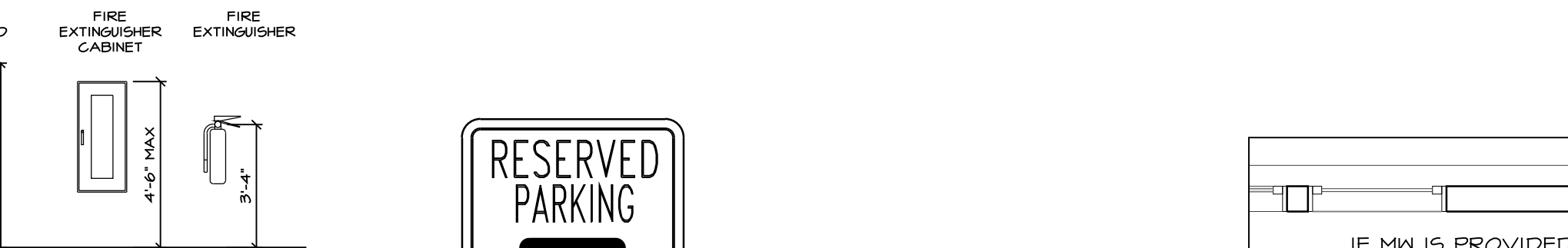
404.2.3 MANEUVERING CLEARANCES AT DOORS  
NOTE: ALL DOOR HANDLES SHALL BE LEVER OR LOOP TYPE  
ICC/ANSI A117.1, Sec. 404.2.3 FOR ADDITIONAL DOOR TYPES  
ICC/ANSI A117.1, Sec. 404.2.5 FOR DOORS IN A SERIES



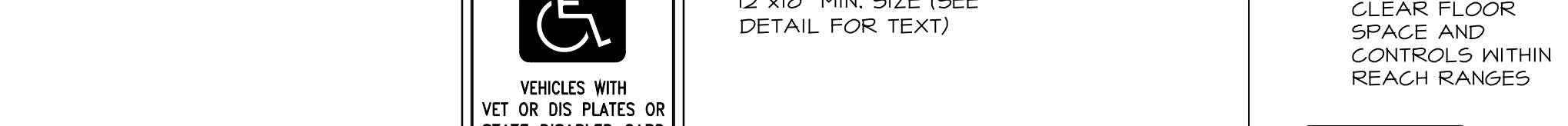
406 CURB RAMPS



406.1 CURB RAMPS ON ACCESSIBLE ROUTES



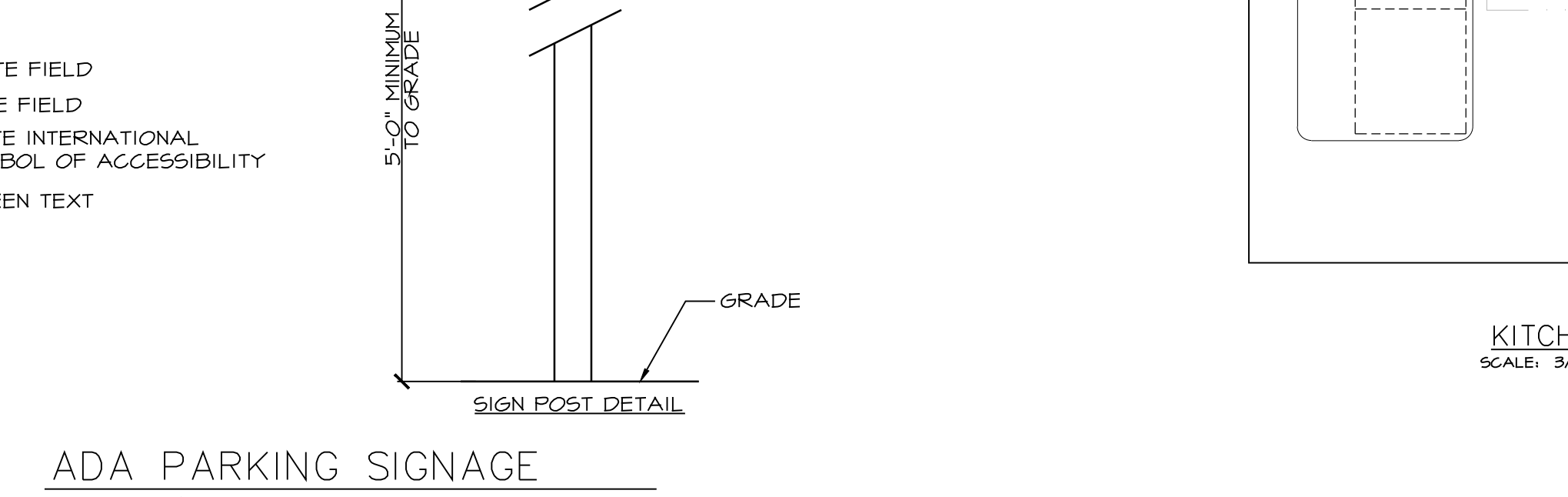
406.2 COUNTER SLOPES ADJACENT TO GUTTERS AND ROAD SURFACES



406.3 SLOPE OF RAMP FLARES



406.4 LOCATION CURB RAMPS AND FLARED SIDES



406.5 URINALS  
406.7 T.P. DISPENSERS

NOTES FOR ACCESSIBILITY

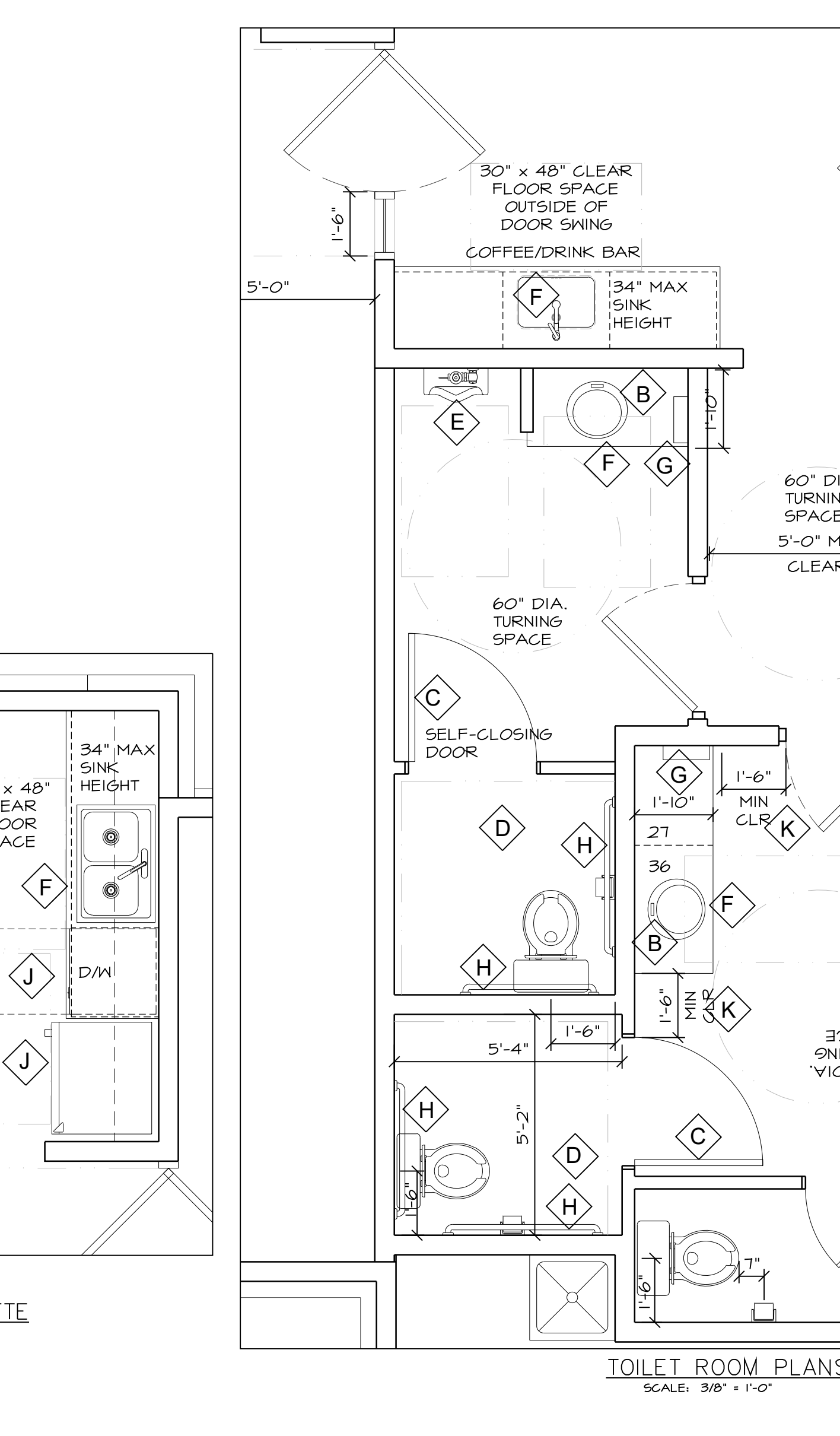
GENERAL NOTES

- ICC/IBC - 2009 and ICC/ANSI A117.1 - 2003 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- ICC/ANSI A117.1 - 2003; Sec. 302.1 - GENERAL FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP RESISTANT. CARPET OR CARPET TILES SHALL COMPLY WITH Sec. 302.2. OPENINGS IN FLOOR SHALL COMPLY WITH Sec. 302.3.
- ICC/ANSI A117.1-2003; Sec. 303.2 - CHANGES IN LEVEL IN FLOOR SURFACES. 1/4" MAX. VERTICAL CHANGE IN HEIGHT IS PERMITTED; CHANGES IN HEIGHT GREATER THAN 1/4" AND NOT MORE THAN 1/2" MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- ICC/ANSI A117.1-2003; Sec. 309 - OPERABLE PARTS, SUCH AS FAUCETS, CONTROLS, WATER CLOSET AND URINAL FLUSH CONTROLS, LIGHT SWITCHES, ELECTRICAL RECEPTACLES, CIRCUIT BREAKERS, AND OTHER CONTROLS SHALL COMPLY WITH Sec. 309. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. APPLIANCE CONTROLS AND CIRCUIT BREAKERS IN TYPE "A" UNITS SHALL ALSO COMPLY.
- ICC/ANSI A117.1-2003; Sec. 404 - DOORS AND DOORWAYS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH Sec. 404. DOORWAYS SHALL HAVE A CLEAR 32" MIN. CLEAR OPENING. DOORS SHALL HAVE A 32" MIN. CLEAR WIDTH MEASURED FROM THE JAMB TO THE FACE OF THE OPEN DOOR, WITH THE DOOR OPEN 90°, AND ADA COMPLIANT THRESHOLDS. DOORS SHALL ALSO HAVE ADA COMPLIANT LEVER HARDWARE, OPENING FORCE, CLOSING SPEED, BOTTOM DOOR SURFACE, VISION LITE AND MANEUVERING CLEARANCES.
- ICC/ANSI A117.1-2003; Sec. 404 - DOOR HARDWARE, HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 LB MAXIMUM. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34" A.F.F., MIN. AND 48" A.F.F. MAX.
- ICC/ANSI A117.1-2003; Sec. 506 - ACCESSIBLE WINDOWS SHALL HAVE OPERABLE PARTS THAT COMPLY WITH Sec. 309, AND SHALL INCLUDE MANEUVERING CLEARANCES, REACH RANGES, AND GRASPABILITY OF MECHANISMS.
- ICC/IBC 2009; Sec. 1210.1 - FLOORS AND WALL BASE FINISH MATERIALS. (IN OTHER THAN DWELLING UNITS) TOILET, BATHING AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF FLOOR AND WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALL AT LEAST 4 INCHES.
- ICC/IBC 2009; Sec. 1210.2 - WALLS AND PARTITIONS. WALLS AND PARTITIONS WITHIN 2 FT. OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FT. A.F.F. AND MATERIALS USED SHALL NOT BE ADVERSELY AFFECTED BY MOISTURE.  
EXCEPTIONS: 1. DWELLING UNITS AND SLEEPING UNITS  
2. TOILET ROOMS THAT ARE NOT ACCESSIBLE TO THE PUBLIC AND WHICH HAVE NOT MORE THAN ONE WC.

WALLS AND CEILING:

- THE WALLS AND CEILING OF EVERY TOILET ROOM SHALL BE COMPLETELY COVERED WITH SMOOTH NONABSORBENT MATERIAL.
- THE INTERIOR SURFACE OF WALLS AND PARTITIONS SHALL BE OF LIGHT COLOR TO IMPROVE ILLUMINATION AND FACILITATE CLEANING.

CRITICAL DIMENSION



TOILET ROOM PLANS  
SCALE: 3/8" = 1'-0"

PLAN NOTES (SEE PLUMBING FIXTURE AND MOUNTING HEIGHTS FOR ADDITIONAL INFORMATION)

- ICC/ANSI A117.1-2003; Sec. 602 - ACCESSIBLE DRINKING FOUNTAINS AND BOTTLE FILLING STATIONS SHALL COMPLY, INCLUDING CLEAR FLOOR SPACE, OPERABLE CONTROLS (SEE NOTE 4), SPOUT OUTLET HEIGHT, AND LOCATION, AND WATER FLOW.
- ICC/ANSI A117.1-2003; Sec. 603.3 - MIRRORS. MIRRORS LOCATED ABOVE LAVATORIES, SINKS OR COUNTERS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX. A.F.F.
- ICC/ANSI A117.1-2003; Sec. 604.1 & Sec. 803.4 - COAT HOOKS AND SHELVES. ACCESSIBLE COAT HOOKS SHALL BE 48" MAX. A.F.F. WHERE PROVIDED, SHELVES SHALL BE 48" MIN. AND 48" MAX. A.F.F.
- ICC/ANSI A117.1-2003; Sec. 604 - ACCESSIBLE WATER CLOSETS AND COMPARTMENTS SHALL COMPLY INCLUDING WC LOCATION, CLEARANCE, HEIGHT OF WATER CLOSET SEAT, GRAB BARS AND OPERABLE CONTROLS. FLUSH CONTROLS SHALL BE ON THE OPEN SIDE OF THE ACCESSIBLE WC. DOORS SHALL BE SELF-CLOSING. A DOOR PULL SHALL BE PLACED ON BOTH SIDES OF THE DOOR, NEAR THE LATCH. THE DOOR LATCH SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
- ICC/ANSI A117.1-2003; Sec. 605 - ACCESSIBLE URINALS SHALL BE A STALL TYPE, WITH A MIN. DEPTH OF 12" (305mm) FROM THE OUTER FACE OF THE RIM TO THE BACK SURFACE OF THE FIXTURE, OR A WALL HUNG TYPE, WITH THE RIM HEIGHT AT 17" (430mm) MAX. A.F.F. URINALS SHALL HAVE A CLEAR FLOOR SPACE, POSITIONED FOR A FORWARD APPROACH, AND CONTROLS THAT COMPLY WITH Sec. 309.
- ICC/ANSI A117.1-2003; Sec. 606 - ACCESSIBLE LAVATORIES AND SINKS SHALL COMPLY WITH Sec. 606 AND SHALL BE 34" MAX. HEIGHT A.F.F. MEASURED TO THE SINK RIM OR COUNTER SURFACE IF UNDER-COUNTER. PROVIDE CLEAR FLOOR SPACE, POSITIONED FOR FORWARD APPROACH AND CENTERED ON ONE SINK BOWL, KNEE AND TOE CLEARANCE, AND EXPOSED PIPE PROTECTION. CLEAR FLOOR SPACE SHALL BE 30" MIN. WIDTH AND 36" MIN. WIDTH IF USED FOR TURNING TURNING SPACE. FAUCETS SHALL BE WITHIN THE REACH RANGES, OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE SHALL BE 5.0 POUNDS MAX.  
Sec. 606.2 EXCEPTION 1 - A PARALLEL APPROACH COMPLYING WITH Sec. 305 SHALL BE PERMITTED TO A KITCHEN SINK IN A SPACE WHERE A COOK TOP OR RANGE IS NOT PROVIDED. SINK HEIGHT IS 34".
- ICC/ANSI A117.1-2003; Sec. 606.7 - OPERABLE PARTS ON HAND DRYERS AND DISPENSERS SHALL COMPLY WITH TABLE 606.7. WITH THE LAVATORY AT 34" IN HEIGHT, THE TOWEL DISPENSER AND HAND DRYER MUST BE ON A SIDE WALL WHERE THE MAX. REACH DEPTH IS 12" MAX.
- ICC/ANSI A117.1-2003; Sec. 609 - GRAB BARS IN ACCESSIBLE TOILET OR BATHING FACILITIES SHALL COMPLY WITH Sec. 609 AND HAVE A CROSS SECTION COMPLYING WITH Sec. 604.2. THE SPACE BETWEEN GRAB BAR AND THE WALL, OR PROJECTING OBJECTS BELOW OR AT THE ENDS OF THE BARS, SHALL BE 1 1/2" (38mm). THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECT ABOVE SHALL BE 12" MIN. ALL COMPONENTS OF THE GRAB BAR SHALL BE STRONG ENOUGH TO RESIST A 250 POUND CONCENTRIC FORCE APPLIED EITHER HORIZONTALLY OR VERTICALLY. GRAB BARS SHALL BE FREE OF SURFACE HAZARDS AND POSITIONED PER Sec. 604.4 AND INSTALLED PER Sec. 604.7.
- ICC/ANSI A117.1-2003; Sec. 804.6 - APPLIANCES. APPLIANCES (REFRIGERATORS, MICROWAVES, VENDING MACHINES, ETC.) SHALL HAVE A CLEAR FLOOR SPACE PER Sec. 305. CLEAR FLOOR SPACES MAY OVERLAP. ALL APPLIANCE CONTROLS SHALL COMPLY WITH Sec. 309 OPERABLE PARTS (SEE GENERAL NOTE #4) AND SHALL COMPLY WITH Sec. 308 REACH RANGES.

CRITICAL DIMENSION

- THE WALLS AND CEILING OF EVERY TOILET ROOM SHALL BE COMPLETELY COVERED WITH SMOOTH NONABSORBENT MATERIAL.
- THE INTERIOR SURFACE OF WALLS AND PARTITIONS SHALL BE OF LIGHT COLOR TO IMPROVE ILLUMINATION AND FACILITATE CLEANING.

CRITICAL DIMENSION

ALLOWABLE RAMP DIMENSIONS FOR CONSTRUCTION ON EXISTING SITES, BUILDINGS, AND FACILITIES

STEEPER THAN 1:10 BUT NOT STEEPER THAN 1:8	3 INCHES
STEEPER THAN 1:12 BUT NOT STEEPER THAN 1:10	6 INCHES

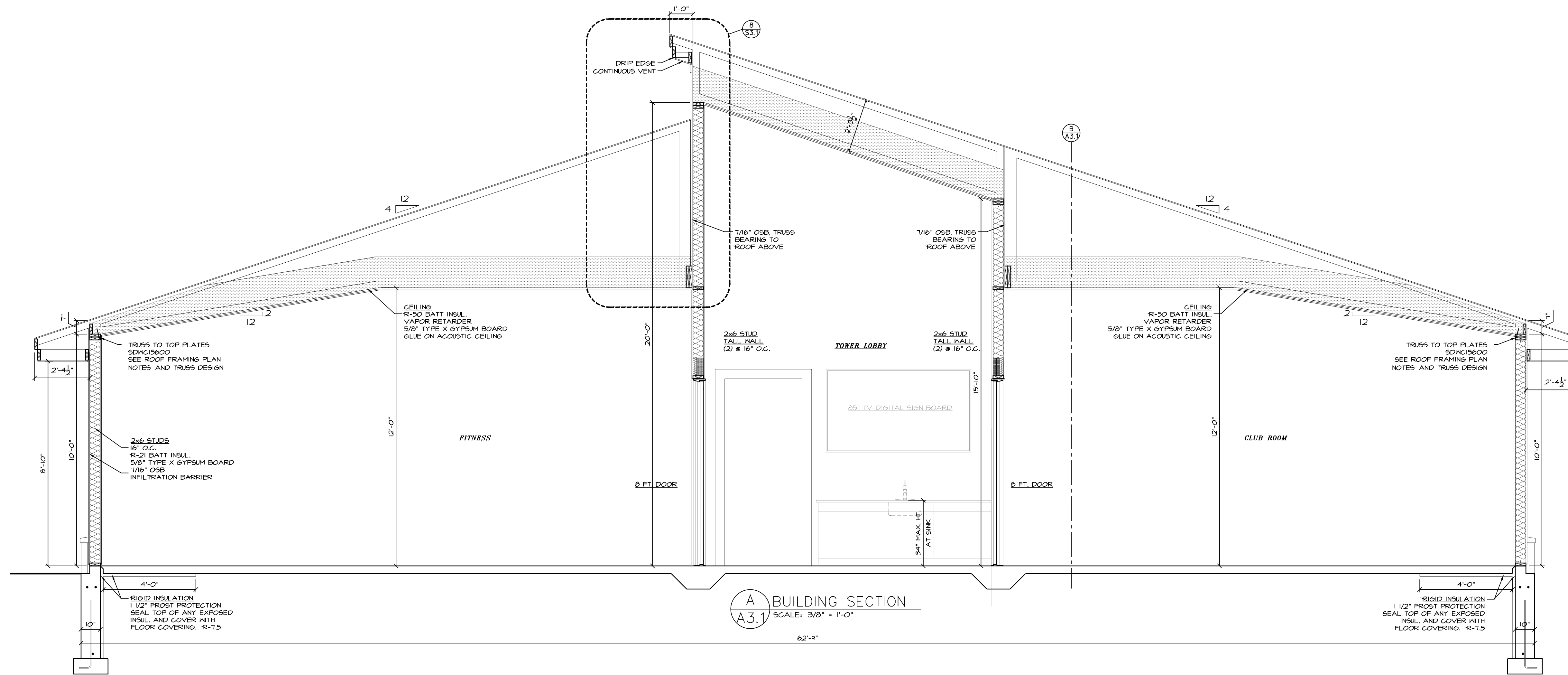
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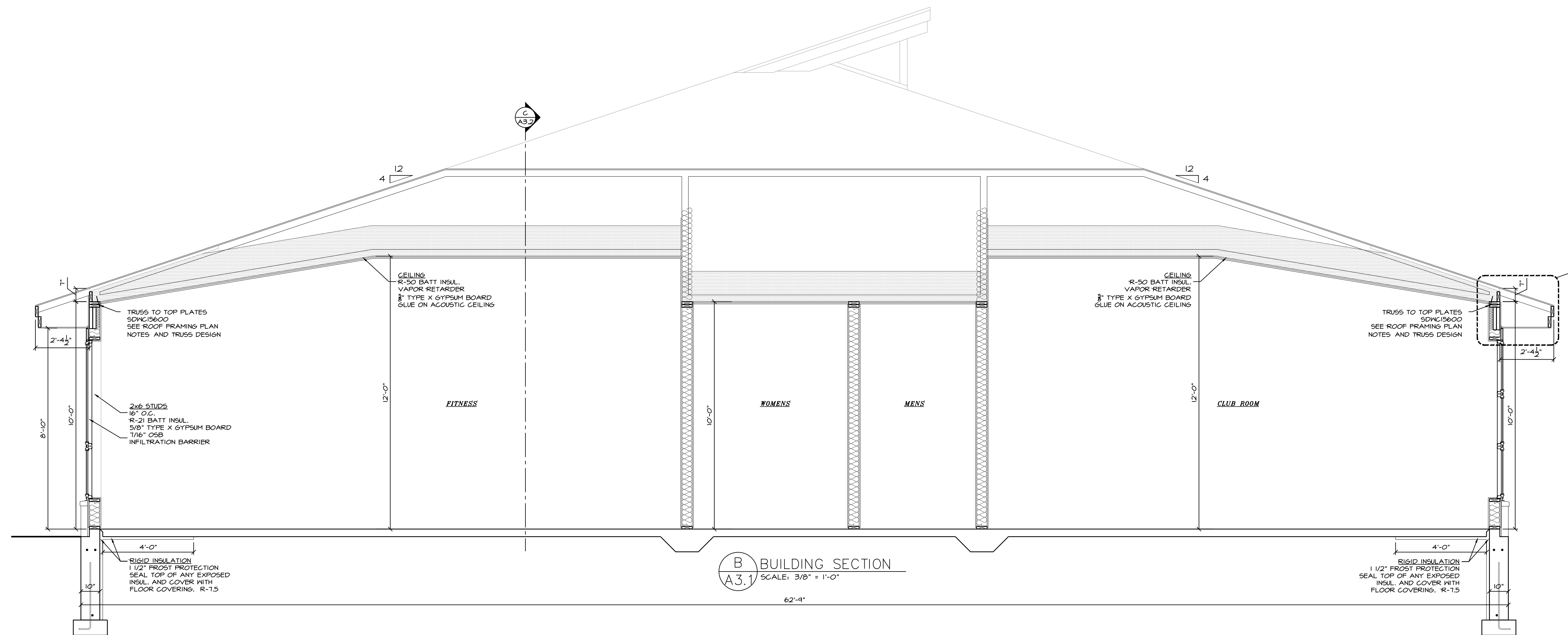
LaPlant Architecture, LLC  
OFFICE: 926 WILLARD DRIVE GREEN BAY, WISCONSIN  
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Telephone: (920) 737-9769

REVISION DATE  
x xx

DATE 10/06/2023  
PROJECT NO. 381403  
SHEET  
**A 2.3**



**A** BUILDING SECTION  
 A3.1 SCALE: 3/8" = 1'-0"  
 62'-9"

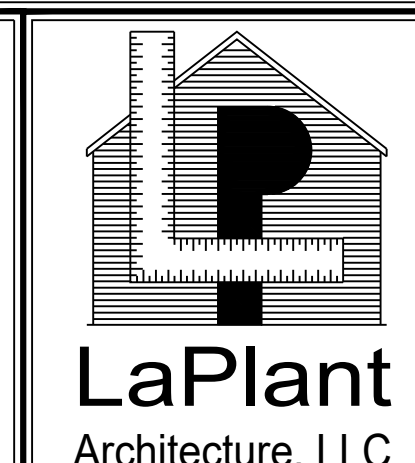


**B** BUILDING SECTION  
 A3.1 SCALE: 3/8" = 1'-0"  
 62'-9"

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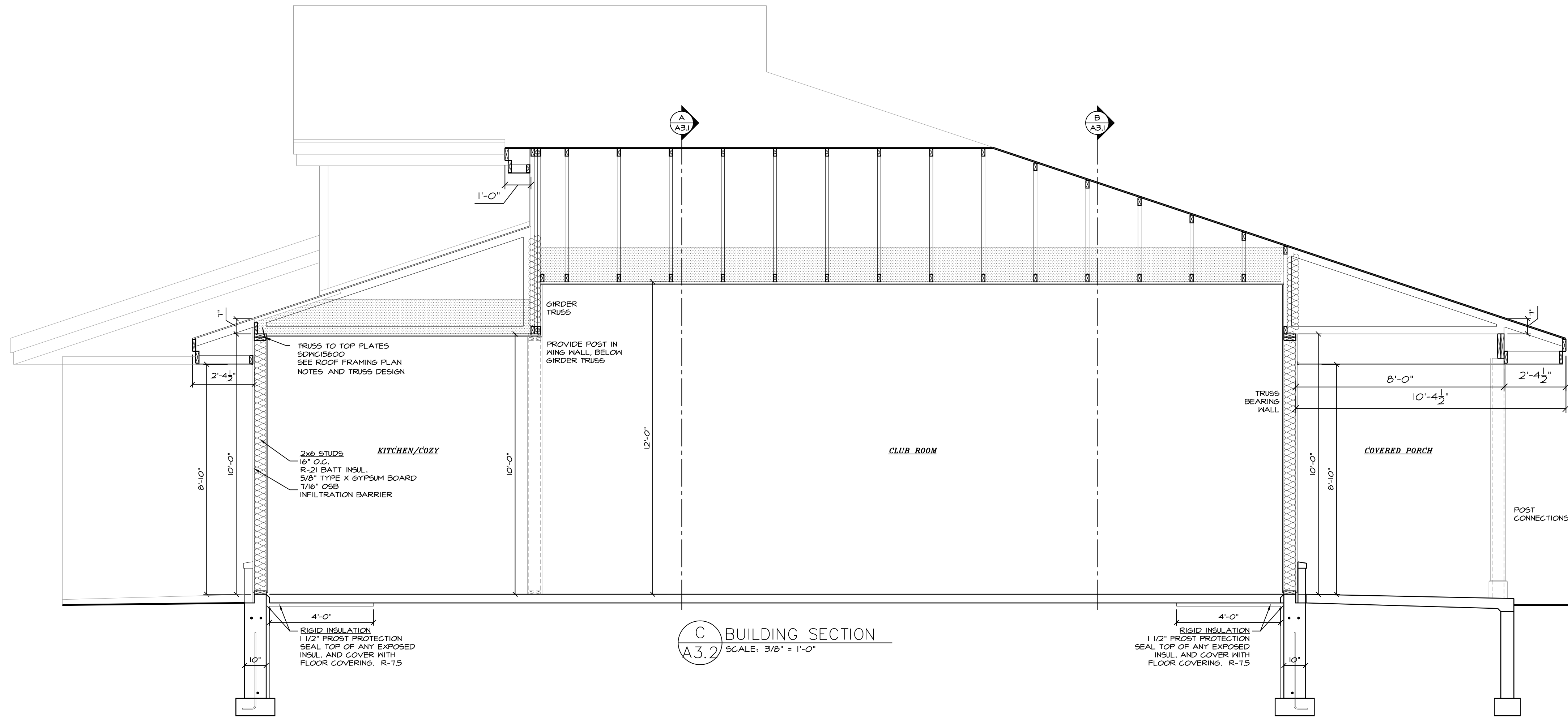
EMAIL: [laplantarchitecture@yahoo.com](mailto:laplantarchitecture@yahoo.com)

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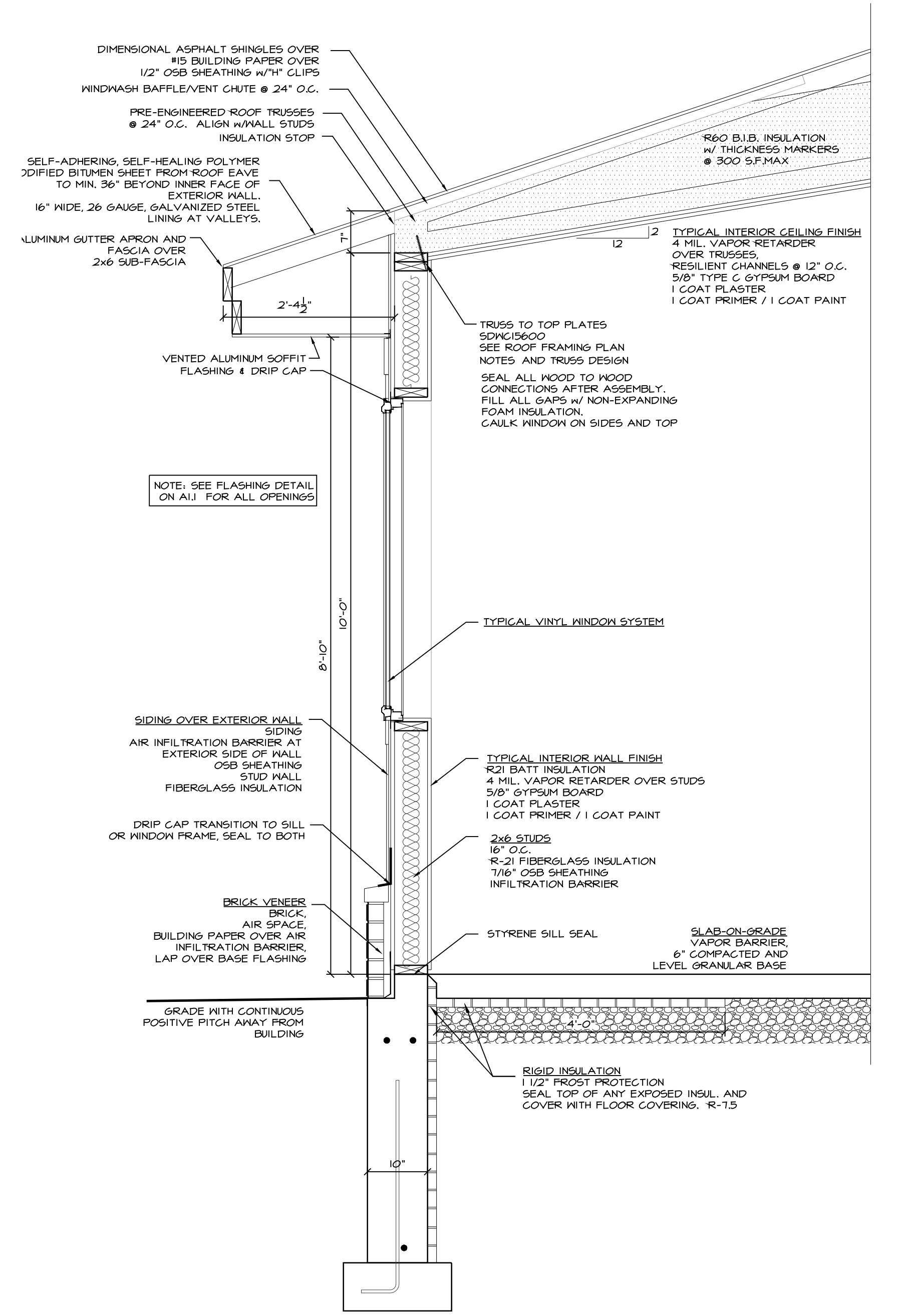
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 PROJECT NO.: 381403  
 SHEET: A3.1

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**C BUILDING SECTION**  
 A3.2 SCALE: 3/8" = 1'-0"



**D THERMAL ENVELOPE**  
 A3.2 SCALE: 1" = 1'-0"

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 Arvada Hobart, Wisconsin

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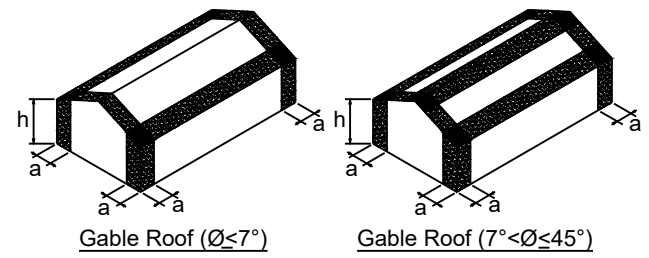
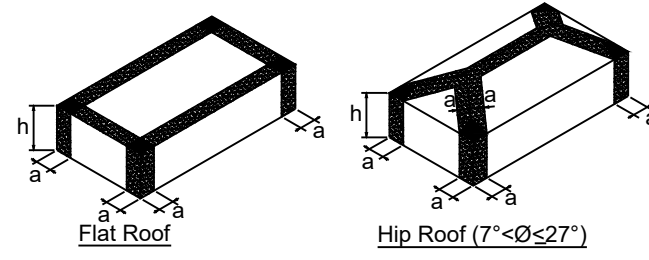
REVISION	DATE
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DATE: 10/06/2023  
 PROJECT NO.: 361403  
 SHEET: **A 3.2**

## STRUCTURAL GENERAL NOTES

### A. DESIGN LOADS

- Building Category II  
Ie=1.0  
Is=1.0  
Iw=1.0
  - Roof Dead Load = 20 psf
  - Snow Load: Ground snow Pg = 40 psf  
Ce = 1.0 Ct = 1.1 Cs = 1.0  
Snow load Pf = Pgx0.7C1sxCexCtCxCs = 31 psf (Typ)  
Ce = 1.0 Ct = 1.2 Cs = 1.0  
Snow load Pf = Pgx0.7C1sxCexCtCxCs = 34 psf (Canopy)
- Unbalanced Snow Load as per Wisconsin Alternate = 37 psf
- Unbalanced snow need not be applied on roof slopes greater than 7:12 nor less than 1/2:12
- Seismic requirements  
Site Class = D  
SDS = 0.058 SD1 = 0.054  
Seismic Design Category = A  
Seismic analysis procedure = Minimum
  - Wind Loads (h < 60')  
Wind Speed = 115 MPH  
Exposure Category = C



Interior Zones End Zones Corner Zones

Adjusted Components and Cladding (Includes 0.6 for ASD):

Angle	ZONE						
	AREA	1	2	3	4	5	OHZ2 OHZ3
15	-16.5	-26.8	-42.6	-19.8	24.2	-33.7	-26.7
20	-16.1	-26.5	-39.8	-18.8	22.6	-33.7	-51.2
50	-15.5	-23.4	-36.2	-17.7	20.4	-33.7	-36.2
100	-15	-21.1	-33.4	-16.9	18.8	-33.7	-38.3
500	NA	NA	NA	-15	13.5	NA	NA

### B. SPECIFIED MATERIAL STRENGTHS

- Poured-in-place Concrete, fc  
Slab-on-grade 3500 psi @ 28 days 1" stone  
Walls / piers 4000 psi @ 28 days  
Foundations 3000 psi @ 28 days 1 1/2" stone  
Exposed 3000 psi @ 28 days  
Air Entrained 5-7%
- Reinforcing Steel ASTM A615 Fy = 60 ksi
- Welded Wire Fabric ASTM A185 Fy = 65 ksi
- Structural Steel (UNO) ASTM A992
- Steel Tubing ASTM A500, Grade B
- Miscellaneous ASTM A36
- Bolts for Structural Connections ASTM A325, Type N
- Anchor Bolts ASTM AF1554-36
- Masonry Grout, fc 2500 psi @ 28 days
- Masonry Running Bond, fm 2000 psi
- Allowable Soil Bearing Pressure 3000 psf
- Welding Electrodes 3000 E70

### C. FOUNDATIONS

- If there is a question regarding the soils, a Geotechnical Engineer, hired by the owner, shall inspect each footing excavation and shall confirm that the actual soil conditions meet or exceed the design pressure.
- Remove all topsoil and other soils containing organics from beneath floor slabs and foundations. Proof roll exposed sub grade under direction of the Geotechnical Engineer. Remove all soft or loose soils detected by proof rolling and replace with specified fill on a unit price basis.
- Provide a minimum of 4'-0" of soil cover above the bottom of all footings exposed to the weather or unheated spaces.
- Provide sufficient temporary protection to prevent all exposed footing sub grades from freezing and all footings with less than 4'-0" of soil cover from heaving. Do not place concrete or backfill over frozen soil.
- The Contractor shall slope the bottom of the excavation to a temporary sump pit to keep accumulated groundwater and surface runoff away from the foundation bearing stratum. Pump groundwater out of the excavation before placing backfill. Do not allow the water to stand in the excavation and soften the soils at or below bearing level.
- The sidewalls of all excavations shall be properly sloped, sheeted and braced in accordance with OSHA regulations and other procedures to provide safe working conditions. The responsibility for safe working conditions is solely that of the Contractor.
- Center all wall footings on walls unless noted otherwise. Center all column footings and piers on columns unless otherwise noted.
- Backfill walls with even lifts on alternate sides to prevent excessive horizontal load on walls.
- When excavating adjacent to an existing structure, use shoring as required to prevent undermining of the existing foundations.
- When backfilling walls, maintain adequate shoring until supporting elements are poured and cured.

- No holes, trenches or other disturbances of the soil below footings, other than shown on structural plans, will be allowed within the volume described by lines sloping downward at 45 degrees to the horizontal from the bottom edges of the footings.
- Specified compacted granular fill shall be well graded pit run sand and gravel mixture with no more than 8% passing a No. 200 sieve. Fill shall be free of shale, clay, friable material and debris. Compact fill to 95% Modified Proctor under footings and 90% under slabs.

### D. CONCRETE

- Proportioning of materials shall be in accordance with ACI 211.1. Latest "Recommended Practice for Selecting Proportions for Normal, Heavyweight and Mass Concrete." Maximum aggregate size shall be 1-1/2" for footings, 3/4" for slabs, walls and columns and 3/8" for toppings. Maximum water-cement ratio 0.45. Proportion concrete mixes for a 3" to 4" slump.  
Provide an approved Air Entraining Admixture conforming to ASTM C260 and ACI 318-89 table 4.4.1 for all concrete exposed to freeze thaw conditions.

All concrete mixes may contain an approved non-chloride Water Reducing Admixture in accordance with ASTM C494, Type A. All concrete mixes shall contain a Water-Reducing Admixture except where other Water-Reducing type Admixture is required in the same concrete mix.

Provide an approved non-chloride non-corrosive Accelerator conforming to ASTM C494, Type C or E for all concrete flatwork poured at an ambient temperature of less than 50 degrees F. Provide an approved Water-Reducing Retarding Admixture conforming to ASTM C494, Type D for all concrete flatwork poured at an ambient temperature of 80 degrees F or higher.

Where more than one admixture is used in a concrete mix, provide substantiating data that indicates that these admixtures are compatible without producing detrimental or unpredictable results. Use admixtures from one manufacturer only provide the proper admixture quantities based upon total cementitious materials in accordance with the manufacturer's recommendations to achieve the desired results for specific site conditions and concrete materials. Maximum water soluble chloride ion concentrations in hardened concrete at an age of 28 days contributed from all ingredients including water, aggregates, cementitious materials and admixtures shall not exceed 0.10 percent.

- Submit two copies of proposed mix design to the Structural Engineer. Provide sufficient time in the construction schedule to allow a minimum of five full working days of review period in the Engineer's office.
- Provide bolsters, chairs, dowel blocks, standees and #4 support bars as required to support specified reinforcement at spacing not to exceed 4'-0" in either direction. Tie securely together to hold steel in position.
- Welding of reinforcement is not permitted. Field bending of reinforcement is not permitted.
- Concrete cover for reinforcing steel, unless otherwise shown, shall be as follows:  
Footings: 3" clear from bottom & sides, 2" clear from top  
Walls: 1 1/2" clear from each side  
Beams, Columns: 1 1/2" clear to stirrups or ties & piers  
Structural Slabs: 1" clear from top & sides, 3/4" clear from bottom  
Slab-On-Grade: 1/3 slab thickness from top, but not less the 3/4" nor greater than 2"
- When welded wire fabric is specified on the plans, Provide the following reinforcement in flat sheets unless otherwise noted for all slabs on grade except sidewalks.  
4" slab: WWF 6 x 6 x W1.8 x W1.4  
5" slab: WWF 6 x 6 x W2.0 x W2.0  
6" slab: WWF 6 x 6 x W2.9 x W2.9
- When fiber reinforcing is specified on the plans, Provide the following minimum reinforcing and dosages for all slabs on grade except sidewalks:  
4"-5" slab: 1.5# per cubic yard FRC BI Blend, or approved Equal  
6" Slab: 3# per cubic Yard Forta Ferro, or approved equal
- All reinforcing bars shall be fabricated in accordance with ACI 318 and ACI Detailing Manual SP-66. Provide "standard hooks" unless otherwise noted. Specified bar length does not include length of hook. Place hooked end of bar 2" clear from edge of concrete, unless otherwise noted.
- All laps shall be Class "B", unless noted otherwise. Use "top bar" lap lengths for all horizontal wall bars and for top bars in slabs and beams over 14" deep. Mechanical couplers capable of developing the full tensile capacity of the bars may be used at any lap location.
- Corner bars shall be provided at all wall corners and intersections.
- Plain weld wire fabric shall be lapped and / or anchored to develop fy per ACI 318.
- Welding of reinforcing is not permitted.
- Seal all exterior concrete with Master Builders "GP" after the full curing period.
- Provide sawcut control joints in each direction for all slabs on grade. Control joint spacing shall not exceed 24'-0" nor 36 times the slab thickness unless otherwise shown. Control joint spacing shall not be less than 2/3 nor more than 1-1/2 times the spacing of the width of the slab in the other direction.
- Carefully examine architectural, mechanical, electrical and equipment drawings before each concrete pour to include all cast-in items, anchorage devices, block outs, sleeves, depressions, and other special requirements.
- Conduit and pipes embedded in concrete shall conform to ACI 318-89 Section 6.3.

### E. ROOF TRUSSES

- Submit one electronic copy, of each shop drawing to the Engineer for approval. Provide sufficient time in construction schedule to allow a minimum of ten full working days of review period in the Engineer's office.
- Trusses, jack rafters and valley rafters shall be designed to meet all loading and spans as indicated on the plans.
- Trusses and rafters shall be designed and certified by a Registered Professional Engineer.
- Supplier shall be responsible for all bracing and/or bridging required for the design of the truss members.
- Contractor shall be responsible for bracing and/or bridging required during construction.
- All connector plates shall be made of Grade "A" galvanized steel, minimum 20 gage per latest TPI Specifications.
- All connection hardware shall be designed & furnished by the truss supplier unless noted otherwise on the plans.
- Scissors trusses shall be designed such that horizontal live load deflections do not exceed 3/4". Walls are not designed to resist a horizontal truss reaction.

### F. REINFORCING STEEL

- Submit one electronic copy of each shop drawing to the Engineer for approval. Provide sufficient time in construction schedule to allow a minimum of ten full working days of review period in the Engineer's office.
- Provide bolsters, chairs, dowel blocks, standees and #4 support bars as required to support specified reinforcement at spacing not to exceed 4'-0" in either direction. Tie securely together to hold steel in position.
- Welding of reinforcement is not permitted. Field bending of reinforcement is not permitted.
- Concrete cover for reinforcing steel, unless otherwise shown, shall be as follows:  
Footings: 3" clear from bottom & sides, 2" clear from top  
Walls: 1 1/2" clear from each side  
Beams, Columns: 1 1/2" clear to stirrups or ties & piers  
Structural Slabs: 1" clear from top & sides, 3/4" clear from bottom  
Slab-On-Grade: 1/3 slab thickness from top, but not less the 3/4" nor greater than 2"
- When welded wire fabric is specified on the plans, Provide the following reinforcement in flat sheets unless otherwise noted for all slabs on grade except sidewalks.  
4" slab: WWF 6 x 6 x W1.8 x W1.4  
5" slab: WWF 6 x 6 x W2.0 x W2.0  
6" slab: WWF 6 x 6 x W2.9 x W2.9
- When fiber reinforcing is specified on the plans, Provide the following minimum reinforcing and dosages for all slabs on grade except sidewalks:  
4"-5" slab: 1.5# per cubic yard FRC BI Blend, or approved Equal  
6" Slab: 3# per cubic Yard Forta Ferro, or approved equal
- All reinforcing bars shall be fabricated in accordance with ACI 318 and ACI Detailing Manual SP-66. Provide "standard hooks" unless otherwise noted. Specified bar length does not include length of hook. Place hooked end of bar 2" clear from edge of concrete, unless otherwise noted.
- All laps shall be Class "B", unless noted otherwise. Use "top bar" lap lengths for all horizontal wall bars and for top bars in slabs and beams over 14" deep. Mechanical couplers capable of developing the full tensile capacity of the bars may be used at any lap location.
- Corner bars shall be provided at all wall corners and intersections.
- Plain weld wire fabric shall be lapped and / or anchored to develop fy per ACI 318.
- Welding of reinforcing is not permitted.

### G. DIMENSION LUMBER

- Dimension lumber to be D-F-L / No. 2 or better for beams & headers. Use Spruce-Pine-Fir No.1/No.2 grade for wall studs & purlins. Unless noted otherwise on the plans
- All member sizes given on plan are nominal dimensions.
- All beams & joists not bearing on supporting members shall be framed w/ "Simpson" joist hangers or equal. Use type required for loading.
- All foundation plates, sills & sleepers on concrete slab, which is in direct contact w/ earth, and sills which rest on concrete or masonry foundation walls, shall be treated wood or foundation redwood.
- Hardware and fasteners in contact with treated lumber or exposed to the elements shall be hot dipped galvanized, stainless steel, or manufacturer's approved coating.
- Where not noted specifically otherwise, nailing shall be according to fastening schedule, in the Wisconsin Enrolled Commercial Code.
- All bolts and lag screws shall be American Standard Manufacture.
- Bolt holes in wood shall be drilled 1/16" maximum oversize. Holes for screws and lag screws shall be first bored for the diam depth and diameter of the shank, then the remainder occupied by the threaded portion shall be bored not larger in diameter than the root of the thread. All screws shall be screwed, not driven into place.
- Provide washers under all nuts and heads of bolts and lag screws.
- All timber framing shall be accurately cut, notched, or tapped as indicated. No over-cut is permitted for notches or gaps. Members shall fit tight and true. Examine members for detrimental damage before installation, and avoid natural defects at connections. Where steel plates occur, they shall be used as the template for boring holes.
- Whenever necessary to cut or drill treated lumber, treat the cut or bored surfaces with two heavy coats of the same preservative as used in the original treatment.
- Design, fabrication, and construction shall conform to the "National Design Specification for Wood Construction" current edition as recommended by the American Forest & Paper Association.

### J. NAILING SCHEDULE

FASTENING SCHEDULE (PER IBC TABLE 2304.9.1)	FASTENING	LOCATION
1. Joist to sill or girder	3"x0.131"	toenail
2. Bridging to joist	2"x0.131"	toenail each end
3. 1"x6" sub floor or less to each joist	3"x0.131"	face nail
4. Wider than 7"x6" sub floor to each joist	3x6d common	face nail
5. 2" sub floor to joist or girder	2-16d common	blind and face nail
6. Sole plate to joist or blocking	4"x0.131" at 16" o.c.	typical face nail
Sole plate to joist or blocking at braced wall panel	4"x0.131" at 16" o.c.	braced wall panels
7. Top plate to stud	3"x0.131"	end nail
8. Stud to sole plate	3"x0.131"	toe nail
9. Double studs	4"x0.131"	face nail
10. Double top plates	3"x0.131" at 12" o.c.	typical face nail
Double top plates	12"x0.131"	lap splice
11. Blocking between joists or rafters to top plate	3"x0.131" (each end)	toenail
12. Rim joist to top plate	3"x0.131" at 6" o.c.	toenail
13. Top plates, laps and intersections	3"x0.131"	face nail
14. Continuous header, two pieces	3"x0.131" (12" o.c. along edge)	face nail
15. Ceiling joists to plate	5"x0.131"	toenail
16. Continuous header to stud	4-8d common (2.5"x0.131")	toenail
17. Ceiling joists, laps over partitions (a)	4"x0.131"	face nail
18. Ceiling joists to parallel rafters (a)	Per IBC Table 2308.7.3.7	face nail
19. Rafter to plate (a)	4"x0.131"	toenail
20. 1" diagonal brace to each stud and plate	2"x0.131"	face nail
21. 1"x 8" sheathing to each bearing wall	2-8d common	face nail
22. Water than 1"x2" sheathing to each bearing	3-8d common	face nail
23. Built-up corner studs	1-3"x0.131" at 16" o.c.	face nails
24. Built-up girder and beams	20d common 32" o.c.	face nail at top and bottom
	2-20d common	staggered on opposite sides
		face nail at ends and at each splice
25. 2" planks	16d common	at each bearing
26. Collar tie to rafter	3-16d common	face nail
27. Jack rafter to hip	3-16d common	face nail
28. Roof rafter to 2-by ridge beam	4"x0.131"	toenail
29. Joist to band joist	3"x0.131"	end nail
30. Ledger strip	4"x0.131"	face nail
31. Wood structural panels and particle board (b)	1/2" and less 60d(e)	
Sub floor, roof and wall sheathing (to framing):	19/32" to 3/4" 80d(f)	
	7/8" to 1" 80d(f)	
Single Floor (combination subfloor-underlayment to framing):	1 1/8" to 1 1/4" 100d(f)	
	1 1/8" to 1 1/4" 100d(f)	
32. Panel siding (to framing)	1/2" or less 60d(g)	
	5/8" 80d(g)	
33. Fiberboard sheathing: (c)	1/2" No. 11 gage roofing nail(h)	
	6d common nail 25/32" No. 11 gage roofing nail(h)	8d common nail

- See Section 2308.10.1, Table 2308.10.4.1
- Nails spaced at 6 inches on center at edges, 12 inches at intermediate supports except 6 inches at supports where spans are 48 inches or more. For nailing of wood structural panel and particle board diaphragms and shear walls, refer to Section 2305. Nails for wall sheathing are permitted to be common, box or casing.
- Fasteners spaced 3 inches on center at exterior edges and 6 inches on center at intermediate supports.
- Common or deformed shank.
- For roof sheathing applications, 8d nails are the minimum required for wood structural panels.
- Deformed shank.
- Corrosion-resistant siding or casing nail.

# PDK Investments, LLC

## Clubhouse Building

Arvada Hobart, Wisconsin

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DATE: 10/06/2023

PROJECT NO: 361403

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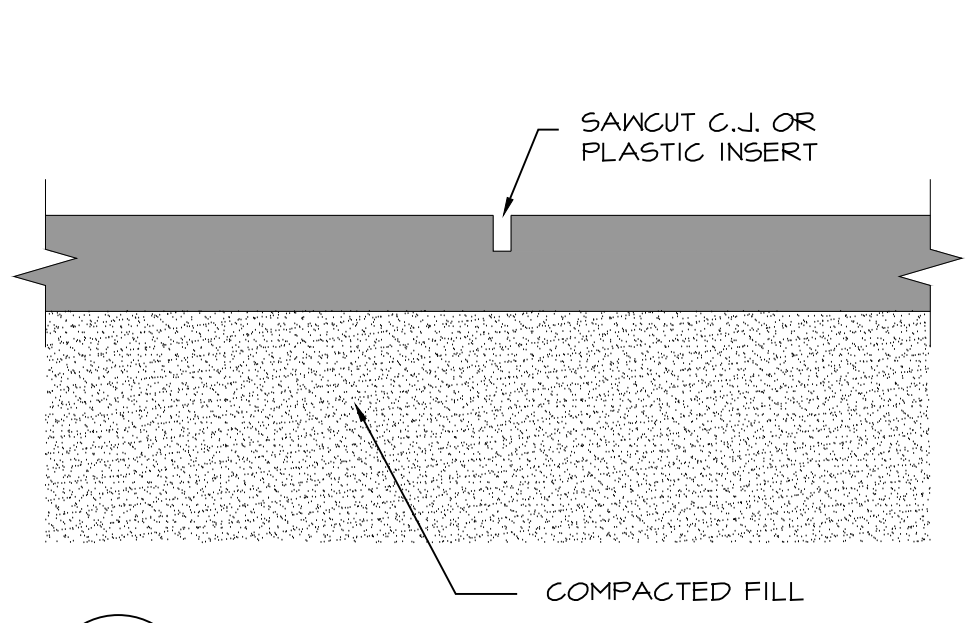
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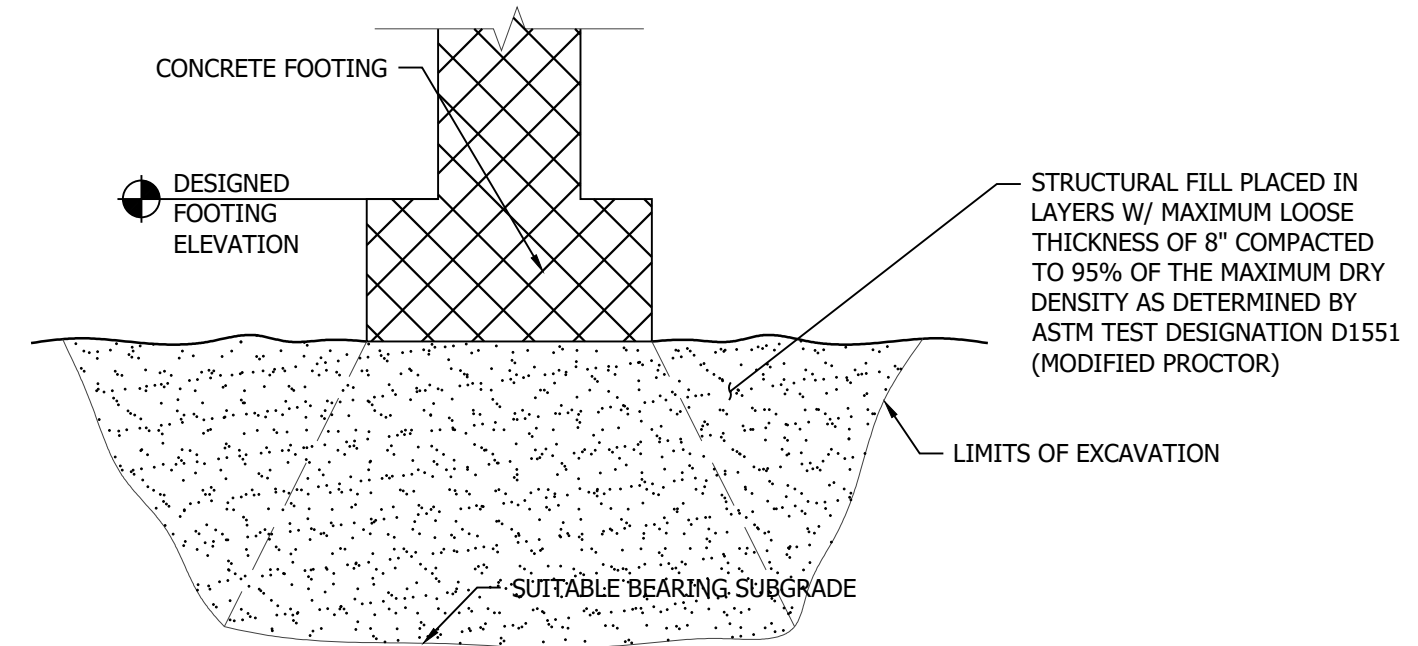
**B.T.GEROLD**  
STRUCTURAL  
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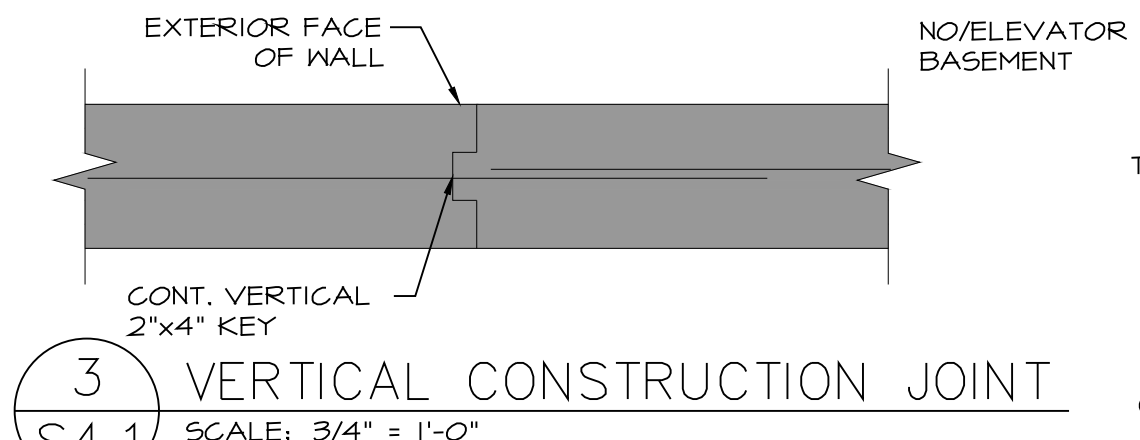


1 CONTROL JOINT  
S4.1 SCALE: 3/4" = 1'-0"

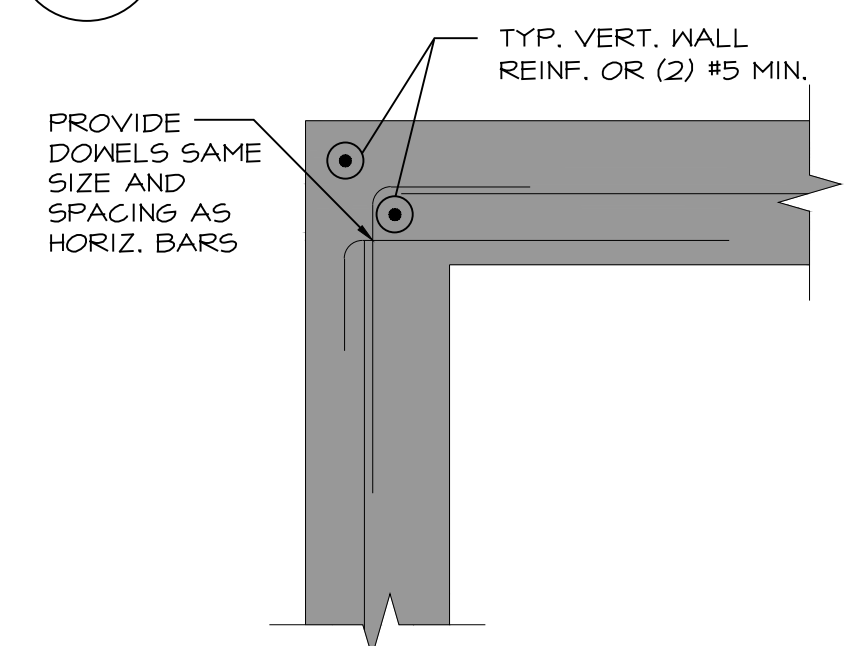
THIS DETAIL APPLIES ONLY AT THOSE LOCATIONS WHERE GEOTECHNICAL ENGINEER DEEMS SOILS AT DESIGN FOOTING ELEVATIONS INADEQUATE FOR FOOTING SUPPORT. WHERE THIS WORK IS REQUIRED, CONTRACTOR WILL BE COMPENSATED ON A PRE-ESTABLISHED UNIT COST AGREED UPON BY THE CONTRACTOR, ARCHITECT/ENGINEER AND OWNER.



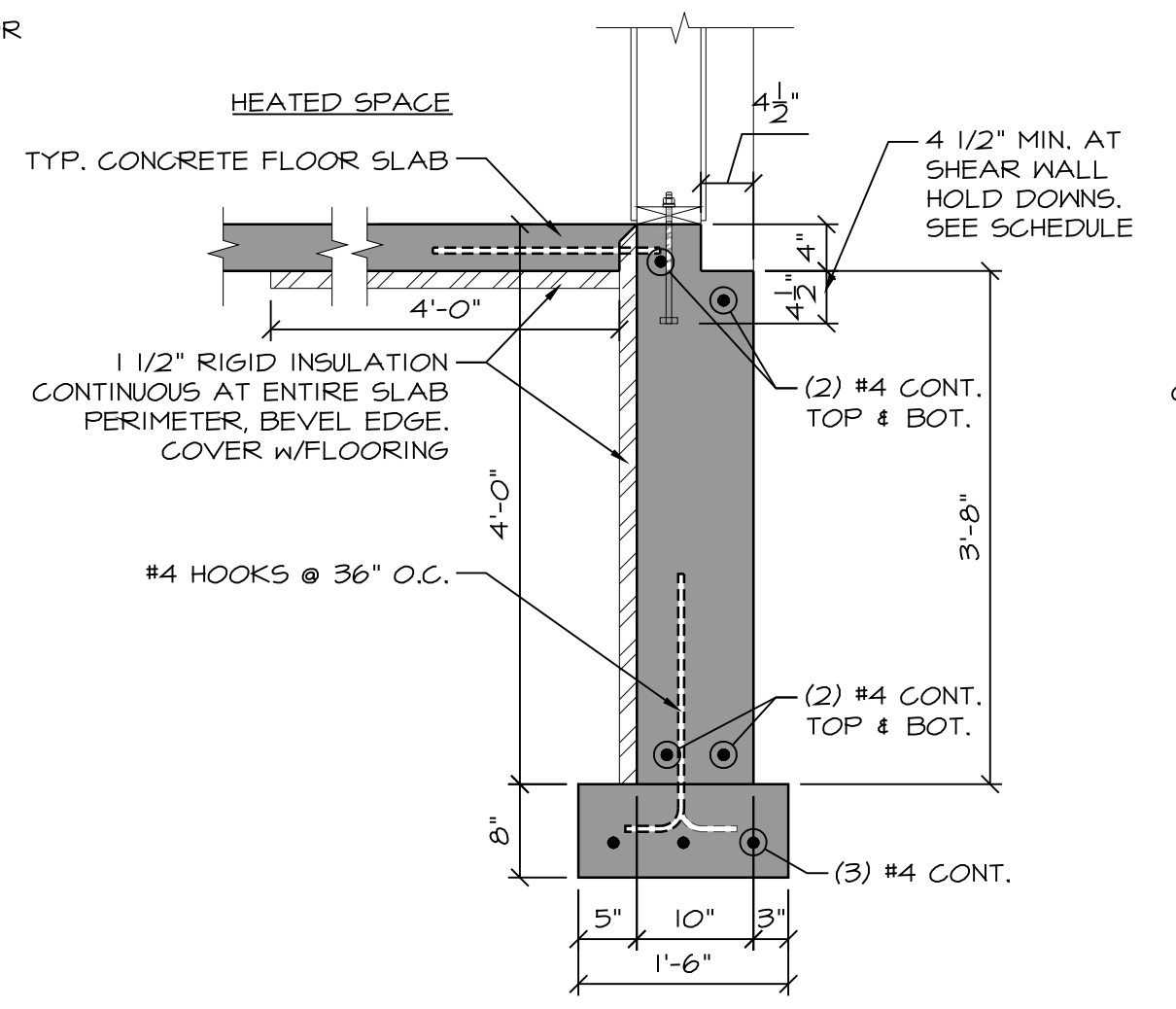
2 OVER EXCAVATION DETAIL  
S4.1 SCALE: 3/4" = 1'-0"



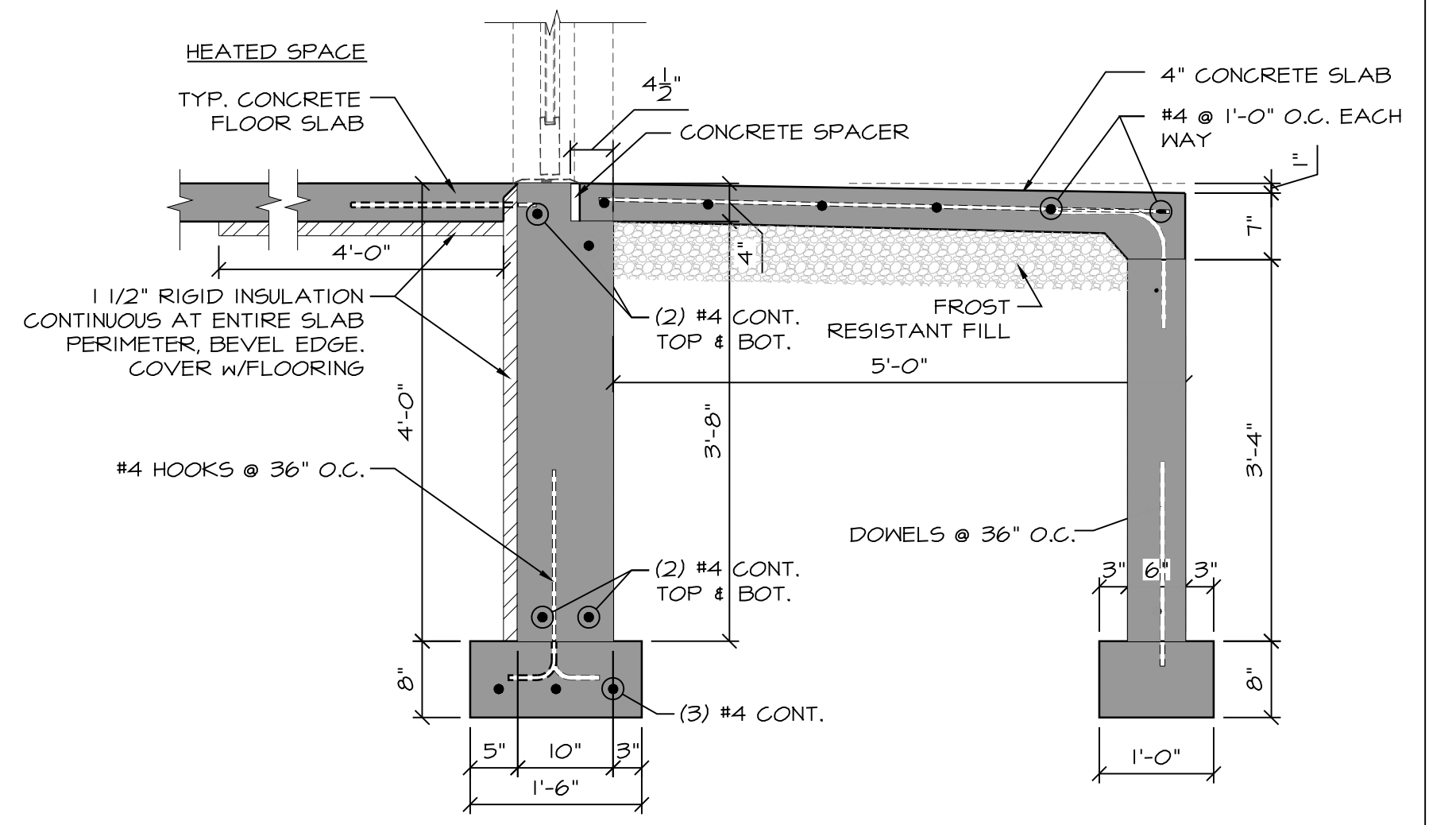
3 VERTICAL CONSTRUCTION JOINT  
S4.1 SCALE: 3/4" = 1'-0"



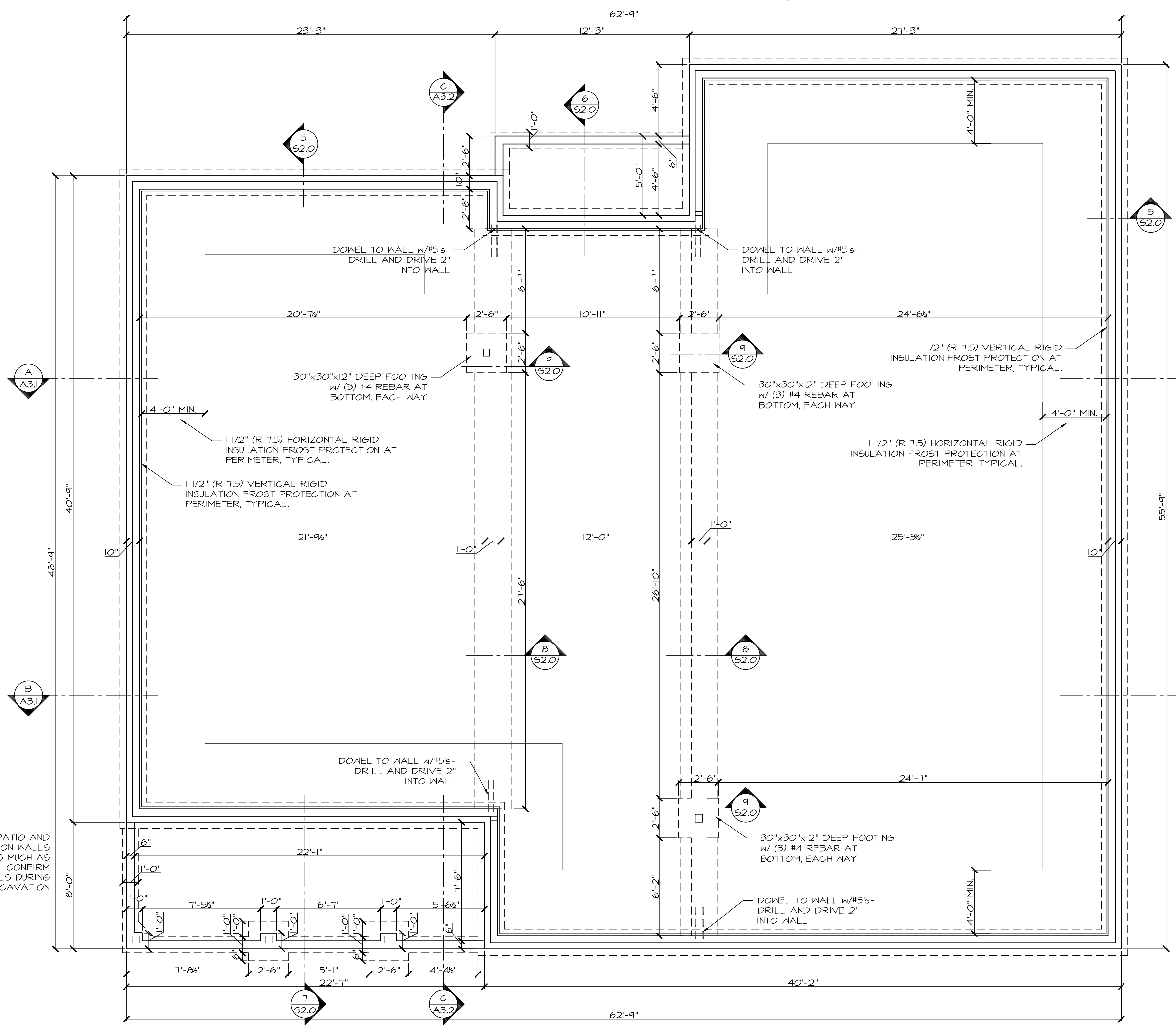
4 CORNER REINFORCEMENT  
S4.1 SCALE: 3/4" = 1'-0"



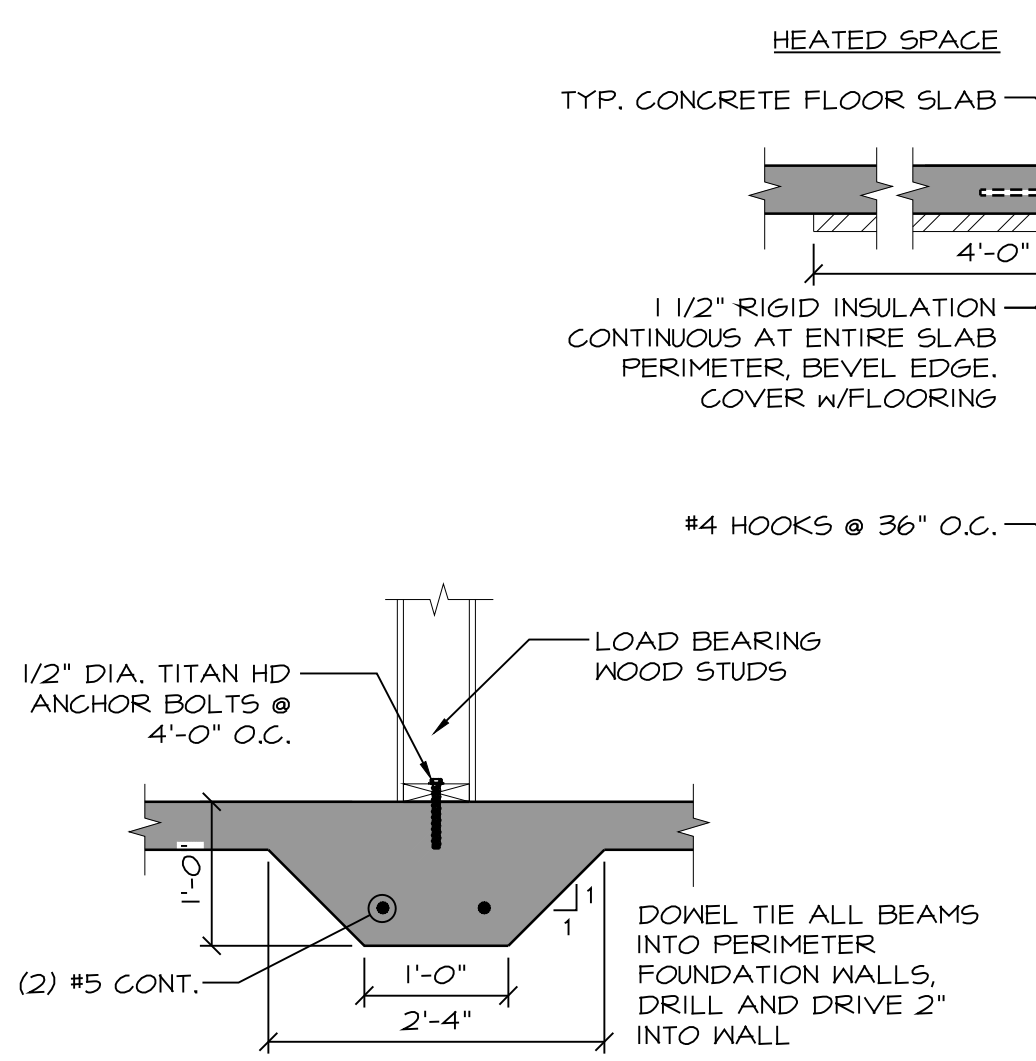
5 FOUNDATION WALL  
S2.0 SCALE: 3/4" = 1'-0"



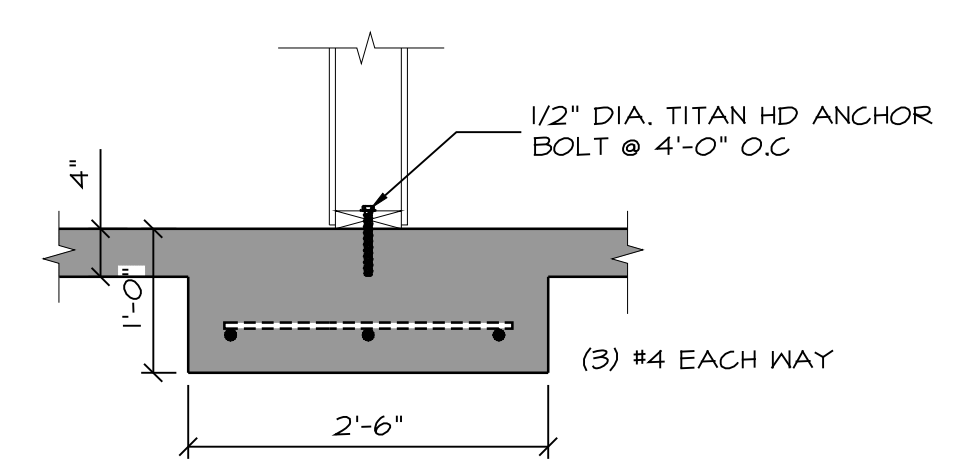
6 STOOP  
S2.0 SCALE: 3/4" = 1'-0"



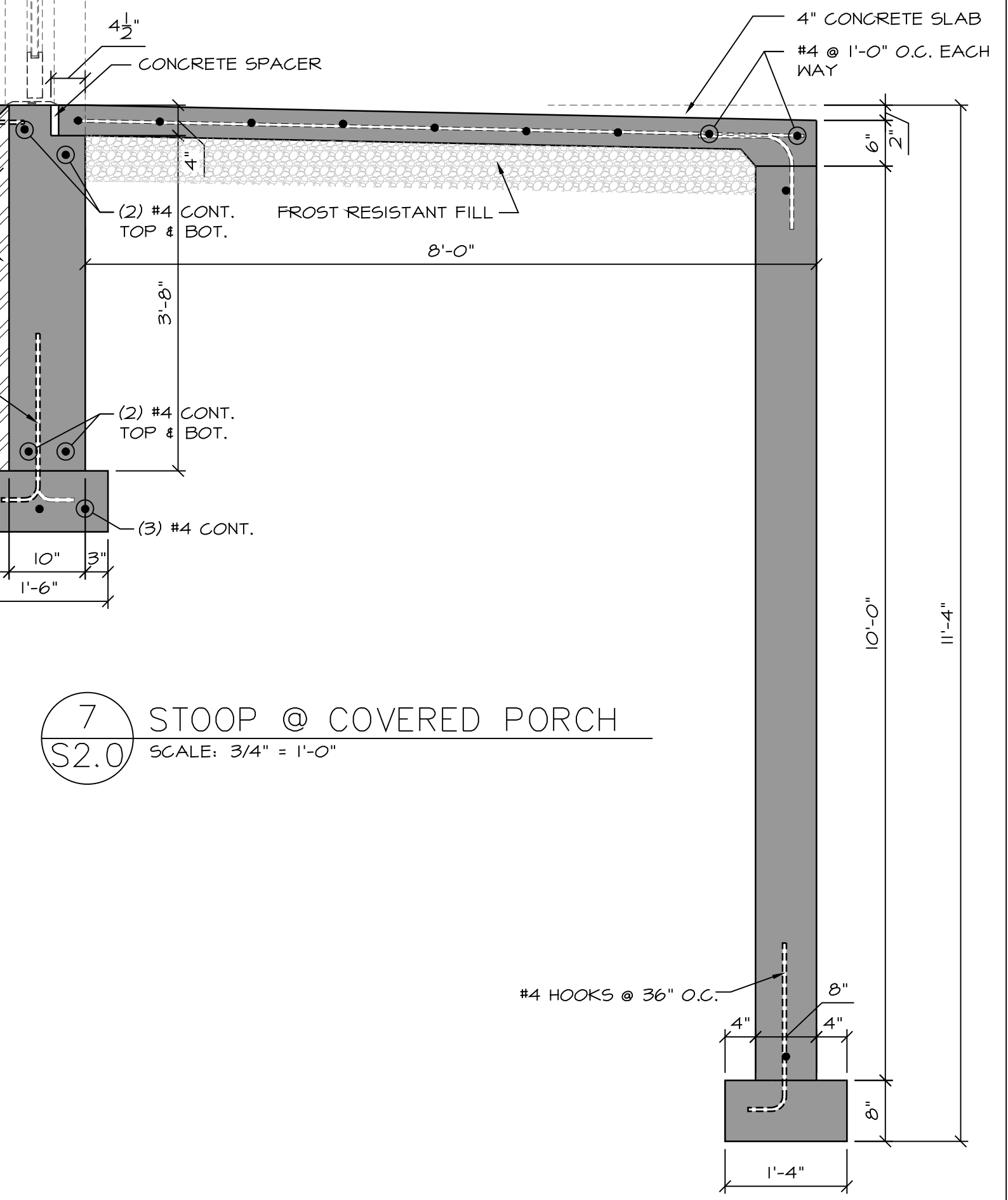
FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



8 SECTION  
S2.0 SCALE: 3/4" = 1'-0"



9 SECTION  
S2.0 SCALE: 3/4" = 1'-0"



7 STOOP @ COVERED PORCH  
S2.0 SCALE: 3/4" = 1'-0"

- FOUNDATION PLAN NOTES**
1. FINISH SLAB ELEVATION = 100'-00" LOCAL DATUM UNLESS NOTED OTHERWISE. TOP OF FOOTING = 98'-00" UNLESS NOTED OTHERWISE.
  2. SLAB ON GRADE TO BE 4" THICK WITH 6x6 W1.4XW1.4 ON 6 MIL VAPOR RETARDER ON 6" FREELY DRAINING GRANULAR BASE COURSE UNLESS NOTED OTHERWISE.
  3. SPACE CONSTRUCTION AND CONTROL JOINTS AT 12'-0" O.C. MAX RESULTING SECTIONS SHALL BE APPROXIMATELY SQUARE OR TRIANGULAR.
  4. TYPICAL WHERE SLAB-ON-GRADE ABUTS WALL OR COLUMN, 1 1/2" RIGID INSULATION AT SLAB TO WALL JOINT, DOWEL THROUGH INSUL. TO SECURE SLAB HEIGHT.
  5. OVER-EXCAVATION MAY BE REQUIRED TO REMOVE EXISTING UNDOCUMENTED FILL AND UNSUITABLE SOIL.

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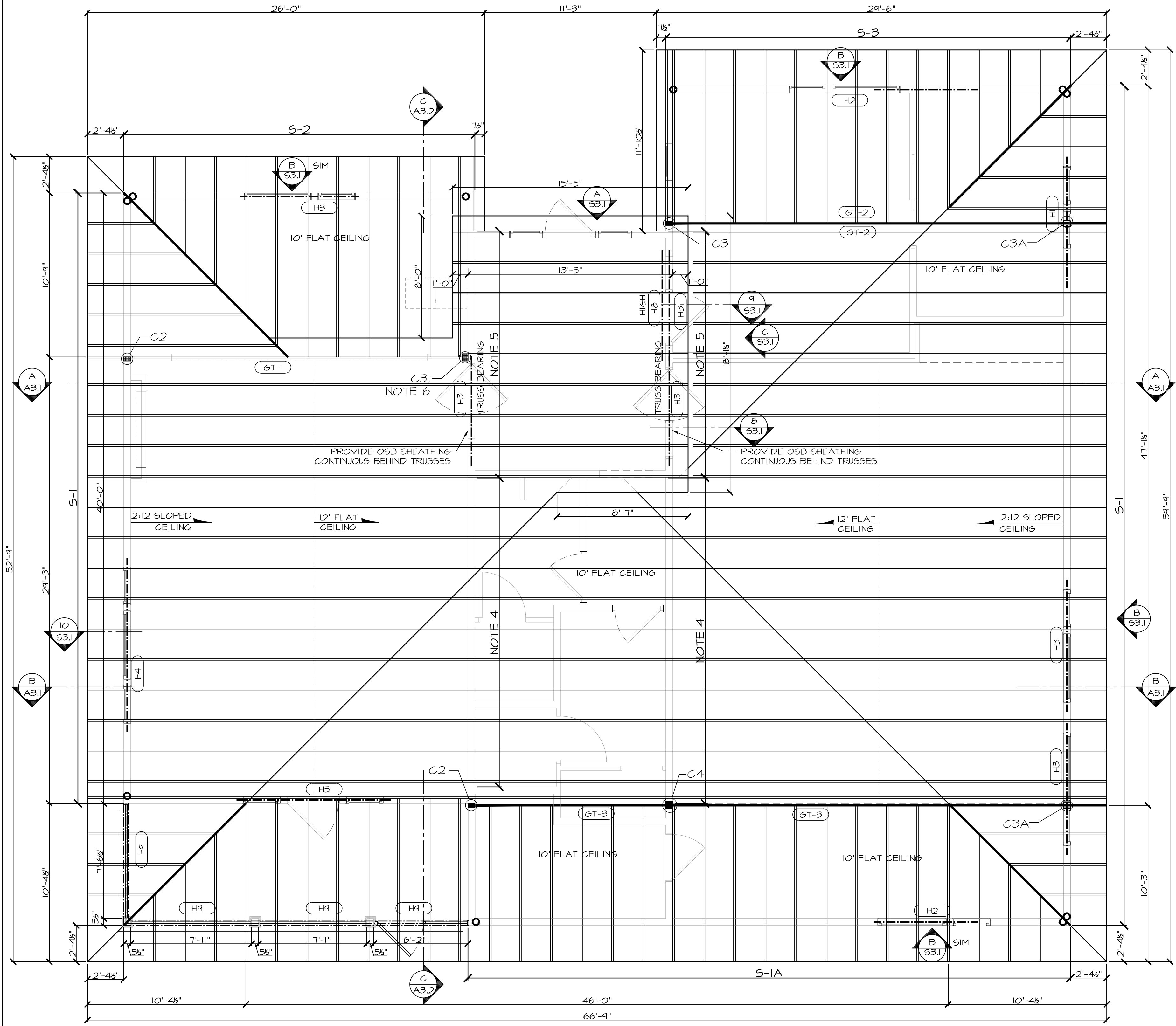
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PATIO AND FOUNDATION WALLS MAY BE AS MUCH AS 10' TALL. CONFIRM SOILS DURING EXCAVATION



ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

### SHEAR WALL SCHEDULE

MARK	SHEATHING	PANEL ANCHORAGE	HOLD-DOWN / STRAP	MIN END MEMBER	MIN HOLD DOWN ANCHOR	INTERMEDIATE ANCHORAGE, SPACING	NOTES
S1	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON DTT2Z-SDS2.5 (8) 1/4" x 2 1/2" SDS SCREWS	0'-3"	1/2" $\phi$	1/2" $\phi$ @ 48" O.C.	1,3
S2	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 3" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON HTT4 (OR EQUAL) 18-10d x 1-1/2" NAILS	0'-3"	5/8" $\phi$	5/8" $\phi$ @ 48" O.C.	2
S3	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON DTT2Z-SDS2.5 (8) 1/4" x 2 1/2" SDS SCREWS	0'-3"	1/2" $\phi$	1/2" $\phi$ @ 24" O.C.	

**NOTES:**

- ANCHORS MAY BE CAST IN PLACE OR 1/2" TITEN HD ANCHORS WITH 4" EMBED AND 2.75" EDGE DISTANCE.
- CAST IN PLACE ANCHORS OR - HOLD DOWN ANCHOR SHALL BE 5/8" TITEN HD ANCHORS WITH 4.5" EMBEDMENT IN 10" WALL. TYPICAL ANCHORS 5/8" TITEN HD 4.5" EMBED IN 5.5" STEM WALL.
- BLOCKING AT PANEL EDGES NOT REQUIRED AT "A"
- STANDARD CUT WASHERS PERMITTED AT ANCHOR BOLTS

**TYPICAL SHEAR WALL NOTES:**

- FOR SHEAR WALL SCHEDULE SEE ABOVE. SEE TYPICAL SHEAR WALL ELEVATION AND LOCATIONS ON PLANS.
- ALL SHEAR WALLS UTILIZING WOOD OR GYPSUM SHEATHING SHALL HAVE BLOCKING ON ALL EDGES UNLESS NOTED OTHERWISE IN SHEATHING DESIGNATION.
- INDIVIDUAL PIECES OF WOOD STRUCTURAL PANEL SHALL BE NOT LESS THEN 2'-0" IN LEAST DIMENSION NOR 8'-0" IN AREA
- RE-TIGHTEN BOLTS BEFORE CLOSING
- LOCATE ALL SHEAR WALL PANEL JOINTS ON CENTERLINE OF BLOCKING OR STUDS.
- IF PANEL EDGE NAILING IS GREATER THAN 3" A SINGLE 2X STUD OR BLOCKING MEMBER IS PERMITTED.
- ALIGN TRUSSES AND STUDS IN ALL CASES, UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AT ALL JAMB, KING STUDS, AND POST BETWEEN FLOORS
- PROVIDE FURRING OR BACKING OF THICKNESS AS REQUIRED TO MAINTAIN A COMMON WALL PLANE AT ALL WOOD STUD WALL SURFACES WHICH ARE ONLY PARTIALLY SHEATHED WITH WOOD STRUCTURAL PANEL COORDINATE AND ADJUST HEAD, JAMB AND SILL DETAILS AS REQUIRED FOR PROPER OVERALL WALL THICKNESS.
- ANCHOR BOLTS, FASTENERS, WASHERS, NUTS, CONNECTORS IN CONTACT WITH TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED COATING.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE, UNLESS NOTED OTHERWISE.

### ROOF FRAMING PLAN NOTES

- JOIST BEARING ELEVATION AS NOTED ON SECTIONS.
- PROVIDE 1/2" (15/32) 24/0 APA RATED SHEATHING. NAIL WITH 0.131"x2-1/2" OR 8d COMMON NAILS AT 6" O.C. AT SUPPORTED EDGES, AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- DESIGN TRUSSES FOR LOADS INDICATED ON THE STRUCTURAL NOTES ALSO DESIGN FOR DRIFT LOAD INDICATED ON THE PLANS.
- WHERE NOTED, AND ALL EXTERIOR WOOD BEARING WALLS SHALL BE SPF 2x6 STUD GRADE @ 16" O.C. PROVIDE DOUBLE TOP PLATE, AND SINGLE BOTTOM PLATE. ONE OF THE TOP PLATE MUST BE CONTINUOUS OVER OPENINGS, TO 12" MIN. EACH SIDE. NO SPLICES ALLOWED BELOW POINT LOADS. SEE NAILING SCHEDULE AND SECTIONS FOR ADDITIONAL INFORMATION.
- TALL WALL TO BE SPF (2) 2x6 STUD GRADE @ 16" O.C. PROVIDE DOUBLE TOP PLATE, AND SINGLE BOTTOM PLATE. ONE OF THE TOP PLATE MUST BE CONTINUOUS OVER OPENINGS, TO 12" MIN. EACH SIDE. NO SPLICES ALLOWED BELOW POINT LOADS. SEE NAILING SCHEDULE AND SECTIONS FOR ADDITIONAL INFORMATION.
- GIRDER TRUSS TO BEAR DIRECTLY ON STUD AND NOT ON LEDGER
- AT ENDS OF ALL BUILDING TRUSSES (SECTIONS) USE SIMPSON H1 OR EQUAL.
- IF ALTERNATE TRUSS TO WALL CONNECTOR IS SPECIFIED BY TRUSS SUPPLIER THE ALTERNATE CONNECTOR SHALL MEET THE MINIMUM CAPACITIES OF SPECIFIED CONNECTOR IN ALL DIRECTIONS.

### COLUMNS:

- C2 - (2) 2x6 - MATCH GRADE OF WALL, UNLESS NOTED OTHERWISE
- C3 - (3) 2x6 - MATCH GRADE OF WALL, UNLESS NOTED OTHERWISE
- C4 - (4) 2x6 - MATCH GRADE OF WALL

AT "A" = COLUMN EXTENDS FROM TOP OF HEADER TO TRUSS ABOVE

### HEADER SCHEDULE

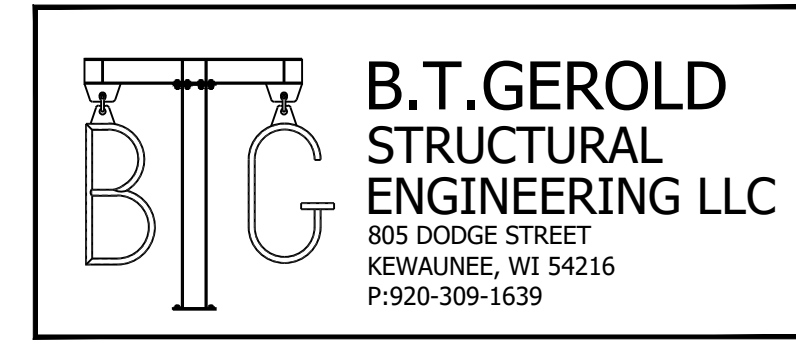
Mark	HEADER / BEAM	ANCHORAGE	BEARING STUDS	KING STUDS	NOTES
H1	(2) 1-3/4"x9-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	2	-
H2	(2) SPF No1/No2 2x10	2 ROWS 12d @ 12" O.C.	1	3	-
H3	(2) 1-3/4"x9-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H4	(2) 1-3/4"x11-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H5	(2) SPF No1/No2 2x12	2 ROWS 12d @ 12" O.C.	2	2	-
H6	(2) 1-3/4"x11 7/8" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H7	(3) SPF No1/No2 2x12	2 ROWS 12d @ 12" O.C.	2	2	-
H8	(2) SPF 2x8	2 ROWS 12d @ 12" O.C.	1	3	-
H9	(2) SPF 2x10	2 ROWS 12d @ 12" O.C.	2	N/A	1,2

**NOTES:**

- WHERE NOTED, AT EACH END PROVIDE (2) SIMPSON MTS12 TO STUDS BELOW
- AT 6X6, PROVIDE SIMPSON CCO STRAP OR (2) MTS12. AT BASE OF 6X6 PROVIDE SIMPSON ABU66

**TYPICAL HEADER NOTES:**

- AT WALLS FRAMING PERPENDICULARLY INTO WALLS. USE NUMBER OF STUDS EQUAL TO THE NUMBER OF PLIES OF HEADER.
- AT OPENINGS IN INTERIOR WALLS WITH OUT SCHEDULED HEADERS PLACE 2 BEARING STUDS AND 1 KING STUD.
- AT OPENINGS IN EXTERIOR WALLS WITHOUT SCHEDULED HEADERS PROVIDE 2 BEARING STUDS AND ( 1/2 + 1 ) THE NUMBER OF KING STUDS OMITTED FOR KING STUDS.
- BEARING STUDS SHALL BE CONTINUOUS TO THE FOUNDATION OR HEADER BELOW. PROVIDE BLOCKING AND SQUASH BLOCKS AS REQUIRED.
- 2x SQUASH BLOCKING AT ALL FIRST FLOOR HEADERS TO FULL WALL WIDTH AT BEARING LOCATIONS WITH BEARING STUDS DIRECTLY ABOVE.
- DECK FRAMING IS PRESSURE TREATED LUMBER. ALL FASTENERS AND HARDWARE TO BE COMPATIBLE WITH TREATMENT. (GALVANIZED, STAINLESS, OR MANUFACTURER'S APPROVED COATING)
- ALL KING STUDS TO EXTEND TO DOUBLE TOP PLATE.

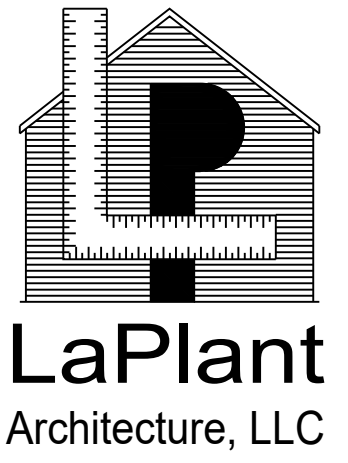


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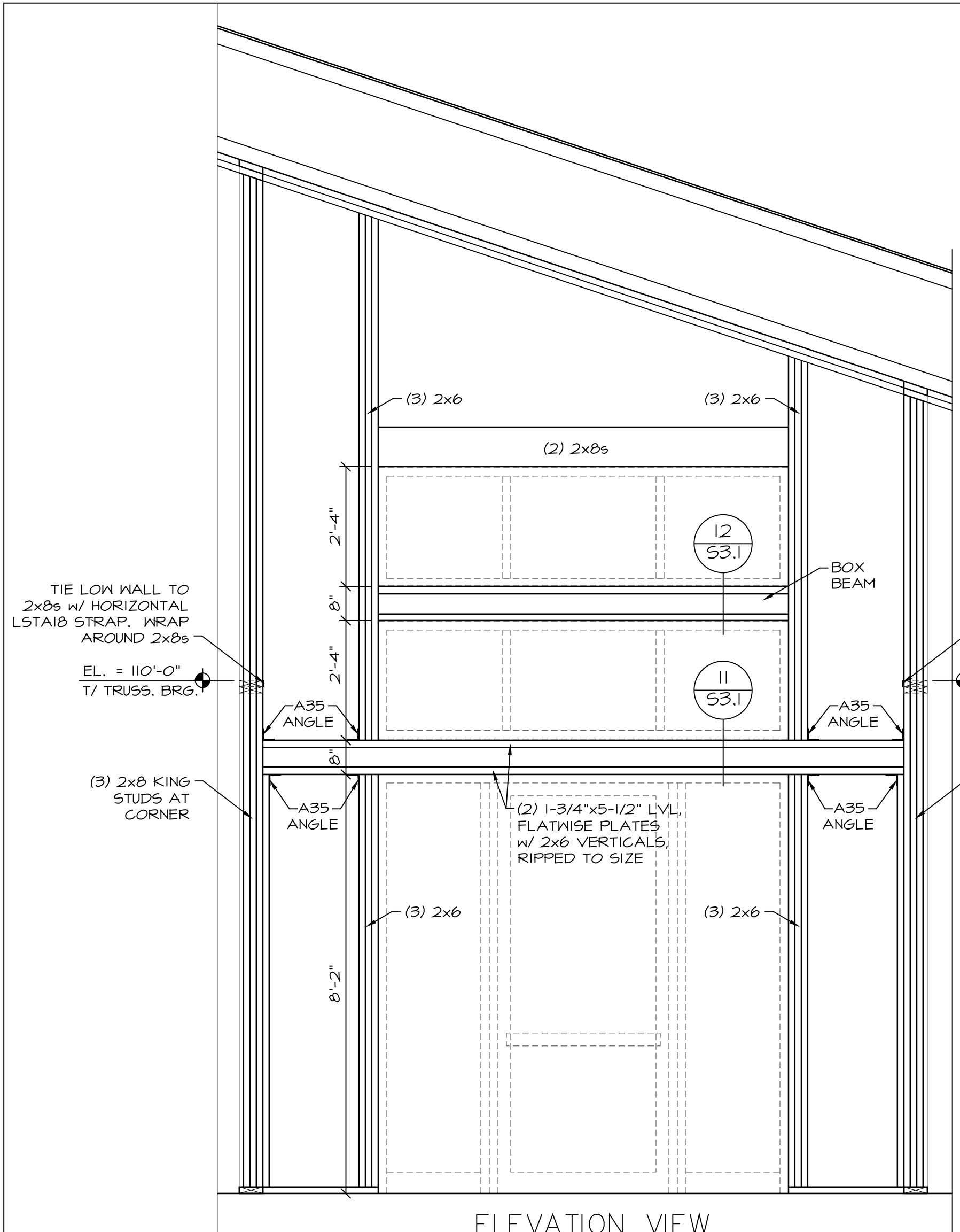
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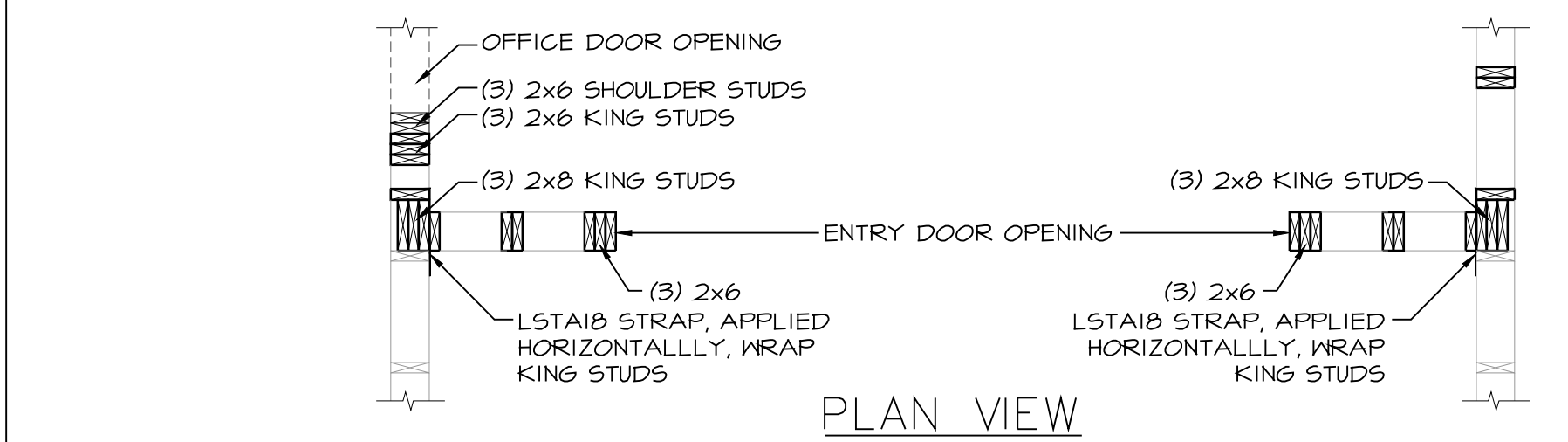
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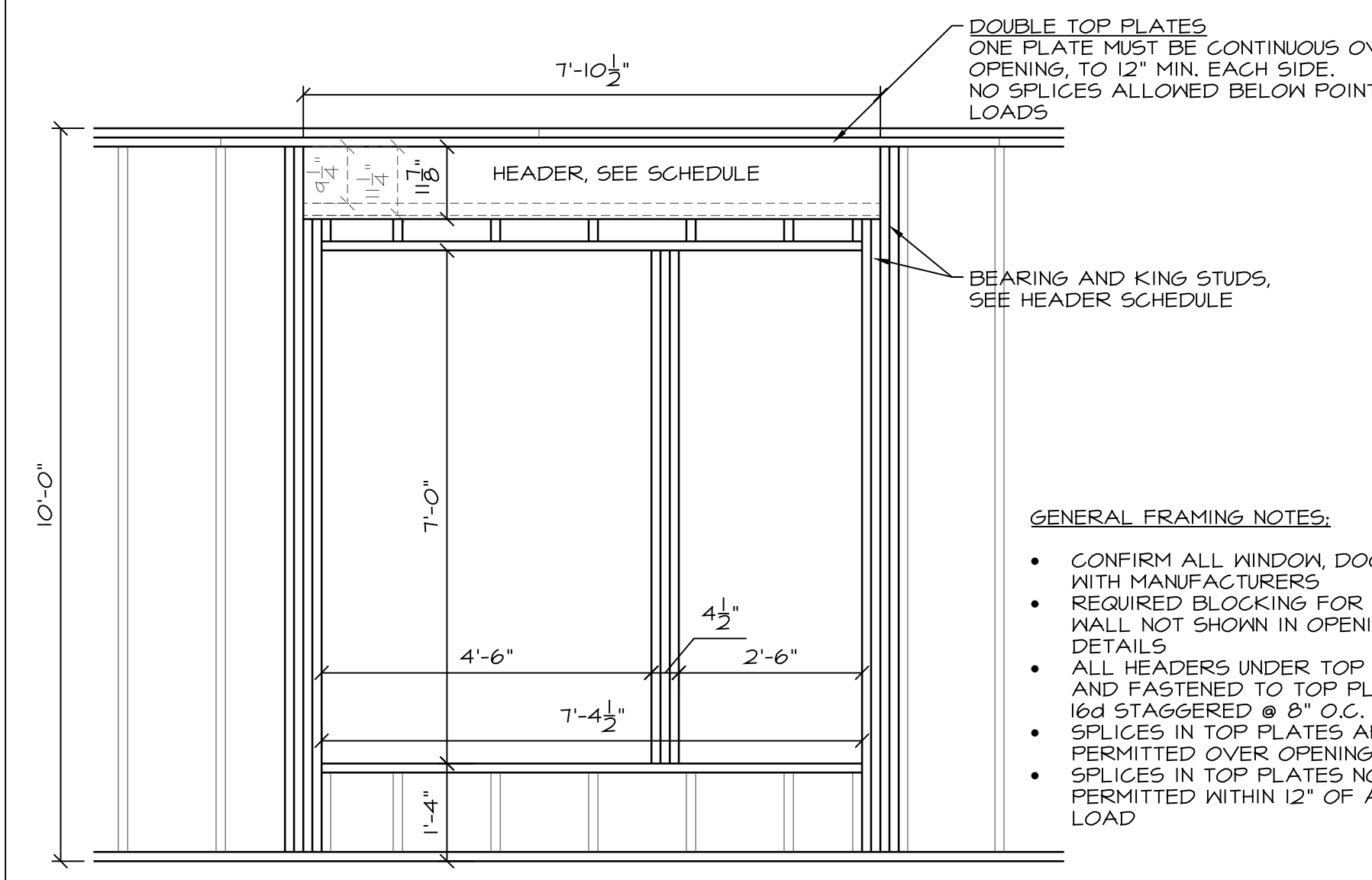


ELEVATION VIEW



PLAN VIEW

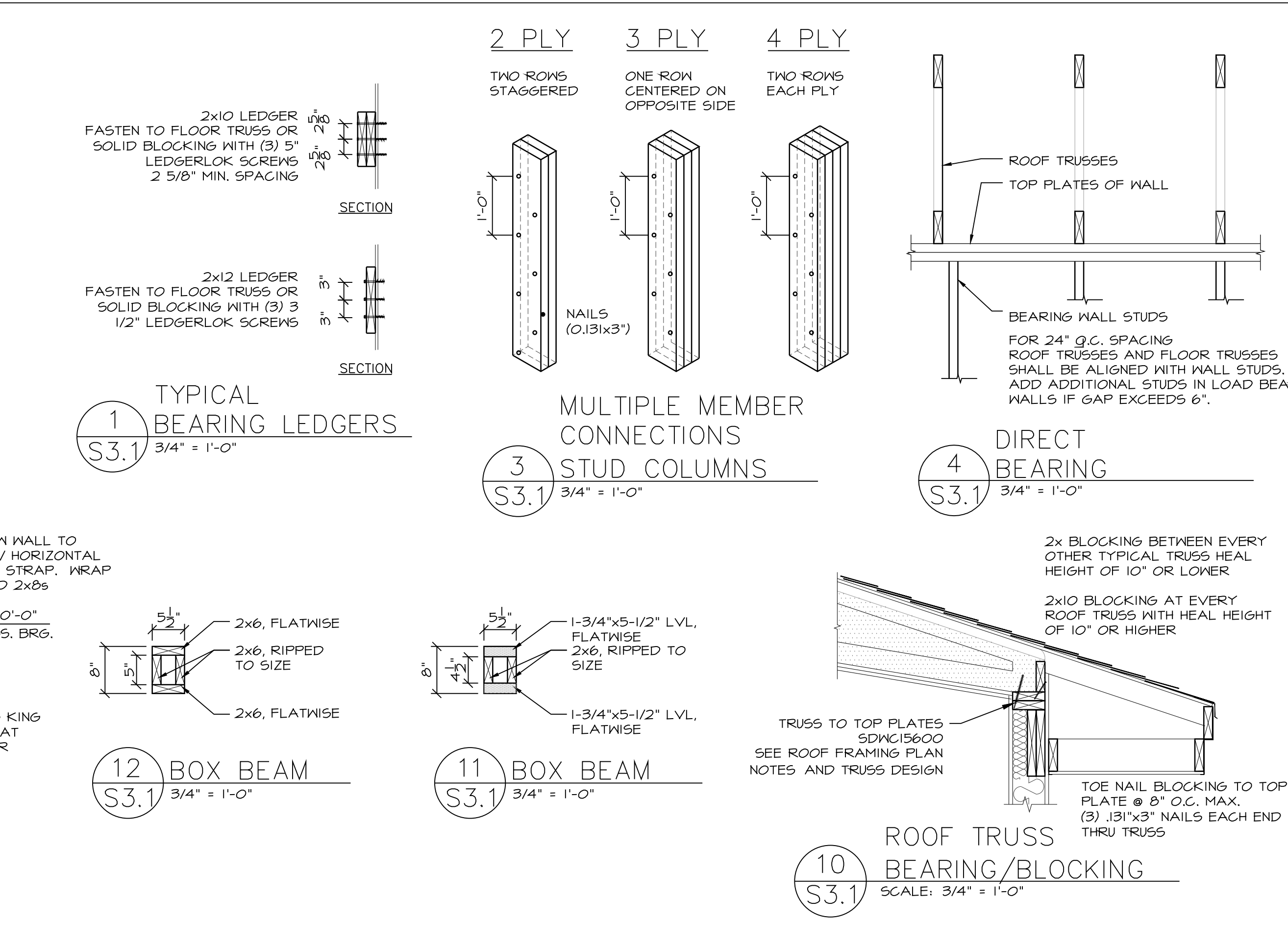
A FRAMING AT ENTRY DOOR  
S3.1 SCALE: 1/2" = 1'-0"



B TYPICAL HEADER @ WINDOW  
S3.1 SCALE: 1/2" = 1'-0"

GENERAL FRAMING NOTES:

- CONFIRM ALL WINDOW, DOOR SIZES WITH MANUFACTURERS
- REQUIRED BLOCKING FOR SHEAR WALL NOT SHOWN IN OPENING DETAILS
- ALL HEADERS UNDER TOP PLATE AND FASTENED TO TOP PLATES WITH 16d STAGGERED @ 8" O.C.
- SPLICES IN TOP PLATES ARE NOT PERMITTED OVER OPENING
- SPLICES IN TOP PLATES NOT PERMITTED WITHIN 12" OF A POINT LOAD



1 TYPICAL BEARING LEDGERS  
S3.1 3/4" = 1'-0"

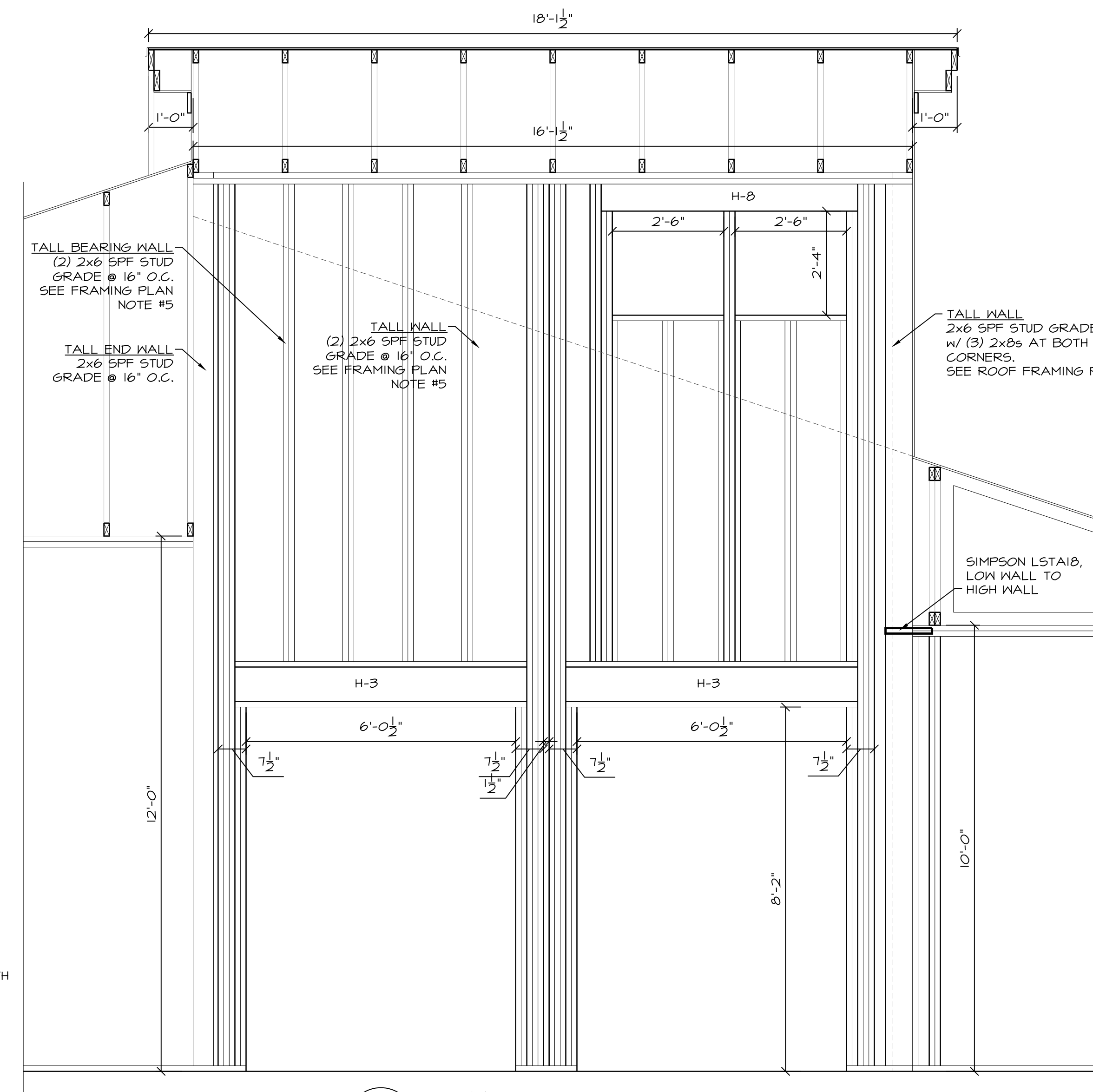
3 MULTIPLE MEMBER CONNECTIONS STUD COLUMNS  
S3.1 3/4" = 1'-0"

4 DIRECT BEARING  
S3.1 3/4" = 1'-0"

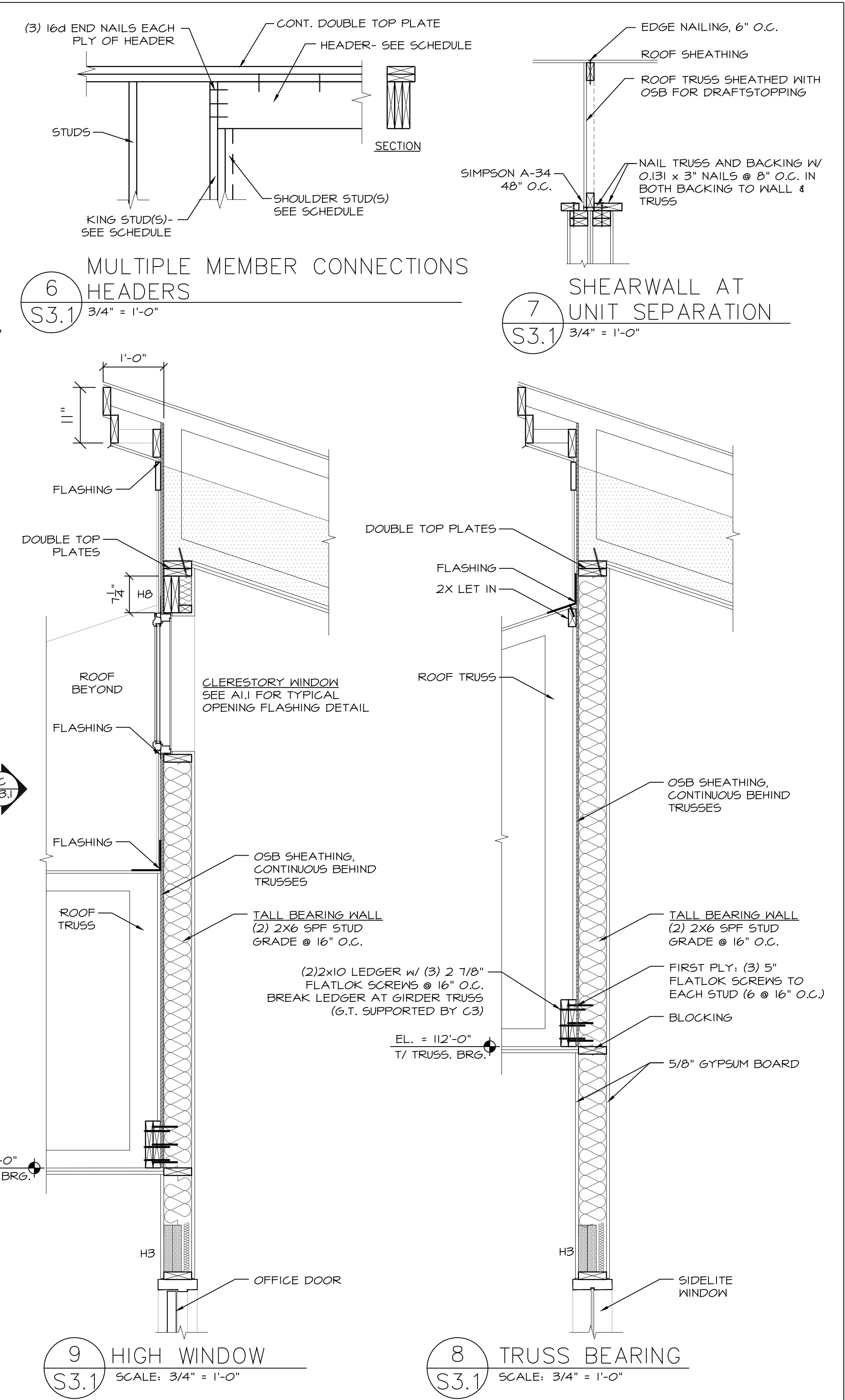
10 ROOF TRUSS BEARING/BLOCKING  
S3.1 SCALE: 3/4" = 1'-0"

12 BOX BEAM  
S3.1 3/4" = 1'-0"

11 BOX BEAM  
S3.1 3/4" = 1'-0"



C FRAMING @ HIGH WINDOW  
S3.1 SCALE: 1/2" = 1'-0"



6 MULTIPLE MEMBER CONNECTIONS HEADERS  
S3.1 3/4" = 1'-0"

7 SHEARWALL AT UNIT SEPARATION  
S3.1 3/4" = 1'-0"

9 HIGH WINDOW  
S3.1 SCALE: 3/4" = 1'-0"

8 TRUSS BEARING  
S3.1 SCALE: 3/4" = 1'-0"

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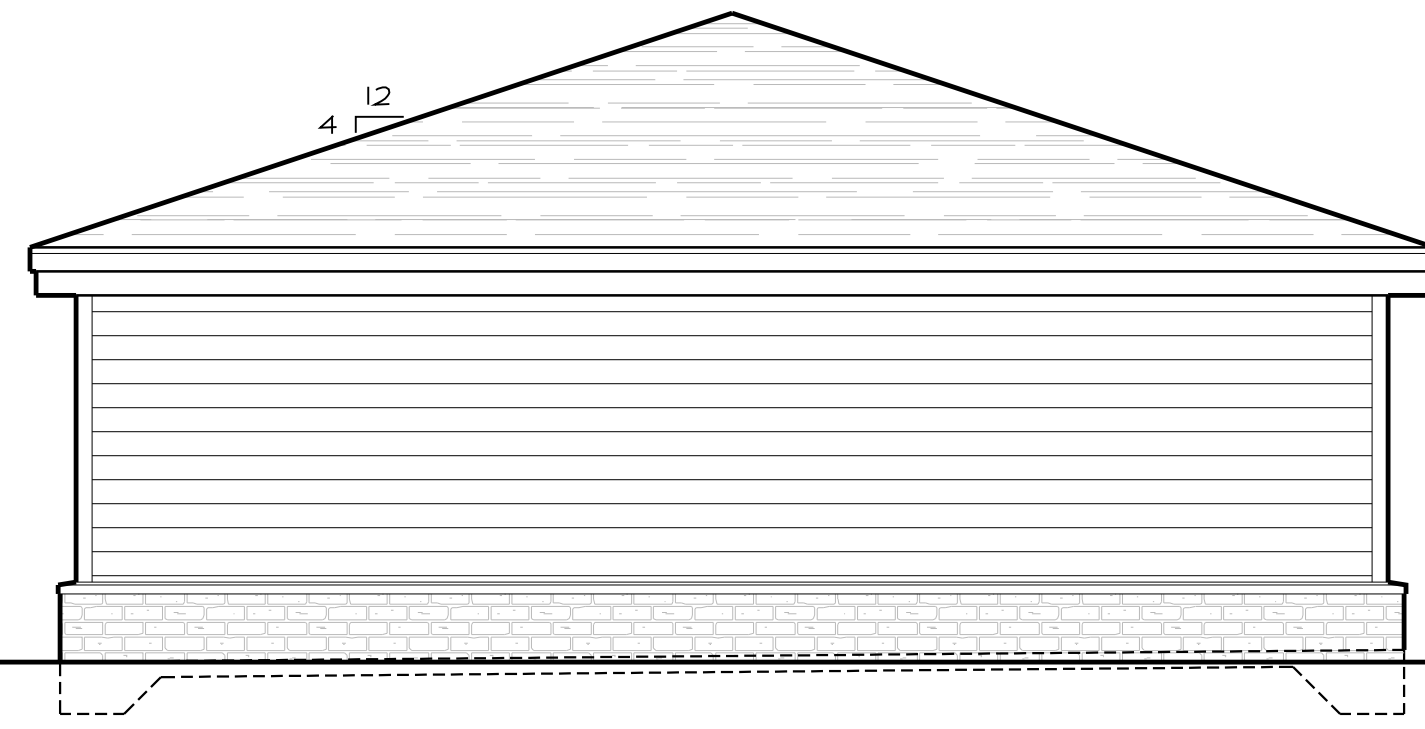
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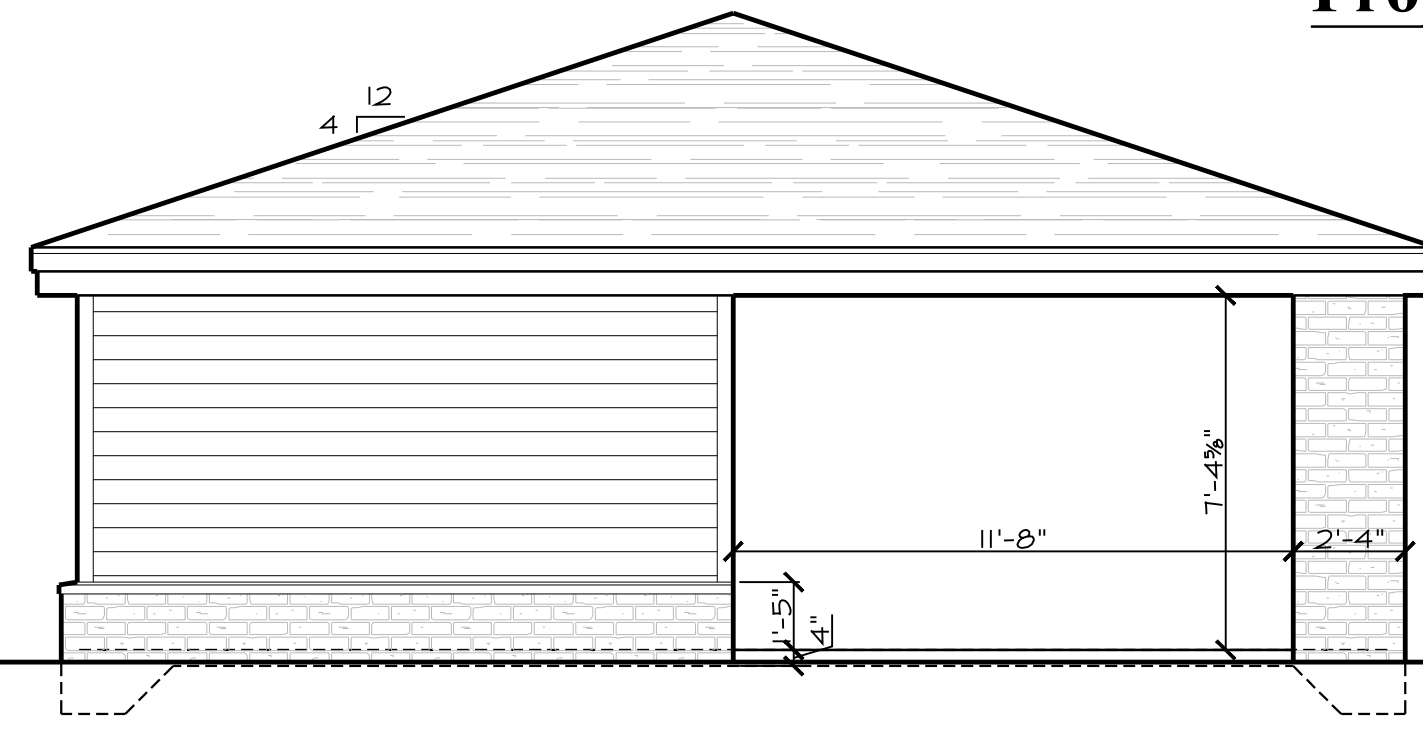
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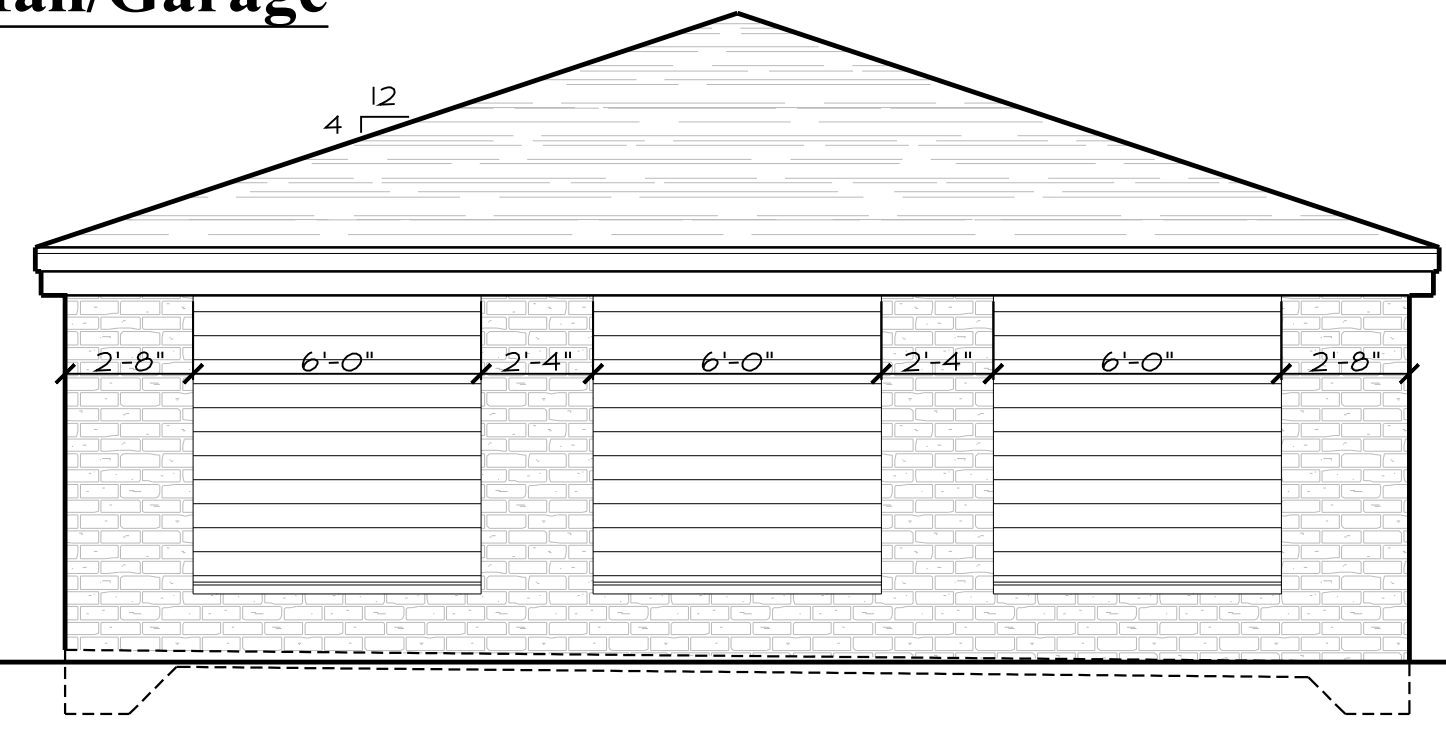
**Proposed Mail/Garage**



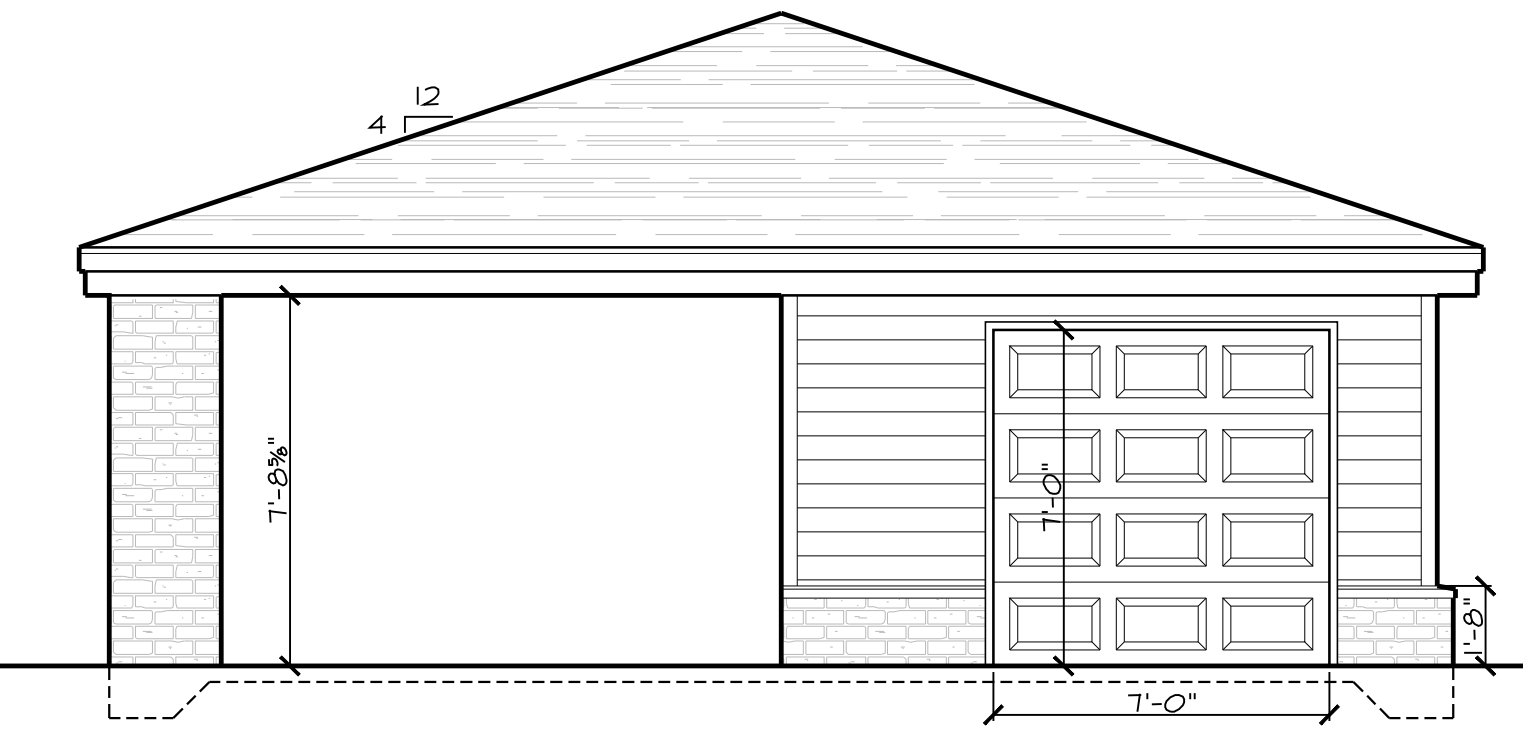
WEST ELEVATION  
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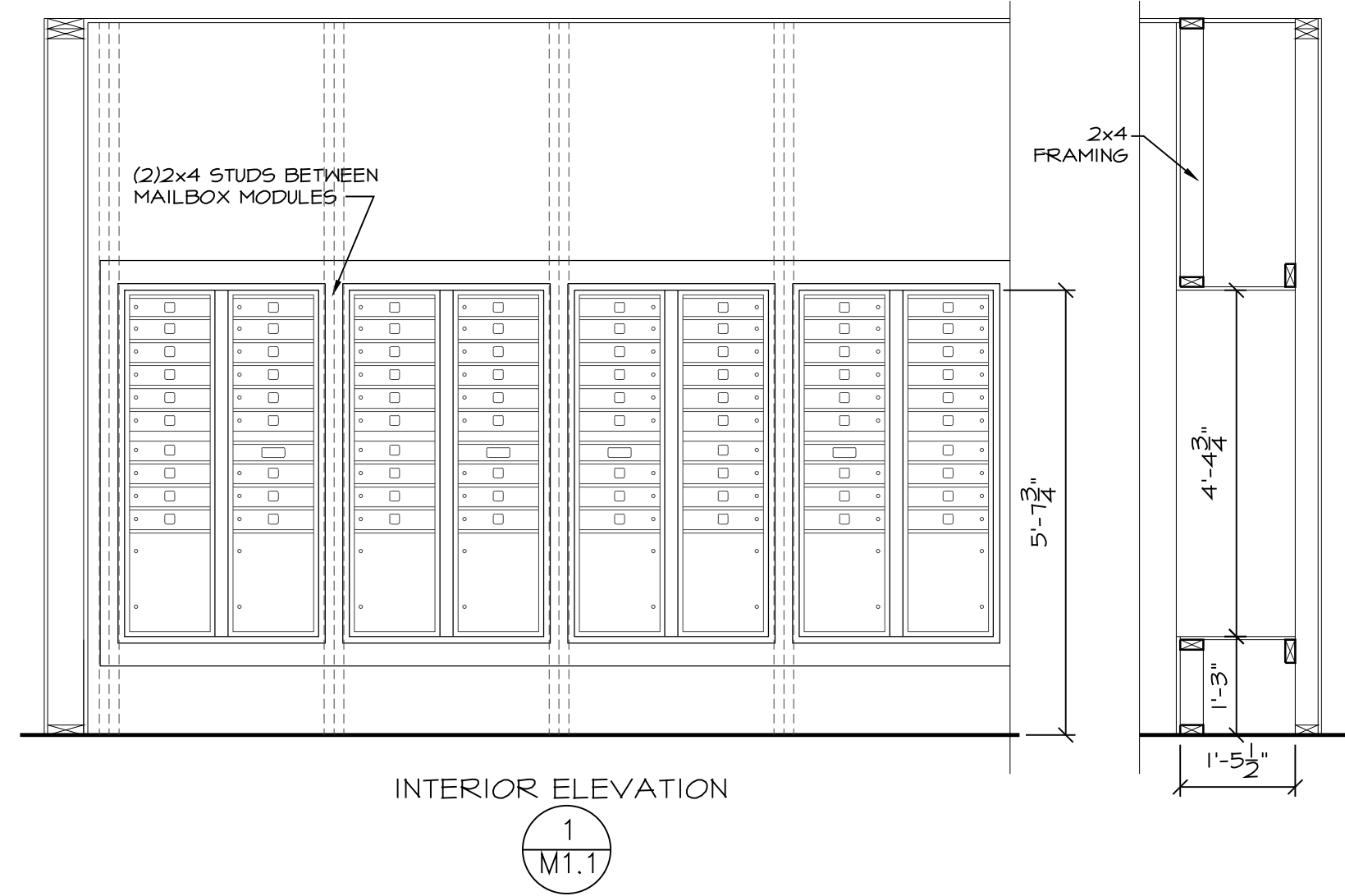
SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



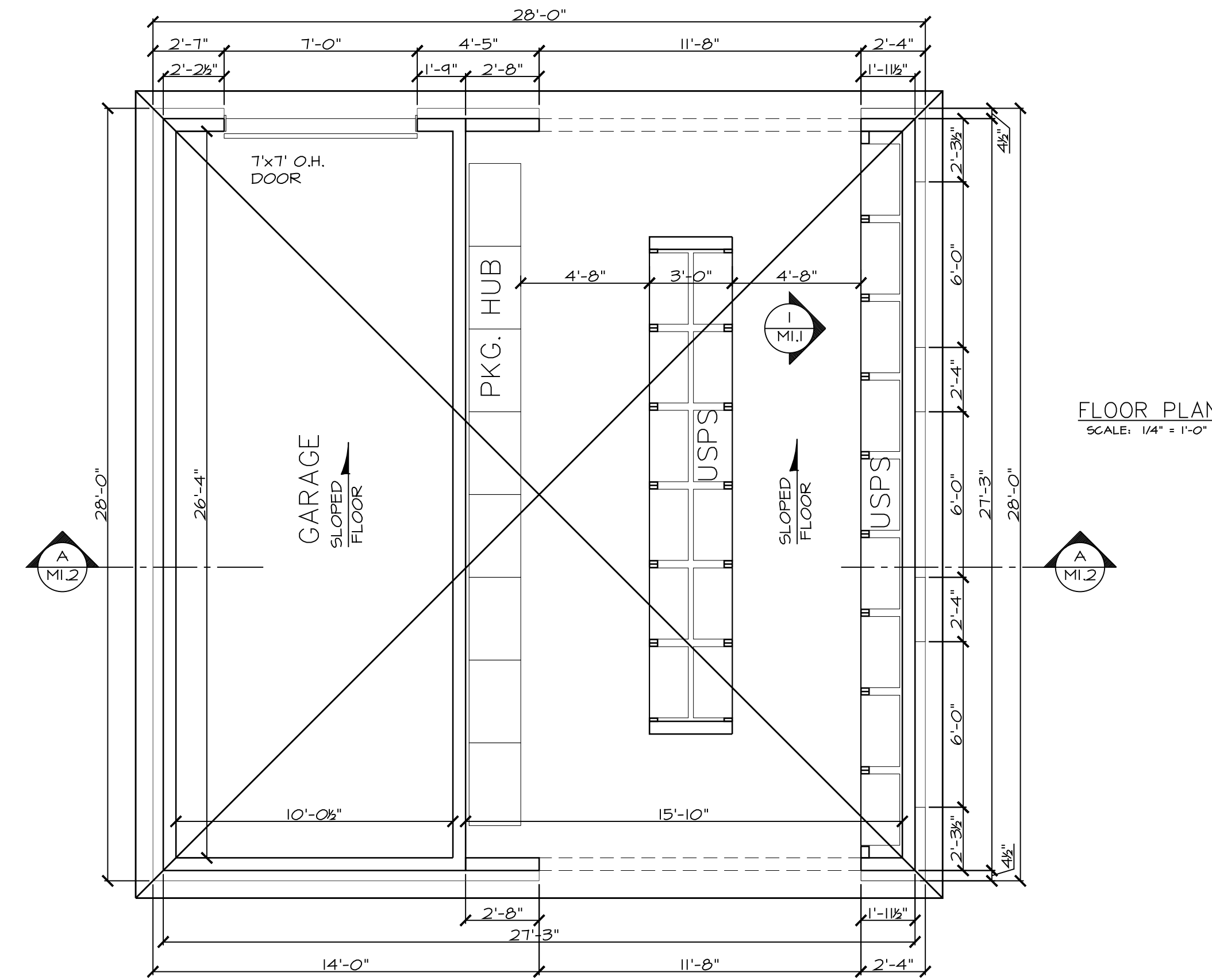
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



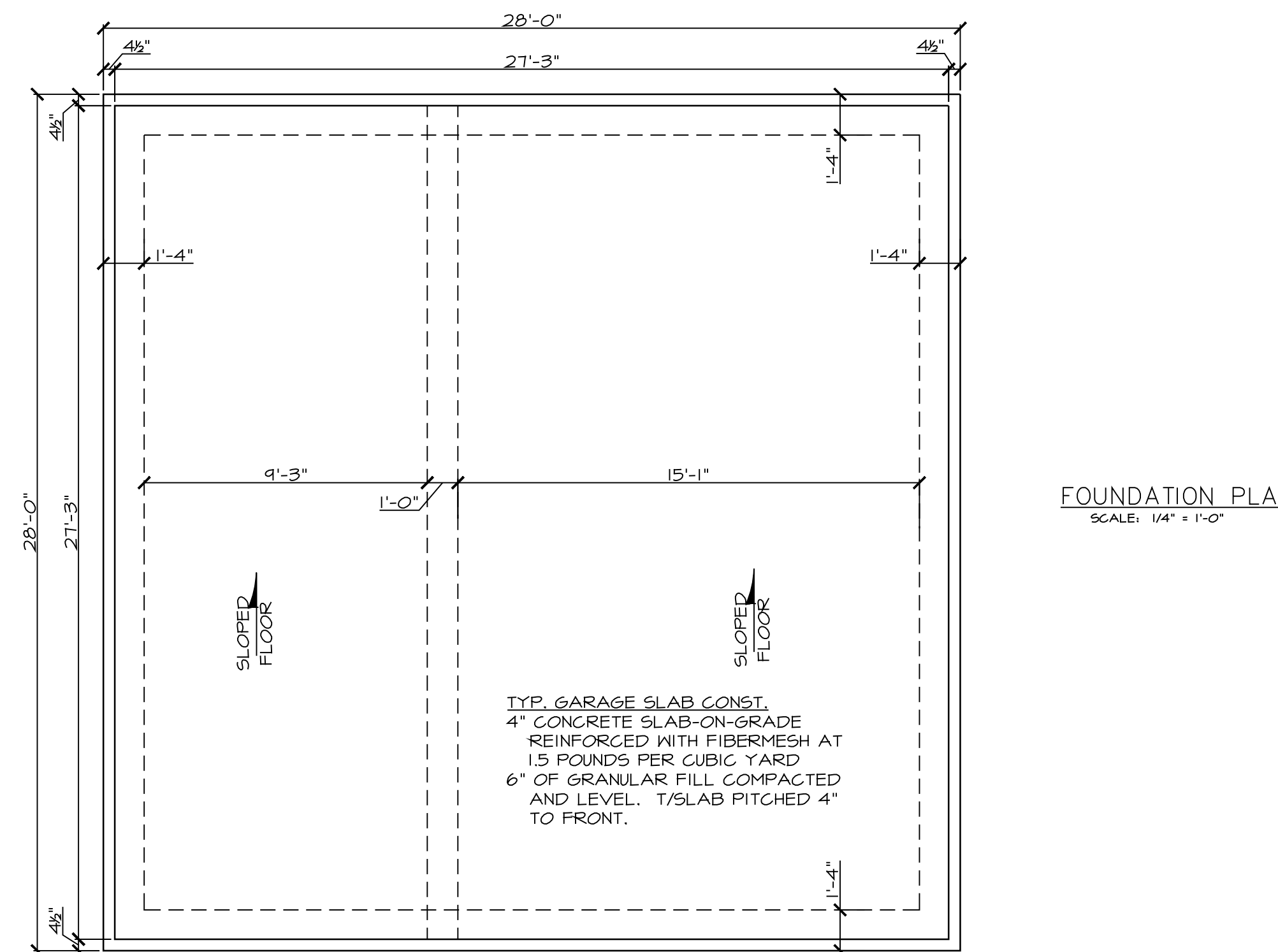
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



INTERIOR ELEVATION  
MT.1



FLOOR PLAN  
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

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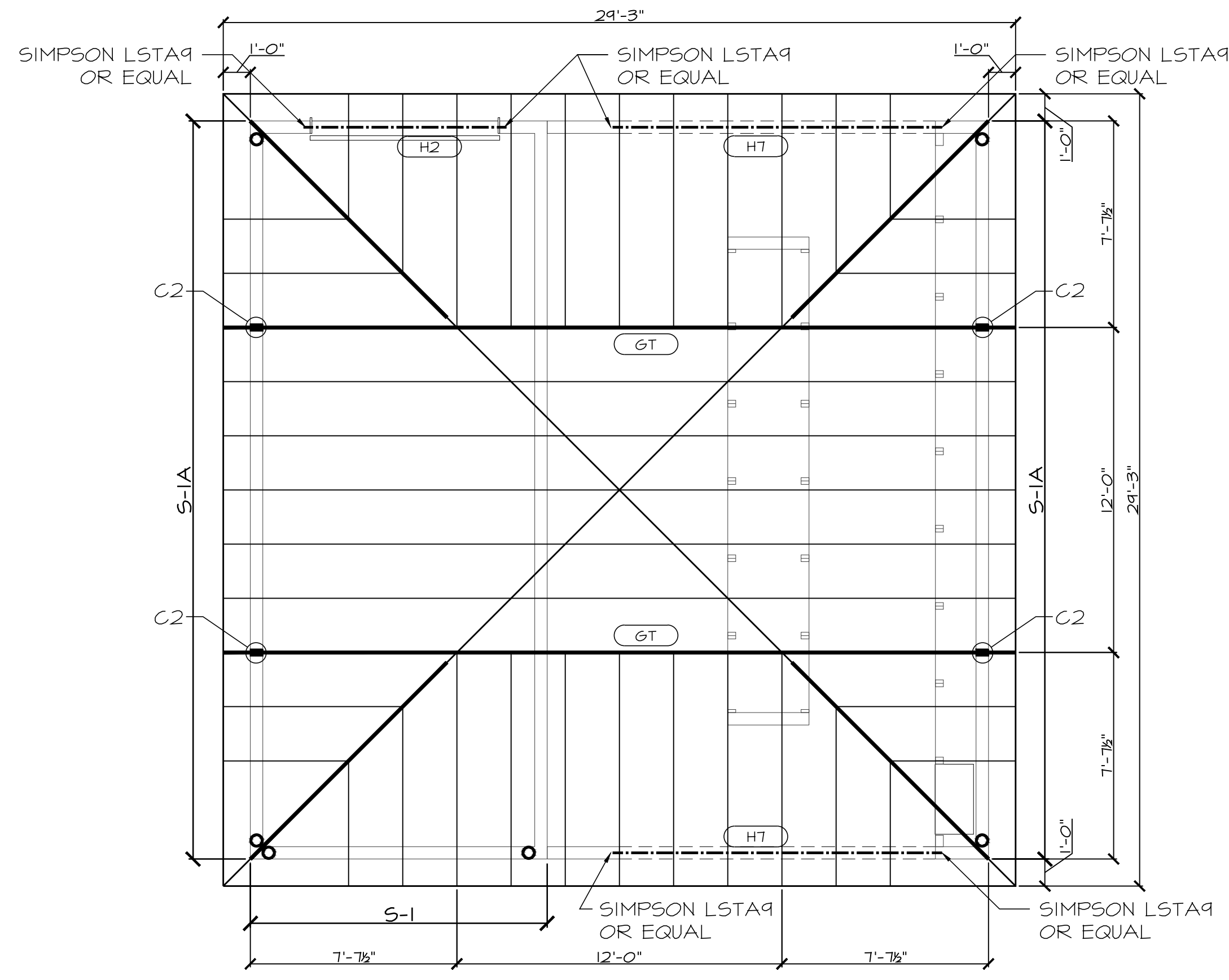
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### Proposed Mail/Garage



ROOF PLAN  
SCALE: 1/4" = 1'-0"

DIMENSIONAL SHINGLES,  
15# BUILDING PAPER,  
7/16" OSB SHEATHING w/8d NAILS AT 6" O.C. AT ALL EDGES AND 12" O.C. IN FIELD, EDGES SUPPORTED BY "H" CLIPS  
ROOF TRUSSES @ 24" O.C.

(2) SIMPSON SDWC 15600 SCREWS  
PER STUD/TRUSS

ALUMINUM DRIP EDGE, FASCIA &  
VENTED SOFFIT  
(2) 2x6 SUBFASCIAS

GARAGE HEADER- SEE ROOF PLAN

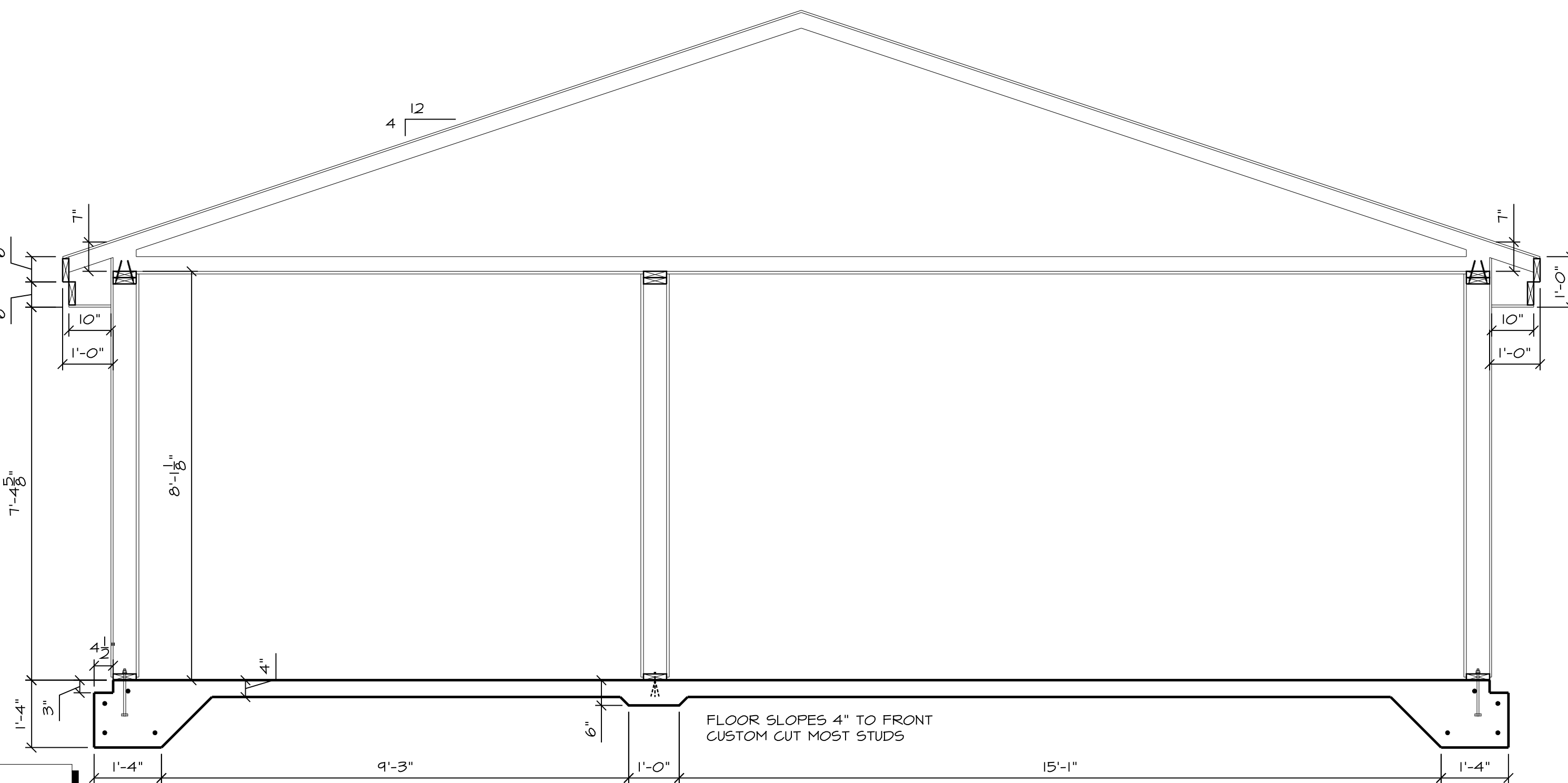
7/16" OSB SHEATHING ONE SIDE  
w/8d NAILS AT 6" O.C. AT ALL  
EDGES AND 12" O.C. IN FIELD  
(TYPICAL ALL EXTERIOR AND  
INTERIOR WALLS)  
2 x 6 STUDS @ 24" O.C.

● GARAGE DOOR WALL - (3) PLATES  
ACCOMMODATE 4" PITCH IN FLOOR

1/2" ANCHOR BOLTS @ 48" O.C.

(2) #4 x CONTINUOUS AT TOP AND  
BOTTOM

TYP. GARAGE SLAB CONST.  
4" CONCRETE SLAB-ON-GRADE REINFORCED WITH  
FIBERMESH AT 1.5 POUNDS PER CUBIC YARD  
6" OF GRANULAR FILL COMPACTED AND LEVEL.  
T/SLAB PITCHED 4" TO FRONT.



A BUILDING SECTION  
SCALE: 1/2" = 1'-0"

#### SHEAR WALL SCHEDULE

MARK	SHEATHING	PANEL ANCHORAGE	HOLD-DOWN / STRAP	MIN END MEMBER	MIN HOLD DOWN ANCHOR	INTERMEDIATE ANCHORAGE, SPACING	NOTES
S1	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON DTT2Z-SDS2.5 (8) 1/4" x 2 1/2" SDS SCREWS	0'-3"	1/2" φ	1/2" φ @ 48" O.C.	1,3
S2	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 3" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON HTT4 (OR EQUAL) 18-10d x 1-1/2" NAILS	0'-3"	5/8" φ	5/8" φ @ 48" O.C.	2
S3	7/16" APA RATED OSB OR 3/8" (min) APA RATED PLYWOOD (ONE SIDE)	8d (0.131") COMMON NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. AT INTERMEDIATE SUPPORTS	SIMPSON DTT2Z-SDS2.5 (8) 1/4" x 2 1/2" SDS SCREWS	0'-3"	1/2" φ	1/2" φ @ 24" O.C.	

#### NOTES:

- ANCHORS MAY BE CAST IN PLACE OR 1/2" TITEN HD ANCHORS WITH 4" EMBED AND 2.75" EDGE DISTANCE
- CAST IN PLACE ANCHORS OR - HOLD DOWN ANCHOR SHALL BE 5/8" TITEN HD ANCHORS WITH 4.5" EMBEDMENT IN 10" WALL. TYPICAL ANCHORS 5/8" TITEN HD 4.5" EMBED IN 5.5" STEM WALL
- BLOCKING AT PANEL EDGES NOT REQUIRED AT "A"
- STANDARD CUT WASHERS PERMITTED AT ANCHOR BOLTS

#### TYPICAL SHEAR WALL NOTES:

- FOR SHEAR WALL SCHEDULE SEE ABOVE. SEE TYPICAL SHEAR WALL ELEVATION AND LOCATIONS ON PLANS.
- ALL SHEAR WALLS UTILIZING WOOD OR GYPSUM SHEATHING SHALL HAVE BLOCKING ON ALL EDGES UNLESS NOTED OTHERWISE IN SHEATHING DESIGNATION.
- INDIVIDUAL PIECES OF WOOD STRUCTURAL PANEL SHALL BE NOT LESS THEN 2'-0" IN LEAST DIMENSION NOR 8'-0" IN AREA
- RE-TIGHTEN BOLTS BEFORE CLOSING
- LOCATE ALL SHEAR WALL PANEL JOINTS ON CENTERLINE OF BLOCKING OR STUDS.
- IF PANEL EDGE NAILING IS GREATER THAN 3" A SINGLE 2X STUD OR BLOCKING MEMBER IS PERMITTED.
- ALIGN TRUSSES AND STUDS IN ALL CASES, UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AT ALL JAMB, KING STUDS, AND POST BETWEEN FLOORS
- PROVIDE FURRING OR BACKING OF THICKNESS AS REQUIRED TO MAINTAIN A COMMON WALL PLANE AT ALL WOOD STUD WALL SURFACES WHICH ARE ONLY PARTIALLY SHEATHED WITH WOOD STRUCTURAL PANEL COORDINATE AND ADJUST HEAD, JAMB AND SILL DETAILS AS REQUIRED FOR PROPER OVERALL WALL THICKNESS.
- ANCHOR BOLTS, FASTENERS, WASHERS, NUTS, CONNECTORS IN CONTACT WITH TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR OTHER APPROVED COATING.
- FOUNDATION ANCHOR BOLTS SHALL HAVE A STEEL PLATE WASHER UNDER EACH NUT NOT LESS THAN 0.229"x3"x3" IN SIZE, UNLESS NOTED OTHERWISE.

#### ROOF FRAMING PLAN NOTES

- JOIST BEARING ELEVATION AS NOTED ON SECTIONS.
- PROVIDE 1/2" (15/32) 24/0 APA RATED SHEATHING. NAIL WITH 0.131"x2-1/2" OR 8d COMMON NAILS AT 6" O.C. AT SUPPORTED EDGES, AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- DESIGN TRUSSES FOR LOADS INDICATED ON THE STRUCTURAL NOTES ALSO DESIGN FOR DRIFT LOAD INDICATED ON THE PLANS.
- WHERE NOTED, AND ALL EXTERIOR WOOD BEARING WALLS SHALL BE SPF 2x6 STUD GRADE @ 16" O.C. PROVIDE DOUBLE TOP PLATE, AND SINGLE BOTTOM PLATE. ONE OF THE TOP PLATE MUST BE CONTINUOUS OVER OPENINGS, TO 12" MIN. EACH SIDE. NO SPLICES ALLOWED BELOW POINT LOADS. SEE NAILING SCHEDULE AND SECTIONS FOR ADDITIONAL INFORMATION.
- TALL WALL TO BE SPF (2) 2x6 STUD GRADE @ 16" O.C. PROVIDE DOUBLE TOP PLATE, AND SINGLE BOTTOM PLATE. ONE OF THE TOP PLATE MUST BE CONTINUOUS OVER OPENINGS, TO 12" MIN. EACH SIDE. NO SPLICES ALLOWED BELOW POINT LOADS. SEE NAILING SCHEDULE AND SECTIONS FOR ADDITIONAL INFORMATION.
- GIRDER TRUSS TO BEAR DIRECTLY ON STUD AND NOT ON LEDGER
- AT ENDS OF ALL BUILDING TRUSSES (SECTIONS) USE SIMPSON H1 OR EQUAL.
- IF ALTERNATE TRUSS TO WALL CONNECTOR IS SPECIFIED BY TRUSS SUPPLIER THE ALTERNATE CONNECTOR SHALL MEET THE MINIMUM CAPACITIES OF SPECIFIED CONNECTOR IN ALL DIRECTIONS.

#### COLUMNS:

- C2 - (2) 2x6 - MATCH GRADE OF WALL, UNLESS NOTED OTHERWISE
  - C3 - (3) 2x6 - MATCH GRADE OF WALL, UNLESS NOTED OTHERWISE
  - C4 - (4) 2x6 - MATCH GRADE OF WALL
- AT "A" = COLUMN EXTENDS FROM TOP OF HEADER TO TRUSS ABOVE

#### HEADER SCHEDULE

Mark	HEADER / BEAM	ANCHORAGE	BEARING STUDS	KING STUDS	NOTES
H1	(2) 1-3/4"x9-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	2	-
H2	(2) SPF No1/No2 2x10	2 ROWS 12d @ 12" O.C.	1	3	-
H3	(2) 1-3/4"x9-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H4	(2) 1-3/4"x11-1/4" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H5	(2) SPF No1/No2 2x12	2 ROWS 12d @ 12" O.C.	2	2	-
H6	(2) 1-3/4"x11 7/8" 1.9E, 2600 Fb LVL	2 ROWS 12d @ 12" O.C.	2	3	-
H7	(3) SPF No1/No2 2x12	2 ROWS 12d @ 12" O.C.	2	2	-
H8	(2) SPF 2x8	2 ROWS 12d @ 12" O.C.	1	3	-
H9	(2) SPF 2x10	2 ROWS 12d @ 12" O.C.	2	N/A	1, 2

#### NOTES:

- WHERE NOTED, AT EACH END PROVIDE (2) SIMPSON MTS12 TO STUDS BELOW
- AT 6x6, PROVIDE SIMPSON CCG STRAP OR (2) MTS12. AT BASE OF 6x6 PROVIDE SIMPSON ABU66

#### TYPICAL HEADER NOTES:

- AT WALLS FRAMING PERPENDICULARLY INTO WALLS, USE NUMBER OF STUDS EQUAL TO THE NUMBER OF PLIES OF HEADER.
- AT OPENINGS IN INTERIOR WALLS WITH OUT SCHEDULED HEADERS PLACE 2 BEARING STUDS AND 1 KING STUD.
- AT OPENINGS IN EXTERIOR WALLS WITHOUT SCHEDULED HEADERS PROVIDE 2 BEARING STUDS AND ( 1/2 + 1 ) THE NUMBER OF KING STUDS OMITTED FOR KING STUDS.
- BEARING STUDS SHALL BE CONTINUOUS TO THE FOUNDATION OR HEADER BELOW. PROVIDE BLOCKING AND SQUASH BLOCKS AS REQUIRED.
- 2x SQUASH BLOCKING AT ALL FIRST FLOOR HEADERS TO FULL WALL WIDTH AT BEARING LOCATIONS WITH BEARING STUDS DIRECTLY ABOVE.
- DECK FRAMING IS PRESSURE TREATED LUMBER. ALL FASTENERS AND HARDWARE TO BE COMPATIBLE WITH TREATMENT. (GALVANIZED, STAINLESS, OR MANUFACTURER'S APPROVED COATING)
- ALL KING STUDS TO EXTEND TO DOUBLE TOP PLATE.

**B.T. GEROLD STRUCTURAL ENGINEERING LLC**  
805 DODGE STREET  
KEWAUNEE, WI 54216  
P:920-309-1639

**PDK Investments, LLC**  
Clubhouse Building  
Arvada Hobart, Wisconsin

**LaPlant Architecture, LLC**  
926 WILLARD DRIVE  
GREEN BAY, WISCONSIN  
MAILING: 1592 RUSTIC WAY  
GREEN BAY, WISCONSIN 54313  
Telephone: (920) 737-9769











REVISION DATE  
x xx

DATE 10/06/2023  
PROJECT NO. 381403  
SHEET **M 1.2**

PRELIMINARY - NOT FOR CONSTRUCTION

Part of Brown County WI

LEGEND / KEY

-  Parcel Boundary
-  Condominium
-  Gap or Overlap
-  "hooks" indicate parcel ownership crosses a line
-  Parcel line
-  Right of Way line
-  Meander line
-  Lines between deeds or lots
-  Historic Parcel Line
-  Vacated Right of Way

A complete map legend (map key) is available at: [tinyurl.com/BrownDogLegend](http://tinyurl.com/BrownDogLegend)

Map printed 10/12/2023



1:720

1 inch = 60 feet\*

1 inch = 0.0114 miles\*

\*original page size is 8.5" x 11"

*Appropriate format depends on zoom level*

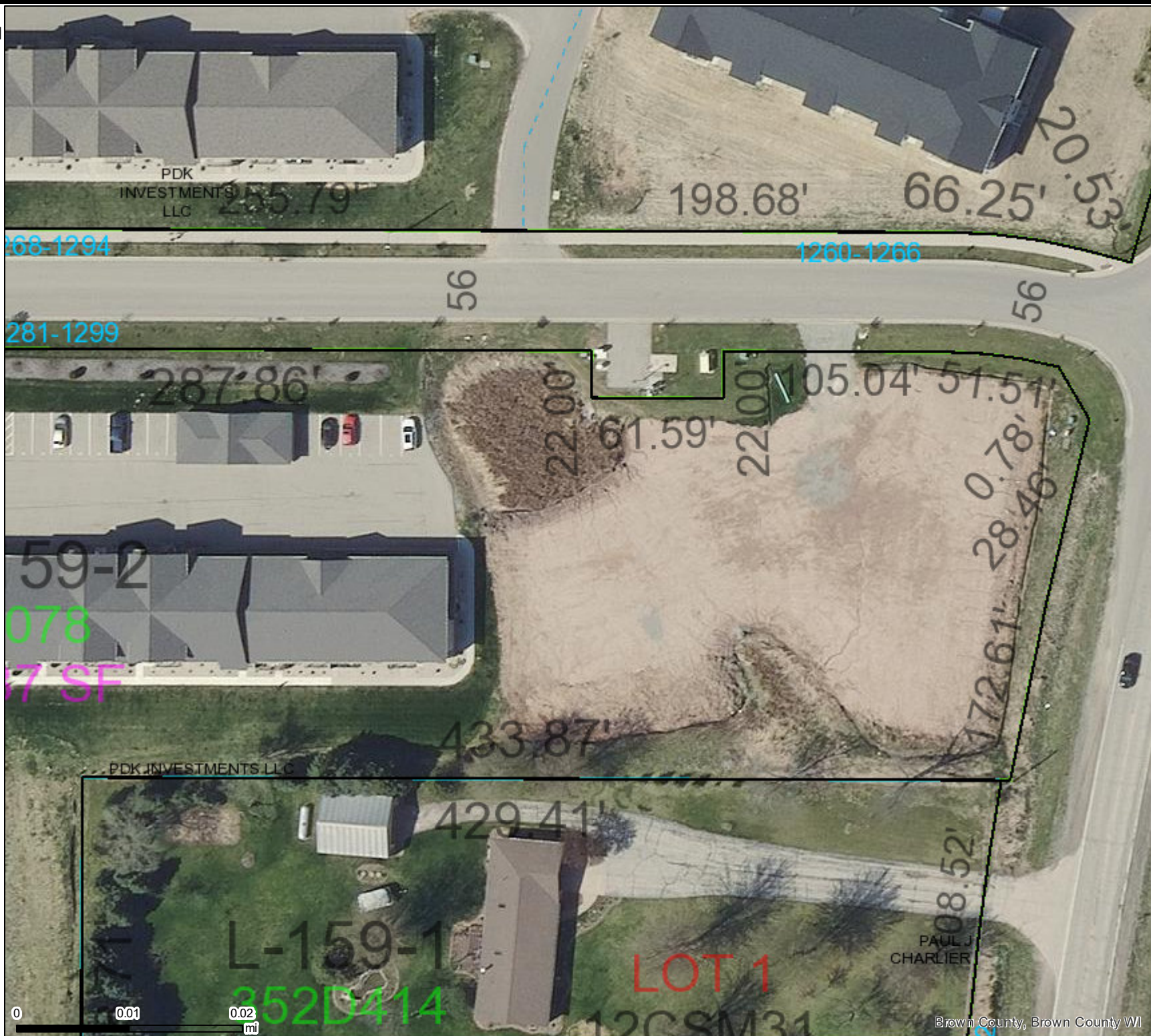
This is a custom web map created by an online user of the GIS map services provided by the

**Brown County Wisconsin Planning & Land Services Department**



(920) 448-6480

[www.browncountywi.gov](http://www.browncountywi.gov)







**TO: Site Review Committee**

**RE: 2703 S. Pine Tree Rd., HB-83-1, Village Fire Station**

**FROM: Todd Gerbers, Director of Planning & Code Compliance**

**DATE: October 18, 2023**

**ISSUE:** Review of light and landscape plans for Fire Station

**RECOMMENDATION:** Staff recommends conditional approval

### **GENERAL INFORMATION**

1. Applicants/Agent: Bayland Buildings
2. Owner: Village of Hobart
3. Parcel: HB-83-1
4. Zoning: PI: Public/Institutional District

### **BACKGROUND**

The Village Fire Station, located at 2703 S. Pine Tree Rd., is under construction and the site plan approval from March 2023 was conditioned upon both the light plan and landscape plan being brought back for review and approval. This request for the review of both the lighting and landscape plans.

### **SITE REVIEW DEVELOPMENT AND DESIGN STANDARDS**

The landscape plan that is attached is for plantings adjacent to the building foundation. Village Staff recommends additional buffer be implemented along the west property line to buffer between this development and the residential properties to the west. Additionally, a minimum 5' landscape area shall be planted around the perimeter of the ground mount sign along S. Pine Tree Rd.

### **RECOMMENDATION/CONDITIONS**

Staff recommends conditional approval of both the lighting and landscape plans as submitted subject to a minimum 5' landscape area shall be planted around the perimeter of the ground mount sign along S. Pine Tree Rd.



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307  
(920) 498-9300 FAX (920) 498-3033  
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED FIRE STATION FOR:  
**HOBART FIRE DEPARTMENT**  
HOBART, WISCONSIN; COUNTY OF: BROWN



COMMENTS

DATE

DRAWN BY : JT  
DATE : 11-9-2022  
SCALE : 1" = 30'

HOBART FIRE DEPARTMENT  
HOBART, WI  
SITE LIGHTING LAYOUT

SCALE VERIFICATION  
THIS BAR MEASURES 1" ON ORIGINAL  
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT  
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO  
COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER  
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED  
DECEMBER 1990 AND KNOWN AS ARCHITECTURAL WORKS  
COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION  
INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL  
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND  
ELEMENTS OF THE DESIGN UNDER SUCH PROTECTION.  
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING  
REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION OF  
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY  
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 21-1946

PROJECT EXECUTIVE: BRIAN PETERS  
(920) 362-7870

DRAWN BY: CMP  
DATE: 11/21/2022

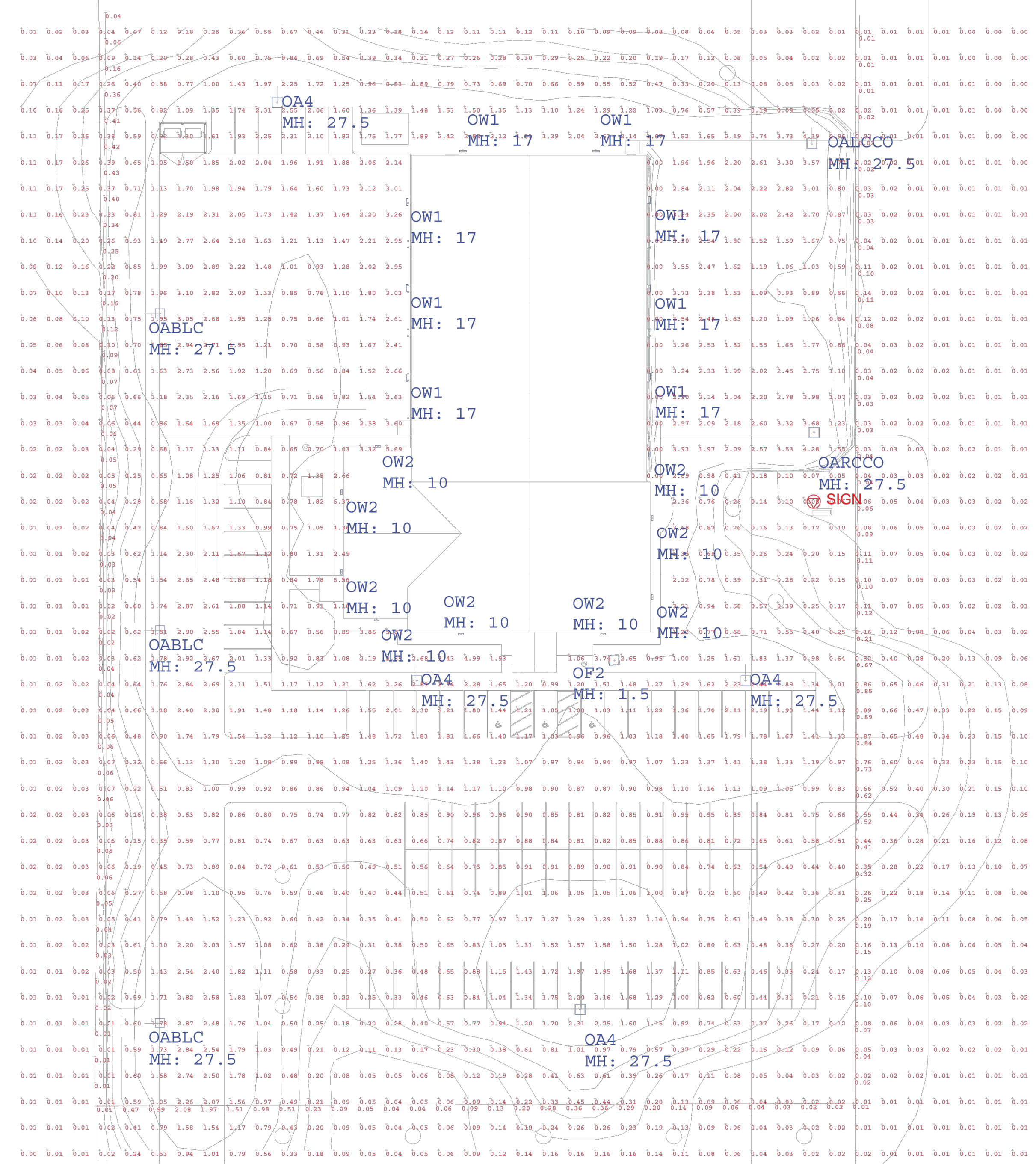
REVISIONS:

ISSUED FOR: CHECKED DATE:  
BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

OVERALL FLOOR PLAN

E5.1



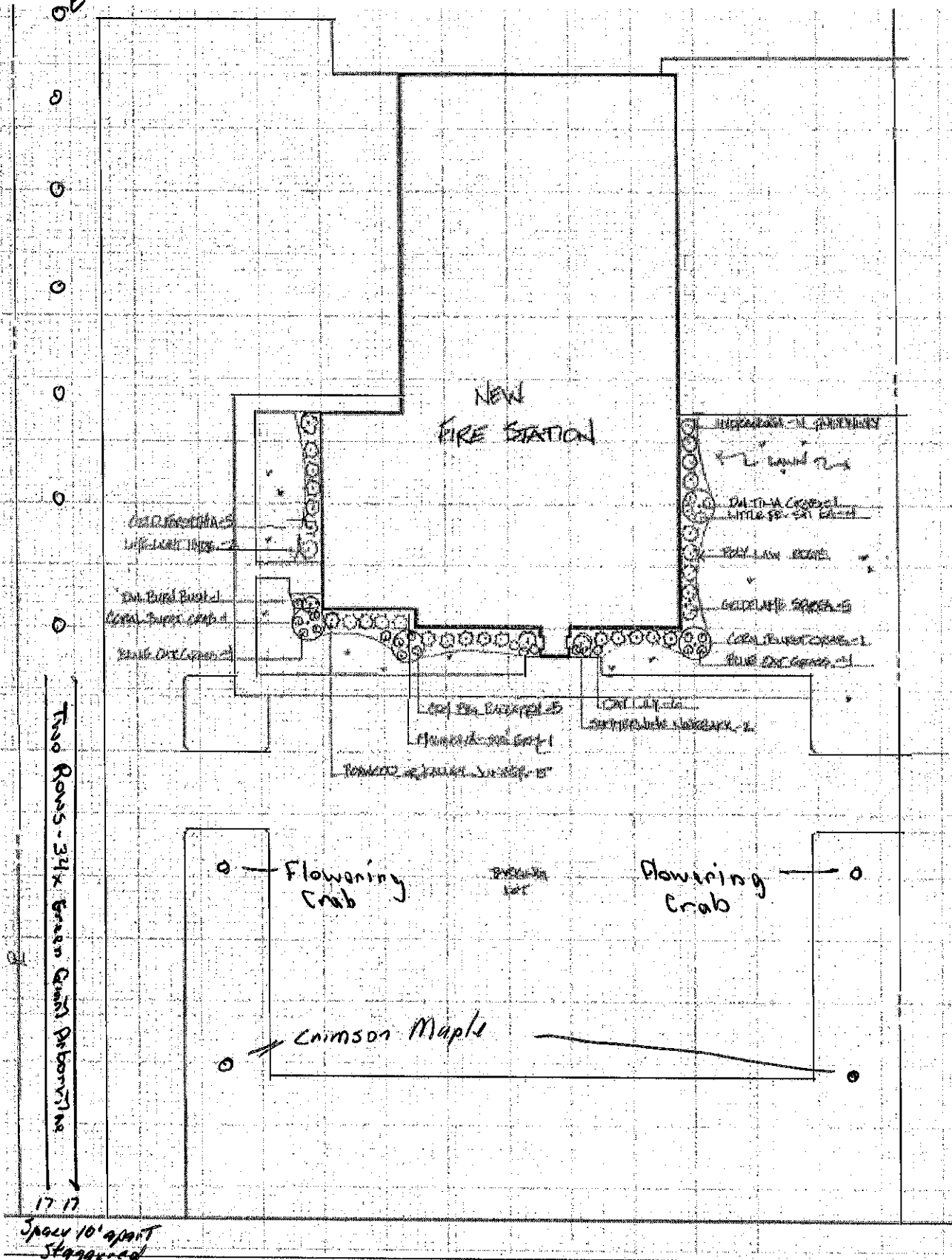
Qty	Label	MFG	Description	LLF	Lum. Watts	Total Watts
4	OAA4	LITHONIA	DSX1 LED P4 xxK T4M MVOLT RPA (finish) + 25' POLE + 2.5' BASAE	0.950	125	500
3	OABLC	LITHONIA	DSX1 LED P4 xxK BLC MVOLT RPA (finish) + 25' POLE + 2.5' BASAE	0.950	125	375
1	OALCCO	LITHONIA	DSX1 LED P4 xxK LCCO MVOLT RPA (finish) + 25' POLE + 2.5' BASAE	0.950	125	125
1	OARCCO	LITHONIA	DSX1 LED P4 xxK RCCO MVOLT RPA (finish) + 25' POLE + 2.5' BASAE	0.950	125	125
1	OF2	LITHONIA	DSXF2 LED P2 xxK 70CRI MFL MVOLT (mounting) UBV (finish)	0.010	80	80
8	OW1	LITHONIA	WPX1 LED P2 xxK MVOLT (finish)	0.950	24	192
9	OW2	LITHONIA	WPX0 LED ALO SWW2 MVOLT PE DDBXD	0.950	13	117

Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Presumed Property Line	Fc	0.21	2.08	0.01	208.00	21.00
Parking Lot	Fc	1.01	2.3	0.2	11.50	5.05

1/E5.1 SCALE = N.T.S.  
SITE PHOTOMETRIC PLAN



Eastern Red Cedar 35' spacing

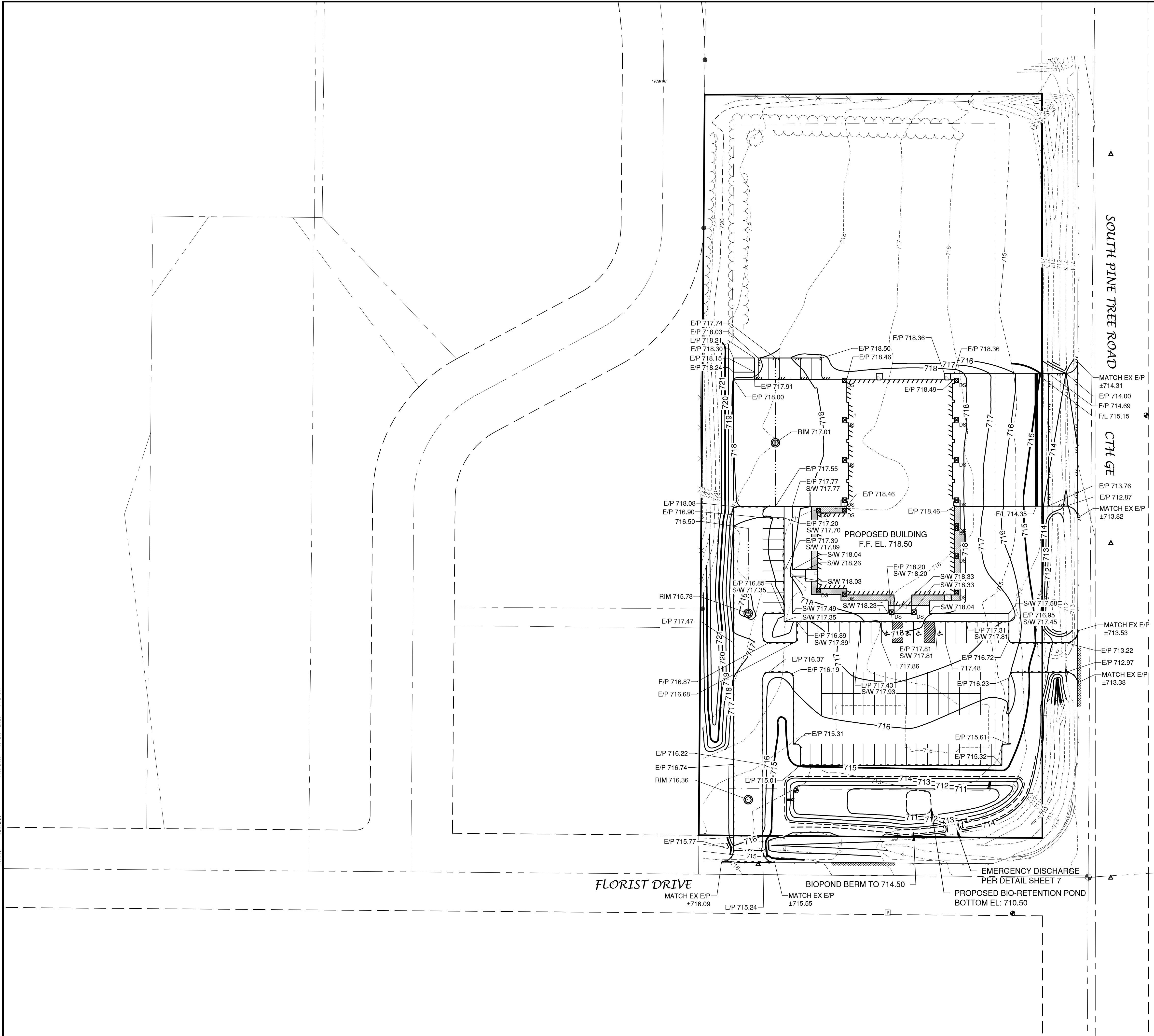


Two Rows - 34' Green Giant Arborvitae

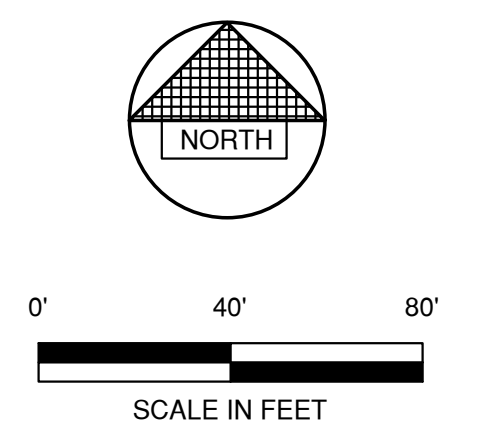
17 17

Space 10' apart Staggered

File: R:\2020\2035\2035473D\463\2035473D.dwg  
 Plot Date: Feb 22, 2023 11:27am  
 GRADING  
 LAYOUT



- LEGEND**
- T/C 999.99 TOP OF CURB ELEVATION
  - F/L 888.88 FLOW LINE ELEVATION
  - S/W 666.66 TOP OF SIDEWALK ELEVATION
  - E/P 555.55 EDGE OF PAVEMENT ELEVATION
  - R/W 444.44 TOP OF RETAINING WALL ELEVATION
  - 333.33 GROUND ELEVATION
  - DRAINAGE SWALE
  - DRAINAGE DIVIDE
  - FLOW ARROW



**PRELIMINARY**  
Not for Construction

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN BDR  
 CHECKED  
 DESIGNED BDR

**HOBART FIRE STATION**  
**FOR BAYLAND BUILDINGS, INC.**  
**VILLAGE OF HOBART**  
**BROWN COUNTY, WISCONSIN**

GRADING PLAN

DATE 02/2023  
 FILE 2035473D  
 JOB NO. 2035473

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@inc.com

SHEET NO.  
**4**